

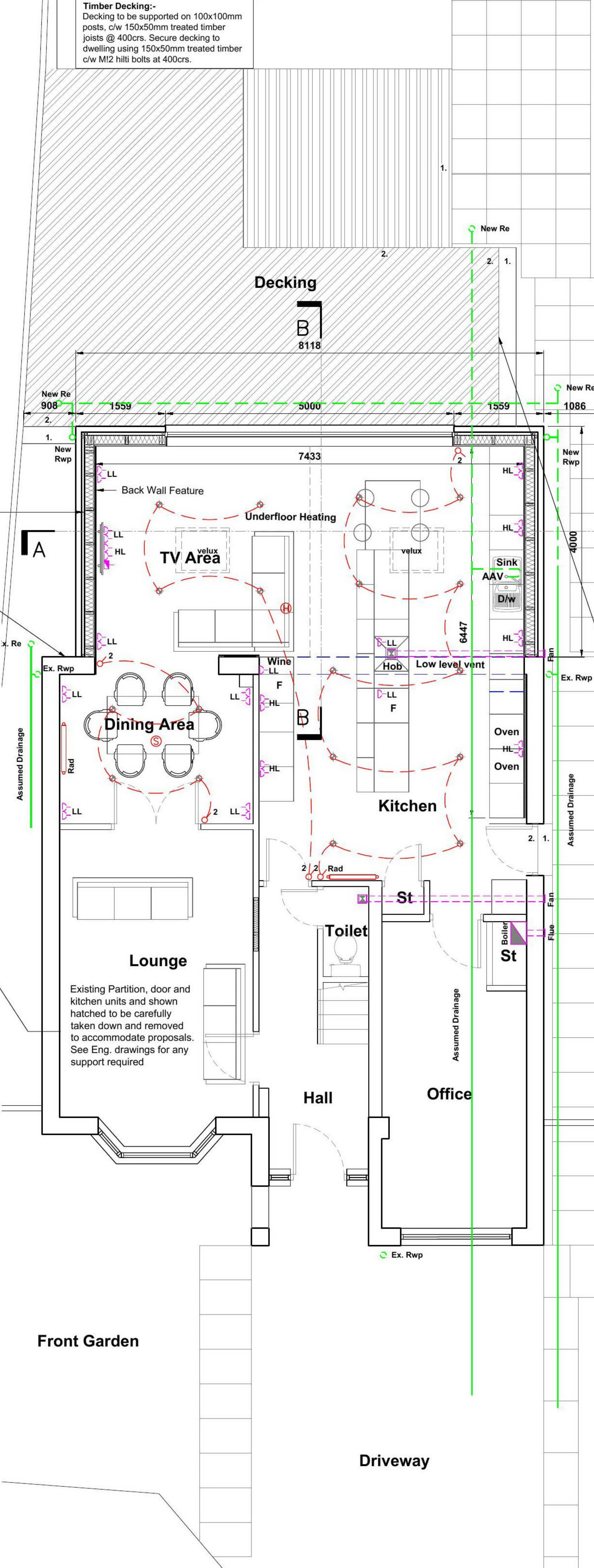
- General Notes**
1. Do Not scale from this drawing
  2. This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
  3. The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
  4. All dimensions to be checked on site prior to fabrication or erection
  5. Contractor to take exact measurements on any roof at 15° to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
  6. Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
  7. No work to be begun until the appropriate approvals (i.e Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment.
  8. Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services, i.e. gas, water etc.
  9. Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains
  10. Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
  11. For Additional information see www.cafdesigns.co.uk
  12. All dismantling and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
  13. All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2004 as amended



**EXISTING GROUND FLOOR PLAN**  
SCALE 1:100

1. Total Approx. area of existing dwelling and gardens = 332sqm
2. Approx. ground floor area of Dwelling = 80sqm
3. Proposed rear extension area approx = 32.4sqm
4. Existing Hut - Approx 24.5sqm

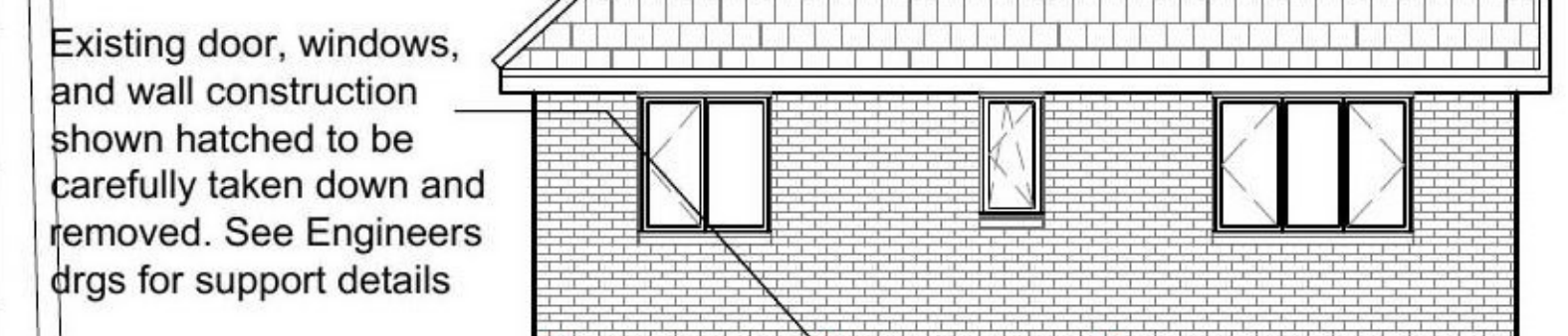
Drawing to be read in conjunction with Drawings 054-04.002. Drawing for Planning & Building Warrant purposes.



**PROPOSED GROUND FLOOR PLAN**  
SCALE 1:50

- Legend**
- Proposed Electrical lighting circuit
  - 2-Way Light Switch
  - Light Switch
  - Pendant Light Fitting with Ceiling Rose
  - Recessed Spotlight
  - Smoke detectors - wired to mains electrical supply; positioned min 300mm from light fittings and adjacent walls provided with battery backup
  - Hot water radiator connected to existing hot water system c/w TRV's
  - Double 13A Socket
  - Single 13A Socket
  - Low Level
  - High Level
  - Existing Drainage
  - Proposed Drainage Run
  - Rain Water Pipe
  - Soil Vent Pipe
  - Rodding Eye
  - Tv Aerial Socket
  - Gas Meter
  - Electric Meter and Distribution Board
  - Heat Detector

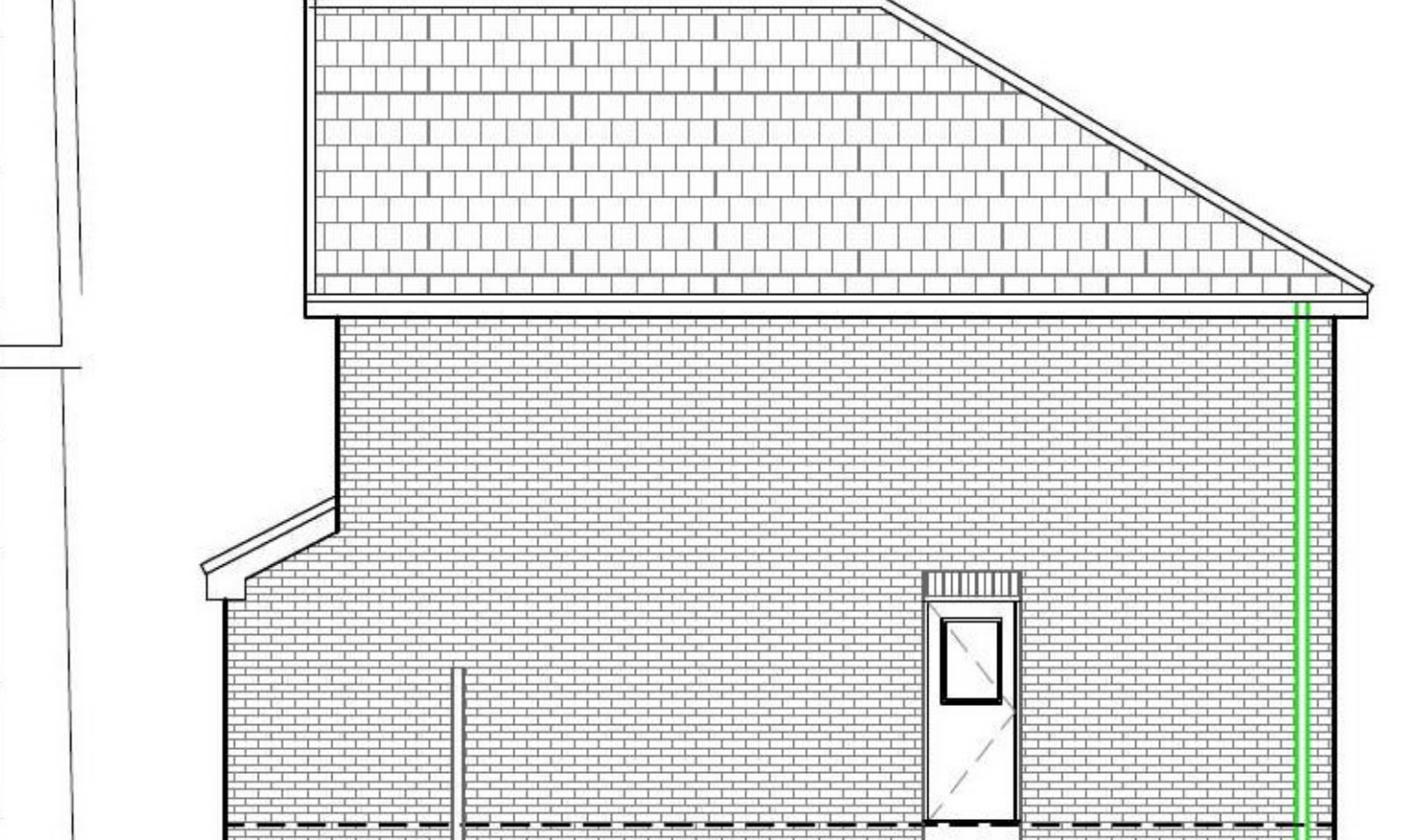
**STAIR DETAILS :-**  
External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 333mm approx.  
Total Number of Rises = 2  
- Rise = 165.5mm (Max. 170mm)  
- Going = 300mm  
- Pitch = 29.03°



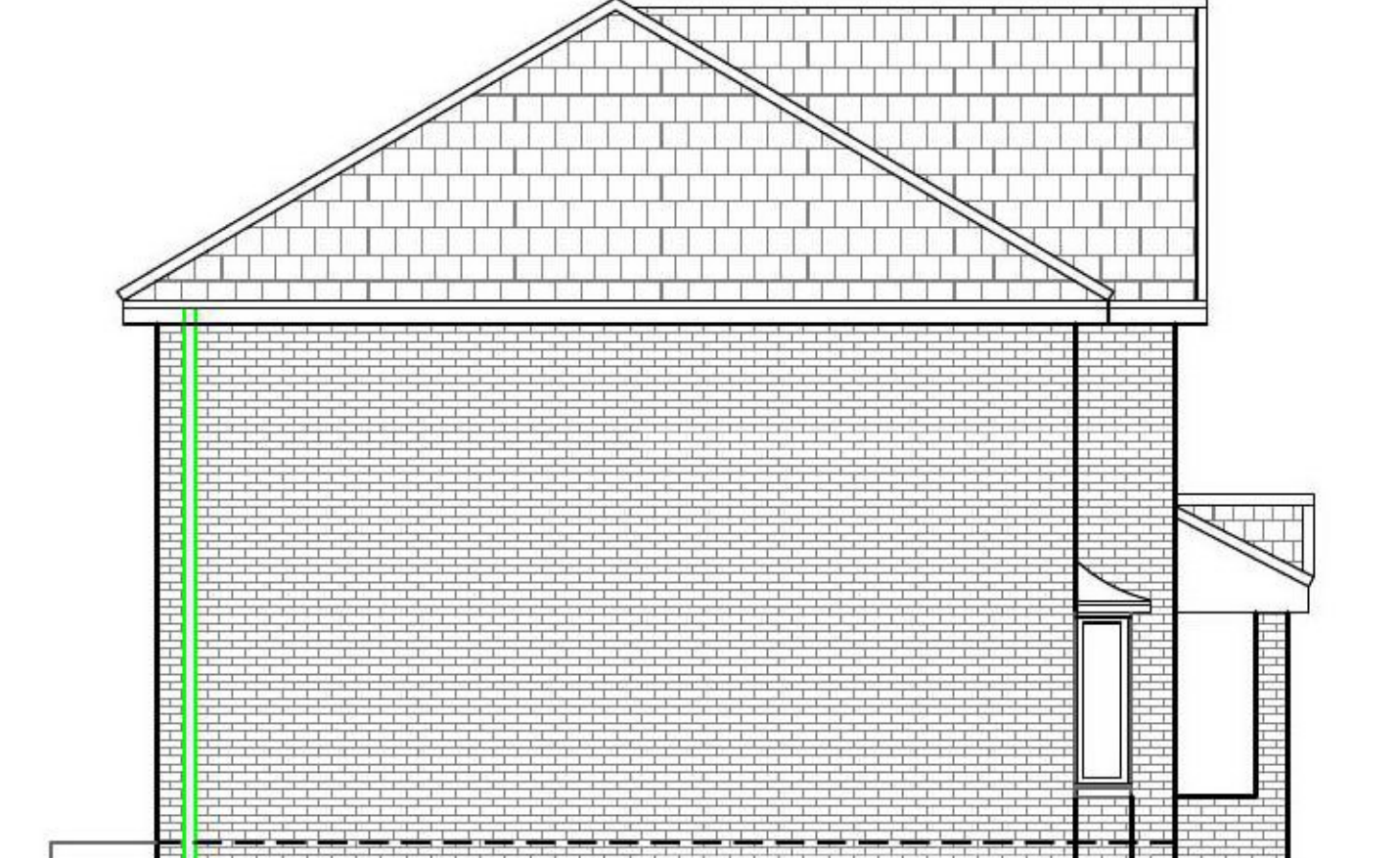
**EXISTING NORTH ELEVATION**  
SCALE 1:100



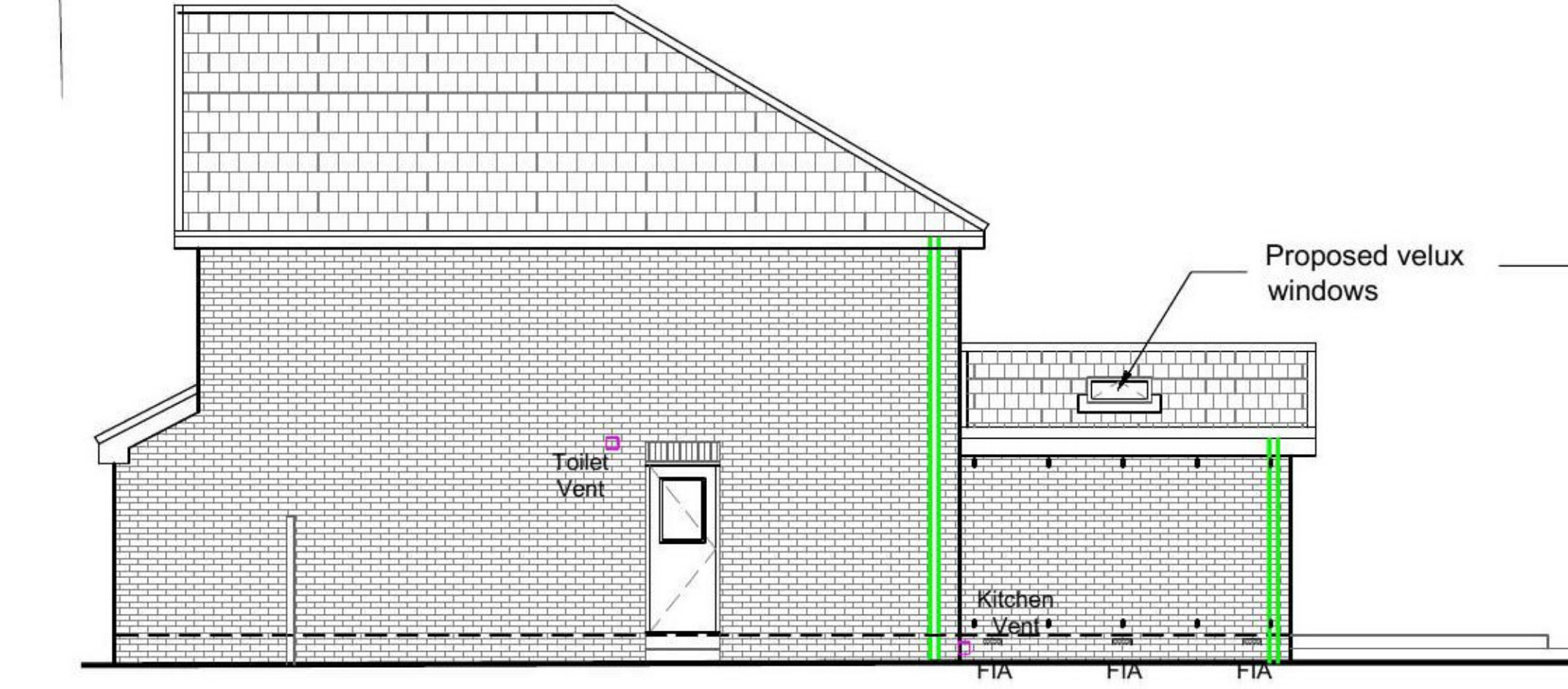
**PROPOSED NORTH ELEVATION**  
SCALE 1:100



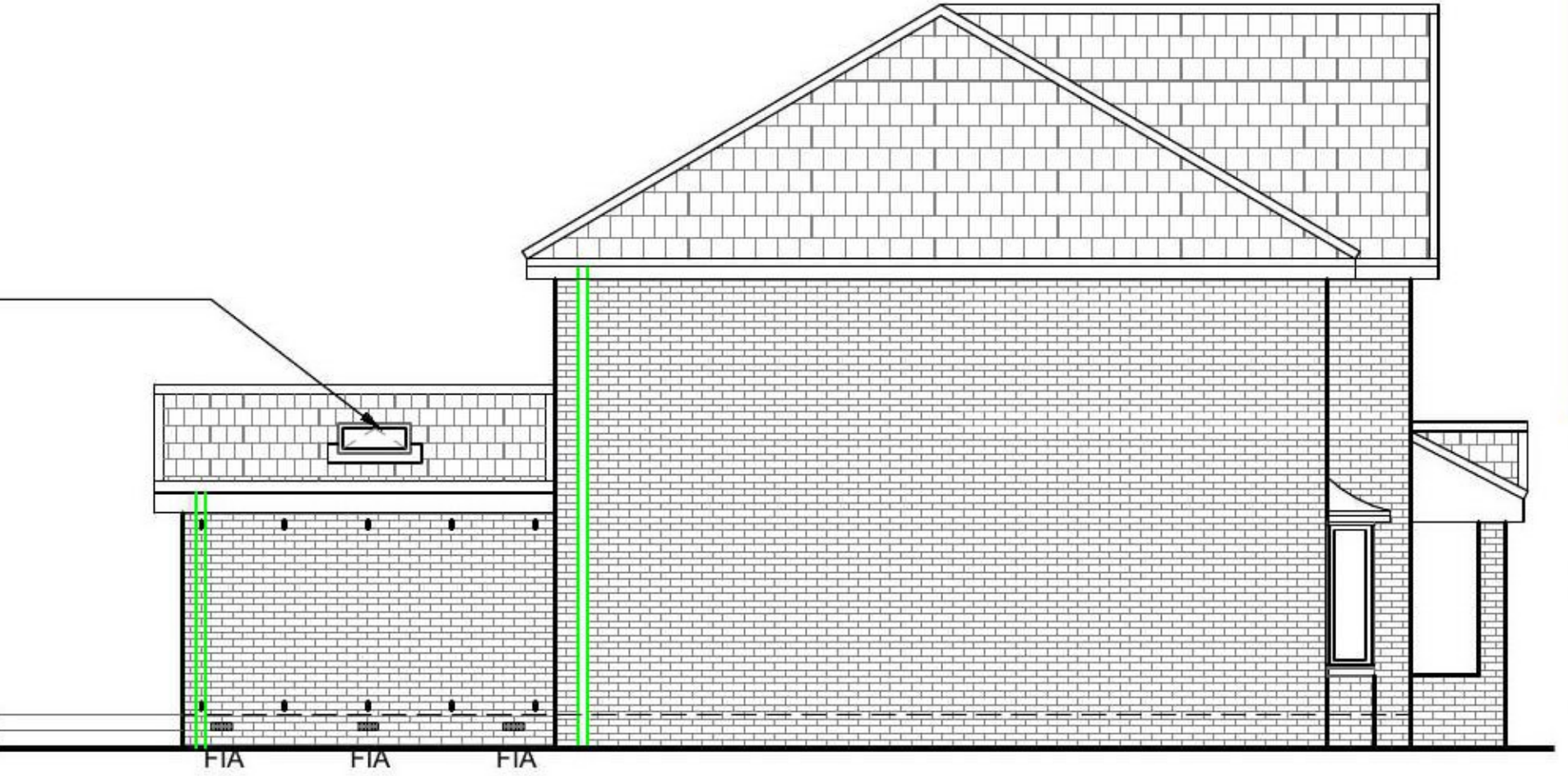
**EXISTING EAST ELEVATION**  
SCALE 1:100



**EXISTING WEST ELEVATION**  
SCALE 1:100



**PROPOSED EAST ELEVATION**  
SCALE 1:100



**PROPOSED WEST ELEVATION**  
SCALE 1:100

Existing door, windows, and wall construction shown hatched to be carefully taken down and removed. See Engineers drgs for support details

Existing door, windows, and wall construction shown hatched to be carefully taken down and removed. Ex Lintel to remain

See Engineers drawings for door support

Proposed windows to match existing colour

Proposed cavity trays Type X

Proposed Bi-Fold Doors

Proposed facing brickwork to match existing

Proposed cavity weep vents

Kitchen design to be confirmed by client

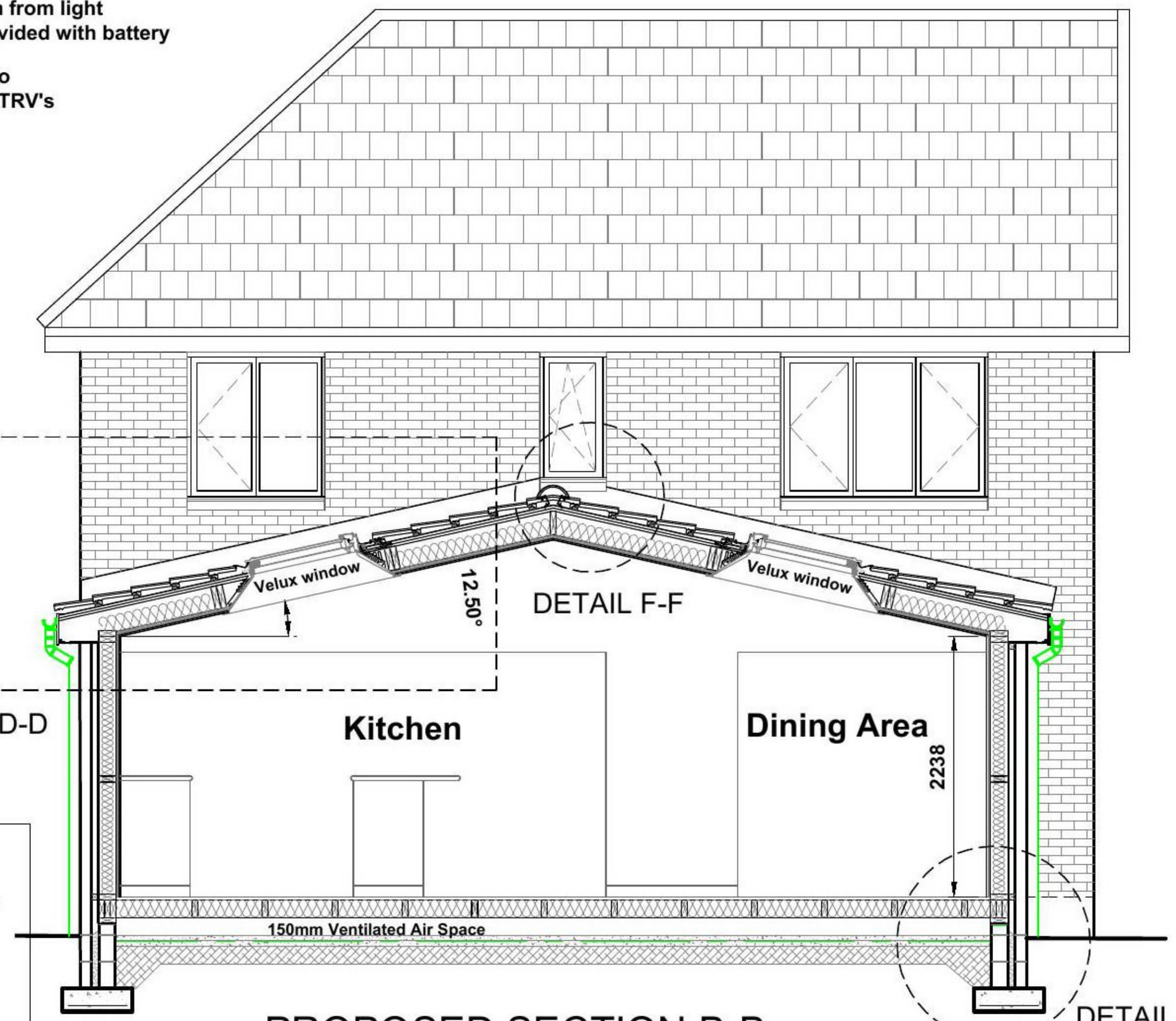
Contractor to ensure floor levels are even throughout.

All construction to be erected on Clients land. No construction to encroach onto Neighbouring land

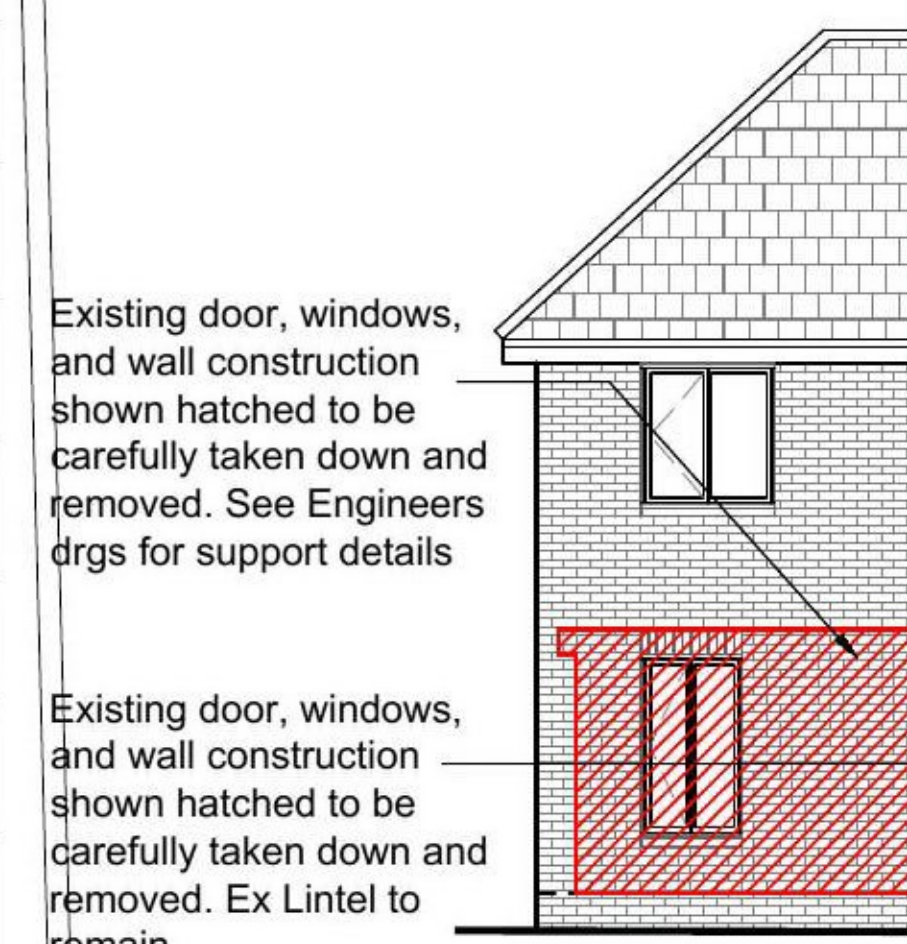
Any Rodding Eyes affected and uncovered during construction works to be suitably protected and extended beyond the extension

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

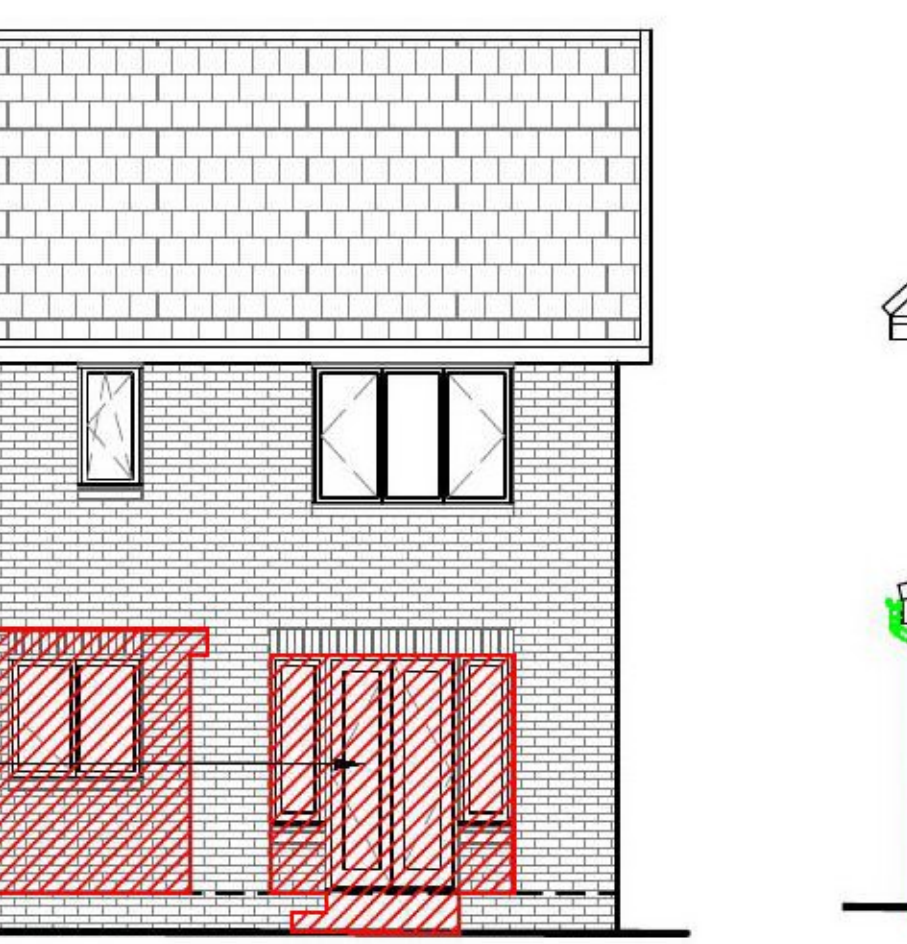
For all structural implications, detailing and specification see Structural Engineers designs and specifications



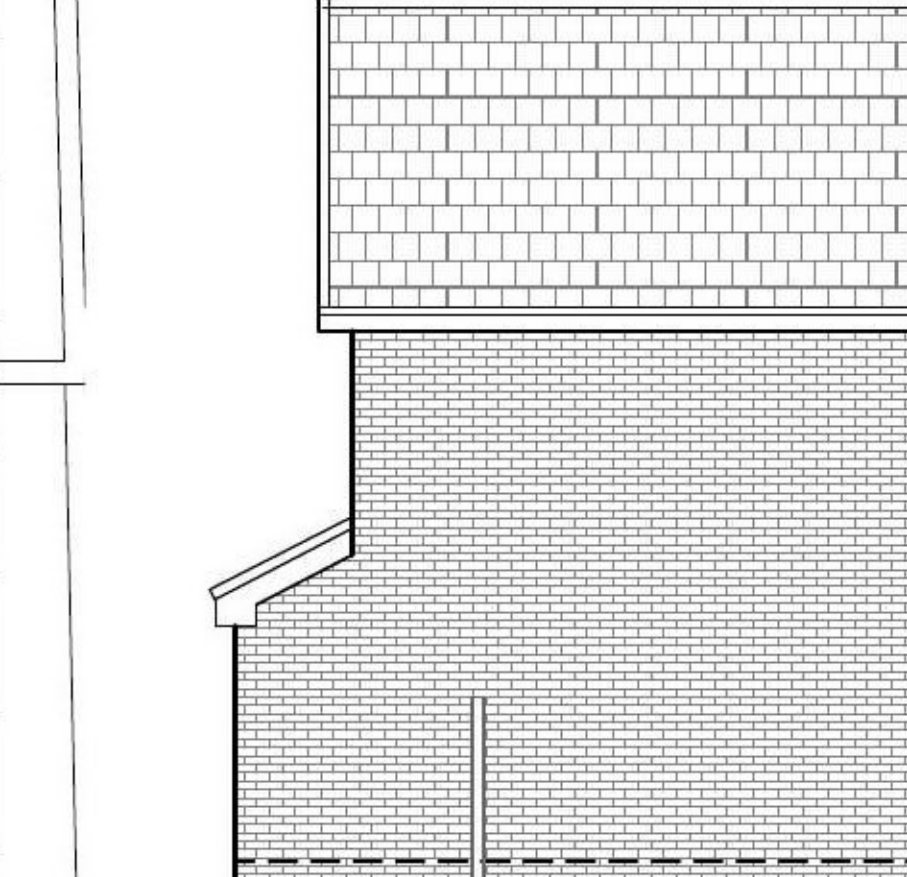
**PROPOSED SECTION B-B**  
SCALE 1:50



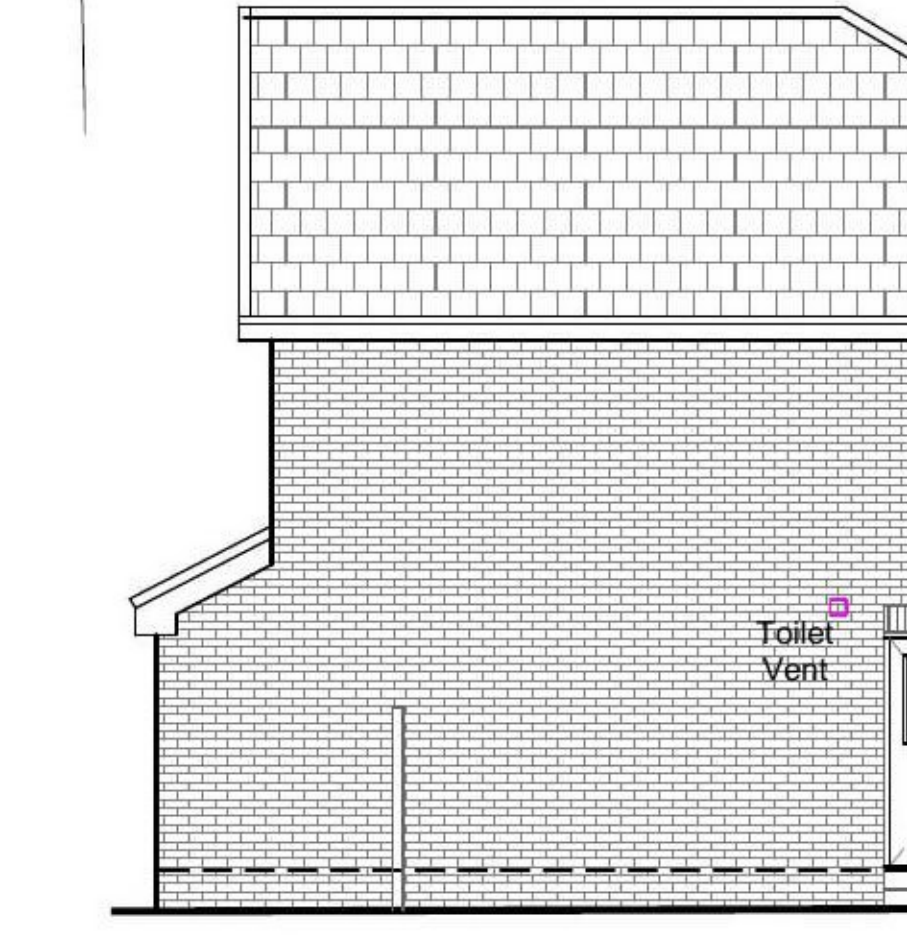
**DETAIL D-D**



**DETAIL F-F**



**DETAIL C-C**



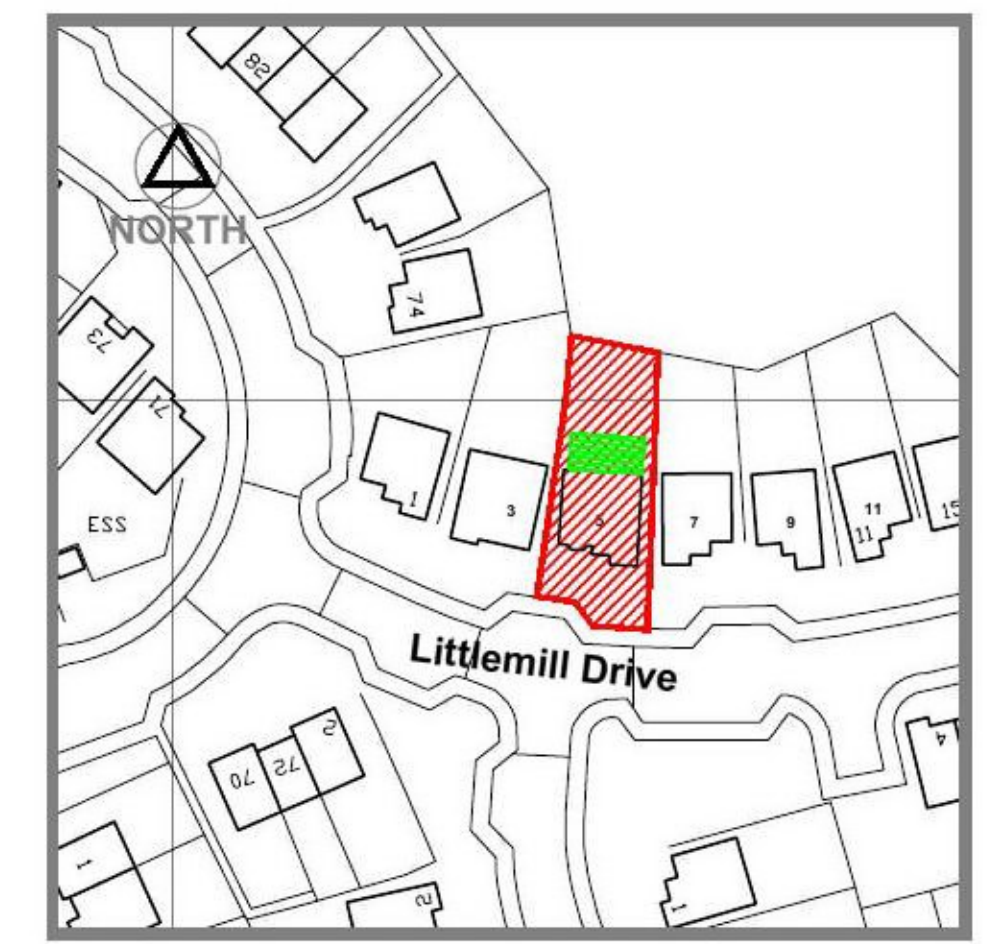
**DETAIL E-E**

SITE NATIONAL GRID REFERENCE

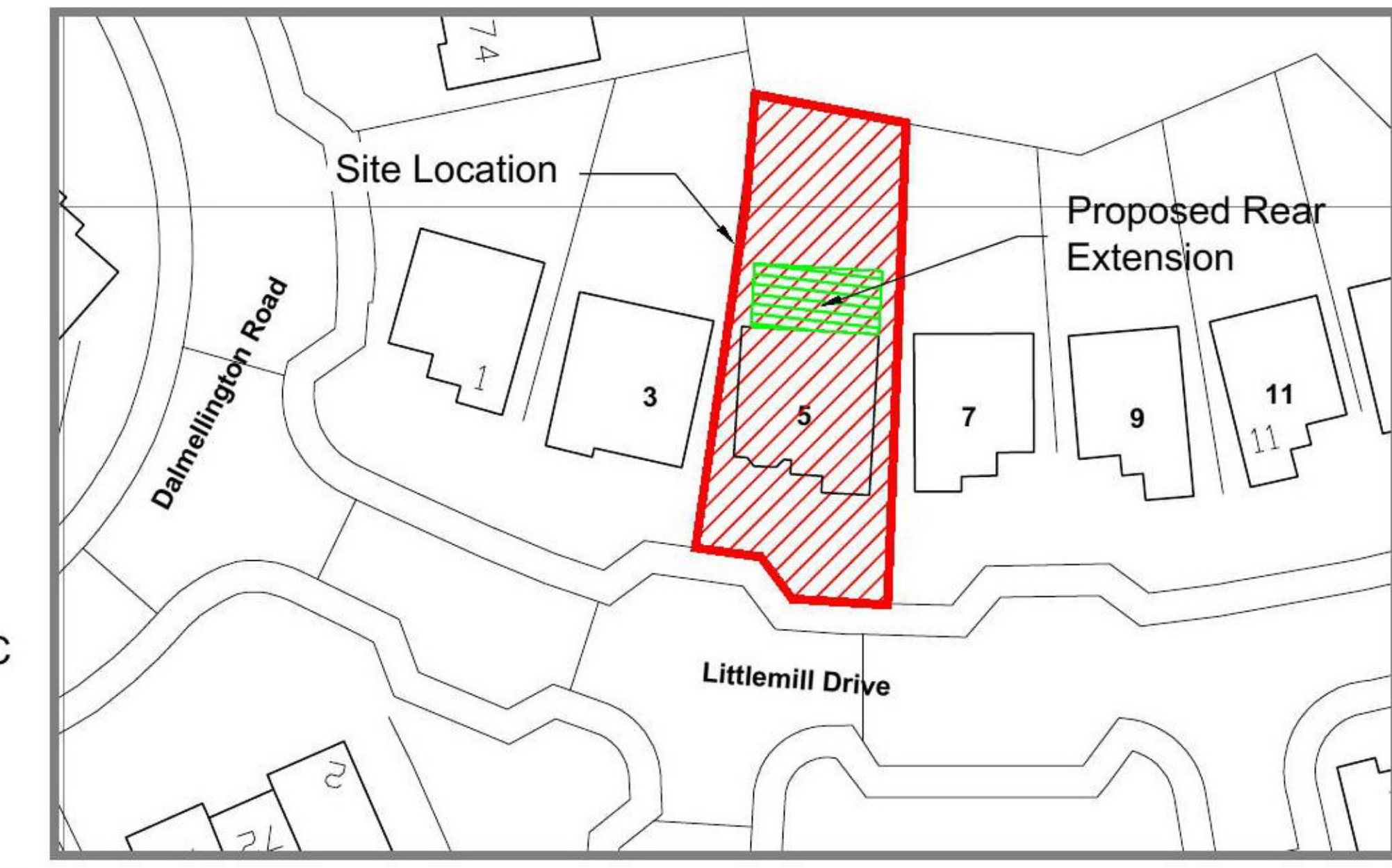
NS 252447E, 661688N



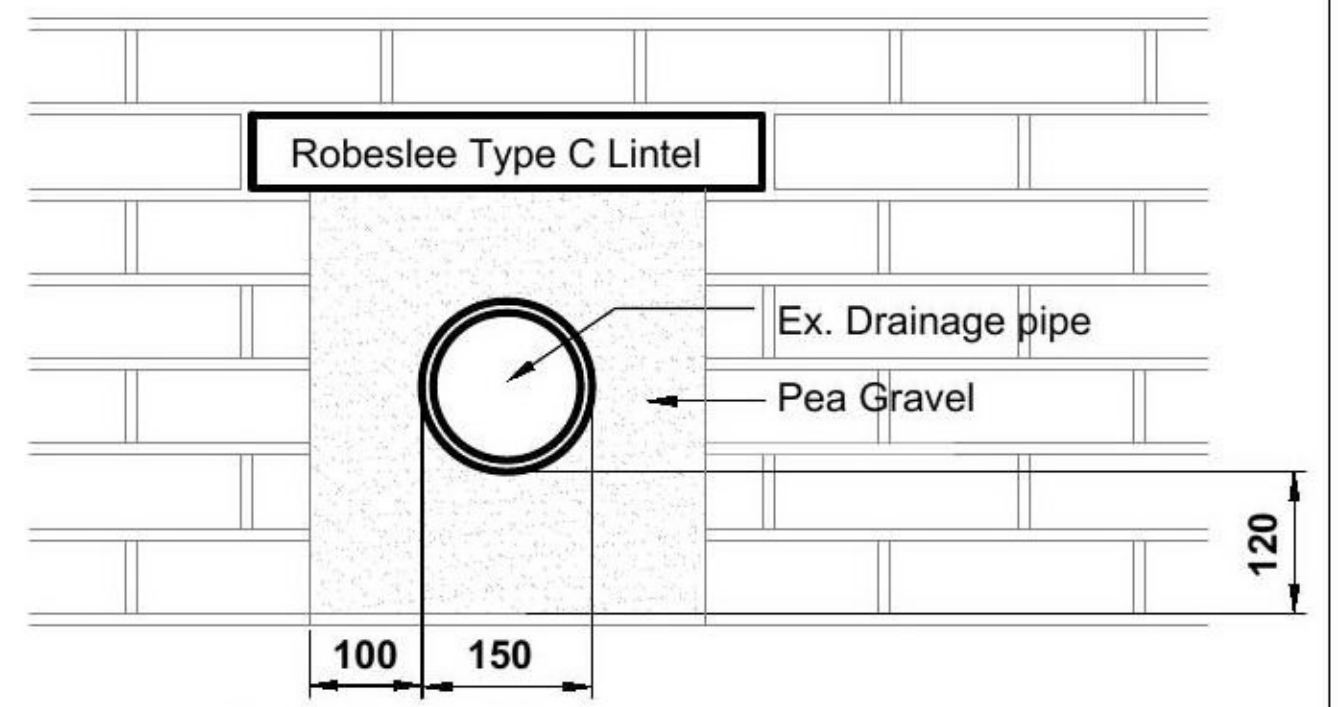
**EXISTING PHOTOGRAPH**



**SITE LOCATION PLAN**  
1:1250  
5 Littlemill Drive  
Crookston G53 7GF



**SITE PLAN**  
1:500



**PROPOSED DRAIN DETAIL**  
SCALE 1:10

Rev	Description	Date
F	Planning	11/12/2020

Client and Project Address  
**Mr & Mrs Edward Leishman**  
5 Littlemill Drive  
Crookston G53 7GF

Drawing Title  
**Proposed Rear Extension**  
Existing Plans, Elevations & Location Plans

**CAF**  
CAF DESIGNS  
53 CALDERGLEN AVENUE  
THE ELMS BLANTYRE  
SOUTH LANARKSHIRE G72 9UP  
www.cafdesigns.co.uk

**PLANNING**

Drawn by	CAD Location	
CAF	C:\Drawings\054-20	
Scale	Date	Paper Size
1:50	Aug 20	A1

Drawing no. **054-20.001** **F**