

Notes

1. **DO NOT SCALE** – All dimensions are to be verified on site and any discrepancies reported to the designer.
2. **DIMENSIONS** – All dimensions are to be given in millimeters (mm) and structural elements (Brickwork/studwork) and exclude for dry-linings, plaster, internal finishes, wall and floor coverings unless otherwise stated.
3. **RELEVANT DRAWINGS** – This drawing to be read in conjunction with all other relevant project drawings, documents and specifications.
4. **PLAN COPYRIGHT** – This drawing remains the copyright of Neil Whitehead Building Design Ltd and shall not be altered or copied without the written permission of the Designer.
5. **UNITS** – All dimensions in millimeters unless stated otherwise.
6. **LOCAL AUTHORITY APPROVALS** – Approvals granted by the local authority related to permission under the Town and Country Planning Act of 1990 and the Planning (Listed Buildings and Conservation Areas) Act of 1967 shall be the responsibility of the client. The client shall be responsible for ensuring that this drawing is submitted to the relevant authority for approval.

does not contravene any other legislation relating to the property with particular regard to property title deeds, covenants, land ownership or tenancy, site boundaries, boundary lines, microclimate, etc.

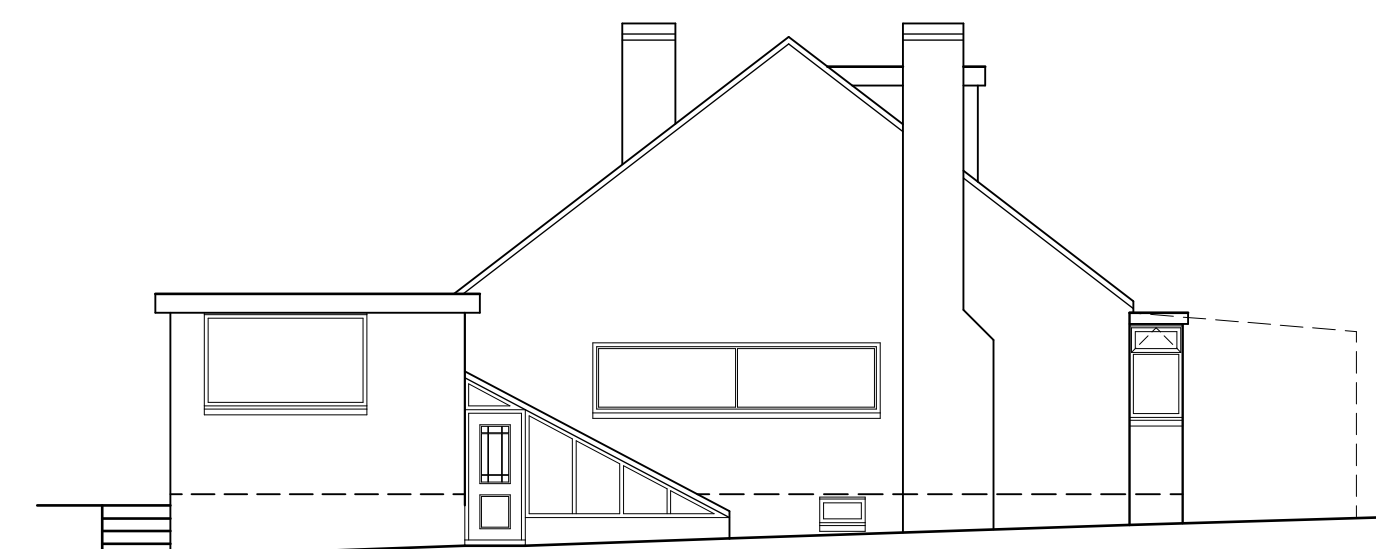
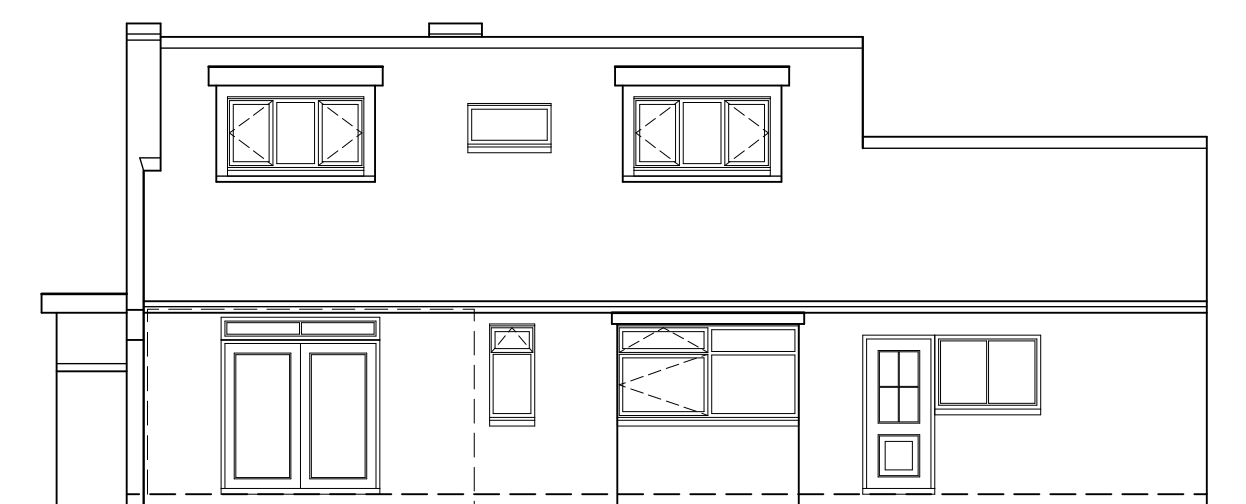
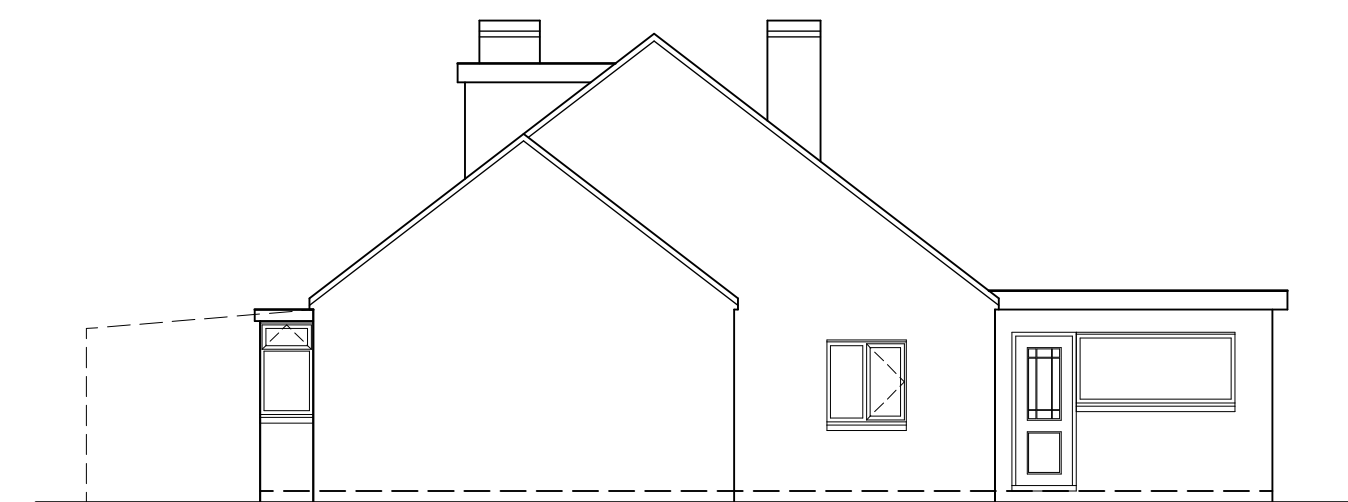
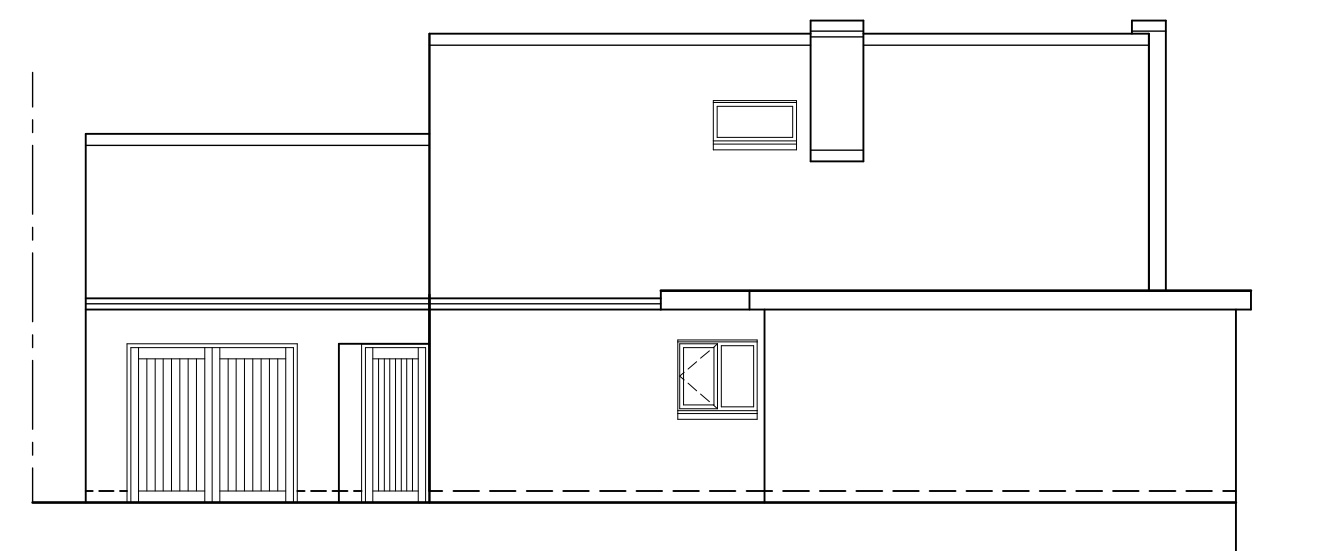
7 SITE BOUNDARIES – The position of any site boundaries indicated on this drawing is approximate. The client shall be responsible for confirming the legal position of all relevant site boundaries. The client shall also be responsible for liability for any boundary walls, fences and hedges etc. likely to be affected by the works detailed on this drawing. The client shall agree all boundary issues with the neighbouring property owners prior to any works commencing.

8 PARTY WALL ACT – The client shall be responsible for discharging their duty under the Party Wall Act 1996 which requires persons intending to carry out building work likely to affect an existing or nearby building or property boundary, to give written notification to all neighbouring property owners affected.

9. **DRAINAGE** – No guarantee is given for the accuracy of the existing drainage layout on site. The Builder/Cliant is responsible for confirming the existing drainage layout prior to work commencing on site.

10. **BUILDING** – The Builder/Cliant works may require that the client enters into a Build over agreement with the Sewage Undertaker if it is deemed to be required by the Undertaker. All associated costs and additional works that may be required are the responsibility of the client.

11. Any deviation from the existing condition or the adjacent plans elevations or sections must be approved in writing as an amendment by the Local Authority Building Control Inspector and Planning Officer before construction begins. All amendments, variations and approvals must be drawn from and checked on prior to work being begun. All work to conform to current building regulations and to the approval of the local authority planning department.

**NJW BUILDING DESIGN**

Home Extension & Loft Conversion Design

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drg. title

Proposed extensions	Existing
<p>1. Enhanced Security: Implementing advanced encryption techniques and secure communication protocols to protect sensitive data.</p> <p>2. Scalability: Designing the system architecture to handle a growing number of users and data volume efficiently.</p> <p>3. Integration: Integrating the system with existing organizational systems and databases for seamless data flow.</p> <p>4. Reporting and Analytics: Developing comprehensive reporting and analytics modules to provide insights into system performance and user behavior.</p> <p>5. Mobile Access: Enabling the system to be accessed via mobile devices, providing flexibility and convenience for users.</p>	<p>1. Basic Functionality: Core features required for the initial implementation, focusing on essential data management and reporting.</p> <p>2. Standard Security: Implementing standard security measures to ensure data confidentiality and integrity.</p> <p>3. Basic Integration: Establishing basic integration with existing systems to facilitate data exchange.</p> <p>4. Simple Reporting: Developing basic reporting modules to provide essential performance metrics.</p> <p>5. Web-based Access: Restricting system access to web browsers, limiting mobility for users.</p>

scale

1/50, 1/100

date

21/12/20

drawing number

20-2160-1

revision

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