



**Application to Discharge Planning Conditions
for Listed Building Consent**

January 2021

Outbuilding and retaining wall: Demolition

Condition 6

No works to demolish the garden room hereby approved shall commence until full details to show how the retained garden wall along Back Street will be protected during demolition, and retained and supported following construction of the new garden room, have been submitted to and approved in writing by the Local Planning Authority.

As agreed with the appointed contractor the outbuilding will be demolished in a well-planned and non-obtrusive manner. Sympathetic demolition and working methods will be utilised due to the historic nature of the boundary walls. More specifically:

- No heavy vibrating power tools will be used.
- Hand tools will be used for removing and clearing out the existing structure.
- The external masonry walls of the outbuilding will be removed by hand. The bricks will be carefully removed and set aside for reuse. Contractor will confirm suitability for reuse. Those rendered suitable will subsequently be used elsewhere in the project.
- The roof structure will be removed by hand. It is intended for all clay roof tiles to be retained to be reused in the new structure.
- The contractor has made provisions so that the bricklayers will be constantly vigilant during the demolition. They will have on site diagonal temporary braces and spreader boards which will be used as temporary working supports to retain the garden wall.

Outbuilding and retaining wall: Structural statement

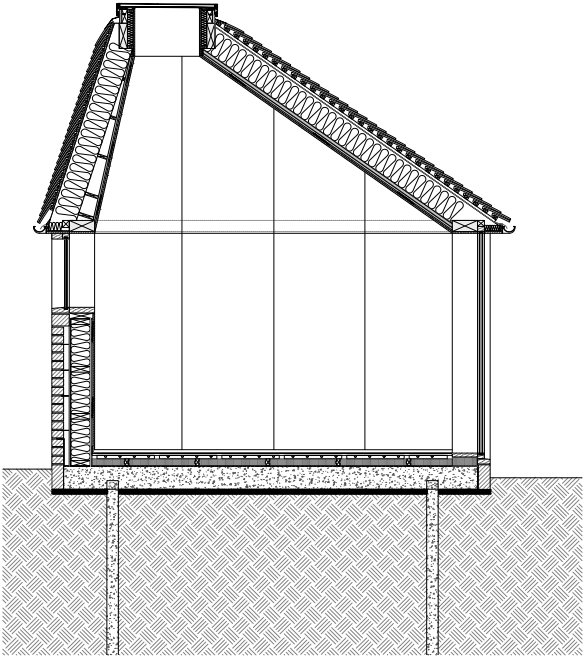
The wall has been assessed by the contractor and structural engineer, and it is considered that it will remain structurally safe, during and after the proposed works. The following steps will take place in order to protect the wall with the commencement and during the progress of the construction.

The existing boundary wall is to be retained in its existing form including the section of gable wall associated with the existing outbuilding roof profile. The wall is to be surveyed and photographs taken to record its condition prior to works commencing.

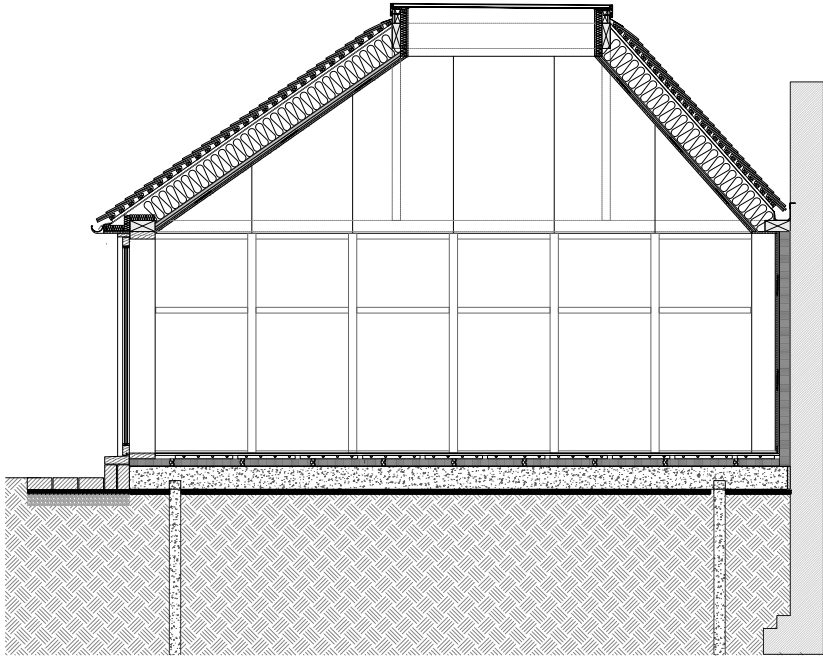
Any loose brickwork is to be secured and any open bed-joints repointed using mortar to match the existing. The existing building should be carefully demolished using extra care where it abuts the boundary wall. Following demolition the internal face of the wall should be repaired as necessary if it was not visible or accessible previously.

The wall should be regularly inspected for any movement, particularly after the removal of the existing floor slab and installation of the piles. If any movement is noted temporary timber shoring may be required during the works the exact nature of which would be determined at the time and may need to change as the work progresses. If the Contractor has any concerns about the stability of the wall then work should stop until an inspection by the Structural Engineer has been carried out and a way forward agreed

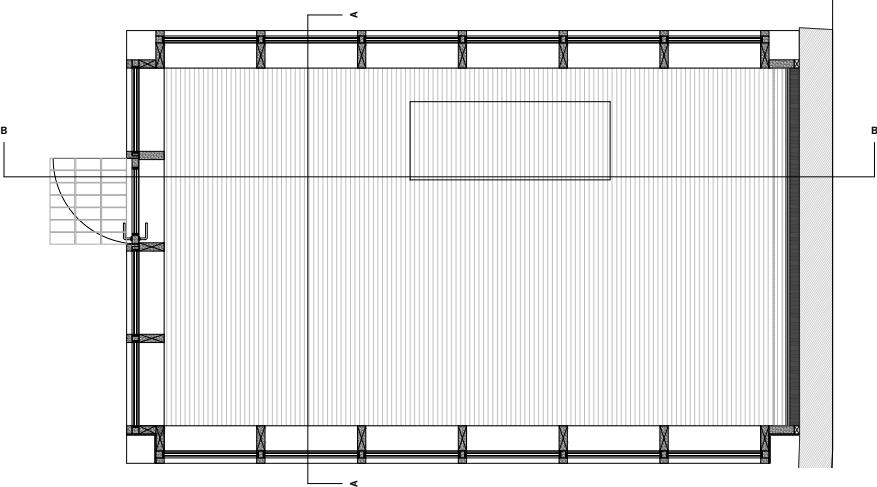
Outbuilding and retaining wall: Construction drawings



SECTION A-A



SECTION B-B



PLAN

The retained wall will remain intact during and after the construction of the new outbuilding as shown in the drawings.

The appointed contractor and structural engineer, have assessed the brick wall and have confirmed that the proposed scheme will not jeopardise its stability.

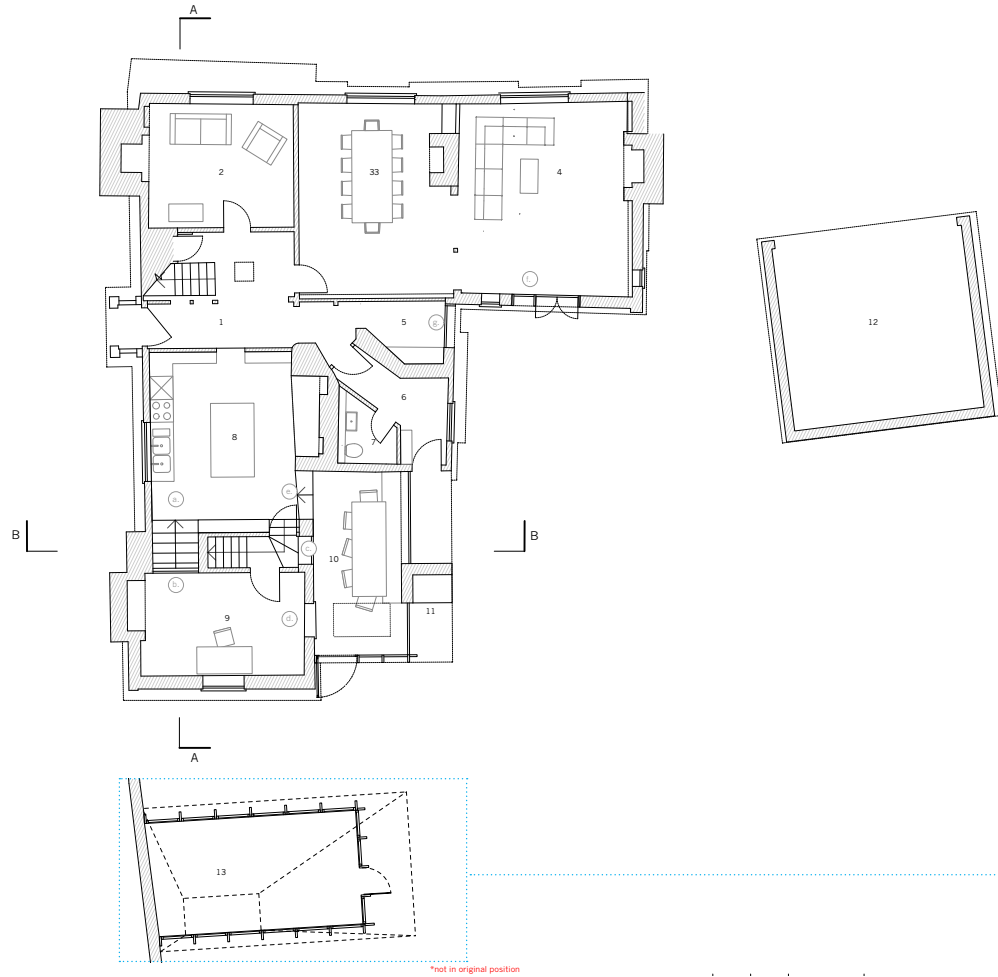
At the level where the wall and the concrete slab meet 25mm bitumen impregnated board will be used.

At the ground floor level, it will be insulated with woodfibre boards and receive the internal wall finish. The horizontal eaves plate of the timber frame will be mounted against it, using long timberlock screws in pre-drilled holes.

At the eaves level, a non-lead gutter will be formed between the roof and the brick wall.

DRAWINGS NOT TO SCALE

Please see accompanying drawings JTD_0211_02_603 & JTD_0211_02_604.



C6: JTD_0211_02_603
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