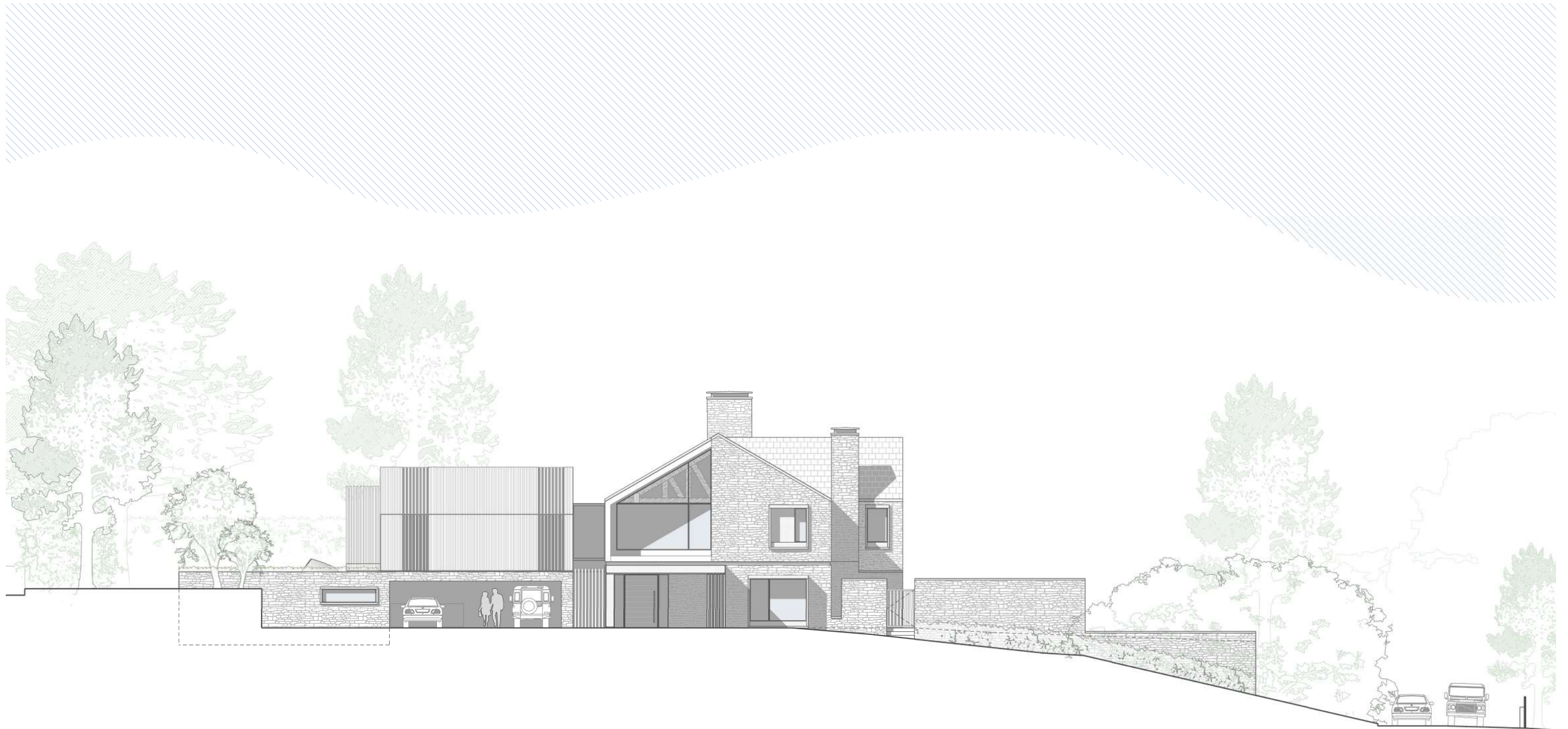


# DESIGN STATEMENT

*Proposed works to Ley Lane House, Marple Bridge, Stockport*



*December 2020*



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1.0 INTRODUCTION

1.1 STATEMENT

This Design Statement has been prepared to support the Planning Application for the erection of new two storey dwelling house with external leisure building set in proposed landscaped gardens and pastureland at Ley Lane, Marple Bridge, Stockport.

The application does not require a full Design & Access Statement for validation, however the design team felt it appropriate to supply a Design Report to supplement the application. The report has been written in accordance with CABE's guide 'Design and Access Statements – How to write, read and use them' and accompanies the design drawings to describe the proposals.

The application seeks planning approval for a new build house and landscaped gardens following demolition of existing structures. This report provides the local authority with full information on the proposals to assess the likely impact of the scheme upon the local area.

This document should be read in conjunction with the submitted architectural drawings as listed below in section 1.2, and the landscape design proposals by LandStudio and supporting Planning Statement by Eden Planning, together with all other supporting documents.

1.2 ARCHITECTURAL DRAWINGS

|  |                                       |
|--|---------------------------------------|
| Location Plan                          | 0628-P3A-ST-XX-DR-A-05001 1:1250 @ A3 |
| Existing Site Plan                     | 0628-P3A-ST-XX-DR-A-02001 1:500 @ A3  |
| Existing Site Section A-A              | 0628-P3A-ST-XX-DR-A-02201 1:200 @ A1  |
| Existing Site Section B-B              | 0628-P3A-ST-XX-DR-A-02202 1:200 @ A1  |
| Existing Ground Floor Plan             | 0628-P3A-B1-00-DR-A-02001 1:100 @ A3  |
| Existing First Floor Plan              | 0628-P3A-B1-01-DR-A-02002 1:100 @ A3  |
| Existing Roof Plan                     | 0628-P3A-B1-RF-DR-A-02003 1:100 @ A3  |
| Existing Elevations 1 & 2              | 0628-P3A-B1-XX-DR-A-02101 1:100 @ A3  |
| Existing Elevations 3 & 4              | 0628-P3A-B1-XX-DR-A-02102 1:100 @ A3  |
| Existing Stable Block Plans            | 0628-P3A-B2-XX-DR-A-02001 1:100 @ A3  |
| Existing Stable Block Elevations 1 & 2 | 0628-P3A-B2-XX-DR-A-02101 1:100 @ A3  |
| Proposed Site Plan                     | 0628-P3A-ST-XX-DR-A-05003 1:500 @ A3  |
| Proposed Site Section A-A              | 0628-P3A-ST-XX-DR-A-05201 1:200 @ A1  |
| Proposed Site Section B-B              | 0628-P3A-ST-XX-DR-A-05202 1:200 @ A1  |
| Proposed Ground Floor Plan             | 0628-P3A-NH-00-DR-A-05001 1:100 @ A1  |
| Proposed First Floor Plan              | 0628-P3A-NH-01-DR-A-05002 1:100 @ A1  |
| Proposed Roof Plan                     | 0628-P3A-NH-RF-DR-A-05003 1:100 @ A1  |
| Proposed Elevations 1 & 2              | 0628-P3A-NH-XX-DR-A-05101 1:100 @ A1  |

|                           |                                      |
|---------------------------|--------------------------------------|
| Proposed Elevations 3 & 5 | 0628-P3A-NH-XX-DR-A-05102 1:100 @ A1 |
| Proposed Elevation 4      | 0628-P3A-NH-XX-DR-A-05103 1:100 @ A1 |
| Proposed Sections AA & BB | 0628-P3A-NH-XX-DR-A-05201 1:100 @ A1 |

|                            |                                      |
|----------------------------|--------------------------------------|
| Proposed Garage Plans      | 0628-P3A-GB-XX-DR-A-05001 1:100 @ A3 |
| Proposed Garage Elevations | 0628-P3A-GB-XX-DR-A-05101 1:100 @ A3 |
| Proposed Garage Sections   | 0628-P3A-GB-XX-DR-A-05201 1:100 @ A3 |

1.3 PLANNING HISTORY

**Planning Application No:** J/15723  
**App Type:** XHS  
**Proposal:** Residential development - 4 dwellings.  
**Decision:** Refuse  
**Decision Date:** 1979-05-24

**Planning Application No:** J/59505  
**App Type:** XHS  
**Proposal:** Extension to provide games room & guest room.  
**Decision:** Refuse  
**Decision Date:** 1994-05-05

**Planning Application No:** J/73209  
**App Type:** XHS  
**Proposal:** Rebuilding of existing garage & stable block.  
**Decision:** Granted  
**Decision Date:** 1999-08-18

**Planning Application No:** DC/018560  
**App Type:** LDCP  
**Proposal:** Existing certificate of lawfulness for the composite use of land at 18 Ley Lane, Marple Bridge, Stockport SK6 5DD as land ancillary to the normal enjoyment of the dwellinghouse at 18 Ley Lane and a use for the storage and distribution of goods (within the meaning of Class B8 of the Town and Country Planning (Use Classes) Order 1987) by the applicant in connection with his business.  
**Decision:** Granted  
**Decision Date:** 2005-06-01

1.4 RELEVANT HISTORY

Project 3 Architects have proven experience of both designing and delivering high end homes for discerning clients around the North West.





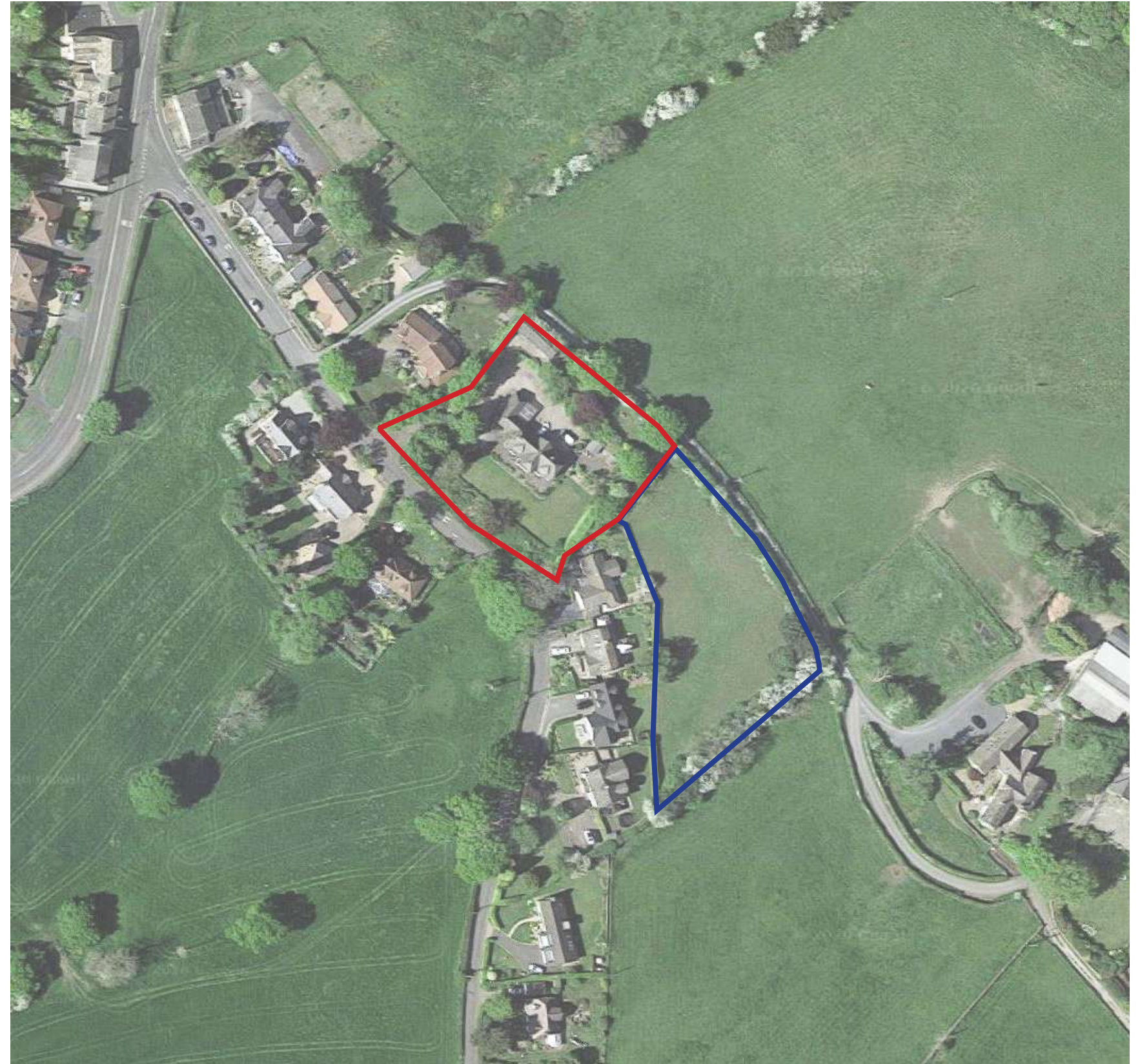
## 2.0 SITE ASSESSMENT

### 2.1 SITE LOCATION

The application site is located at 18 Ley Lane, Maple Bridge. The site is not located within a Conservation Area, but it is within the defined Green Belt. The sites six figure OS Grid reference is SJ975901 with an Easting and Northing of E397509 & N390103.

### 2.2 SITE CHARACTER

Land immediately surrounding the site is open pasture / arable land maintained and farmed by local farmers. Ley Lane has a mixture of houses which date from the turn of the century to the present. The majority date from the 1950s - 1970s. The buildings are mainly housing and farmhouses. There is no single majority building material employed along Ley Lane, the mixture of envelope materials ranges from render, red brick and local stone and with a wide variety of roof finishes from natural slate, red pan tiles and concrete roof tiles.





2.0 SITE ASSESSMENT

2.3 SITE PHOTOGRAPHS





2.0 SITE ASSESSMENT

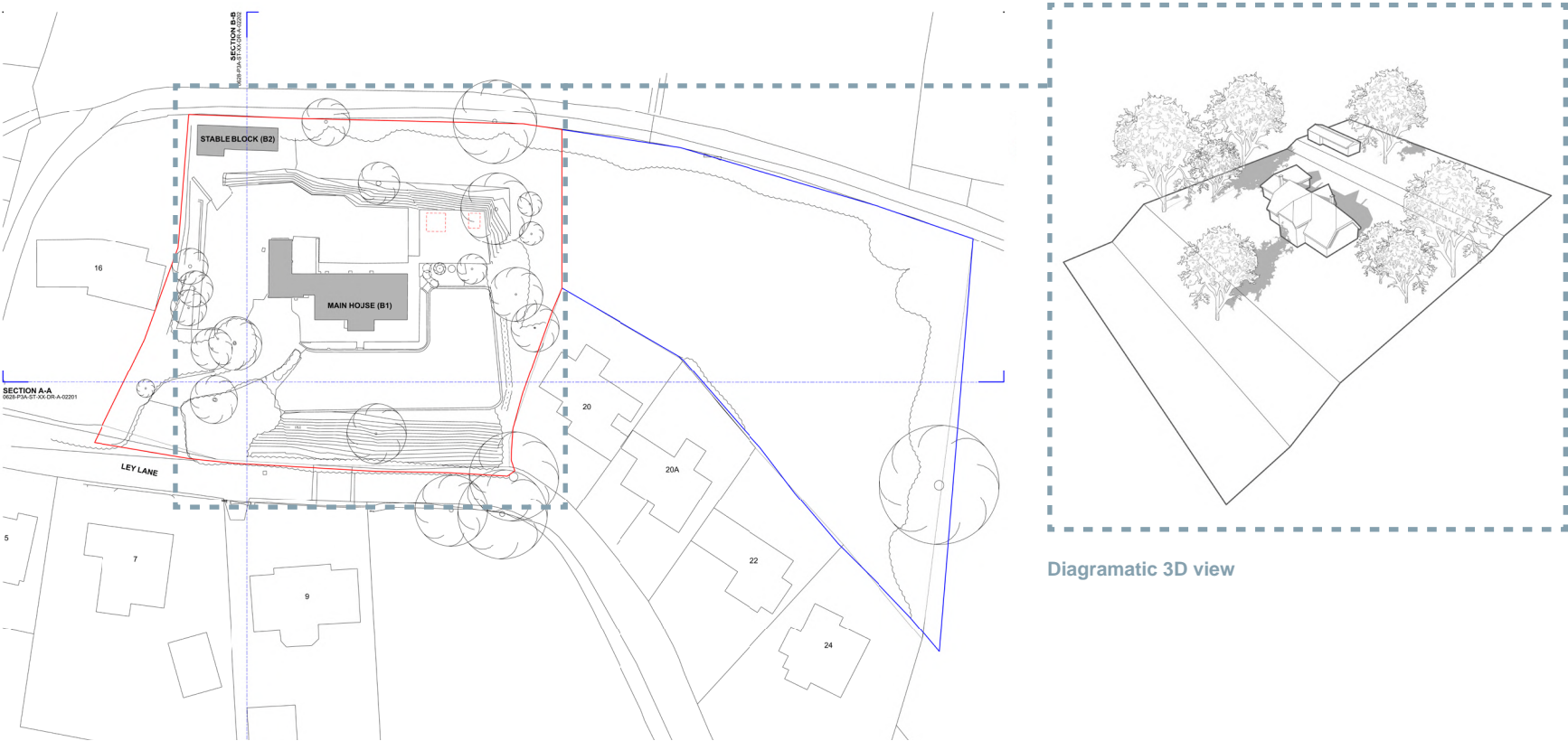
2.4 SITE DESCRIPTION

The site is accessed via a ramped driveway directly off Ley Lane approximately 100m from the junction on Glossop Road. The existing house sits on an elevated plot and is in substantial grounds with an area of 0.676Ha. The rear of the property has an extended stable block bounded by a private access road to the farm located to the North of the site. The site is landscaped to the existing house with the remainder of the site being open grass land bounded by natural hedgerow. The southern end of the site is bounded by properties namely numbers 20-5 Ley Lane. The site topography slopes to these properties with the grass land overlooking the rear of these properties. There are no trees subject to a TPO within the application site. A tree survey has been undertaken by Mulberry and is submitted as part of the application.

2.5 SITE OPPORTUNITIES

The original building is badly designed with a poor internal layout not suited for modern family living with small cramped internal spaces, low eaves height and very poor thermal qualities. The orientation of the exiting building does not take advantage of the key site properties such as view, sunlight and delight. The site offers fantastic opportunities to develop a new high- quality home set within professionally landscaped gardens.

The new landscape proposals for both the house and the pasture land will assist in the biodiversity of the site and create a high quality asset to the location.



Key existing site plan



Existing Site Section A-A



Existing Site Section B-B



3.0 DESIGN PROPOSALS

3.1 USE

The proposed development will provide an attractive high-quality family home constructed using local materials sat within professionally landscaped gardens bounded by maintained planting.

3.2 AMOUNT

Like the building it will replace the proposed house is over 2 storeys with a detached leisure building positioned near the site of the existing stable block.

Project 3 Architects together with Eden Planning have undertaken a series of exercises to demonstrate that the overall volume of this proposal is less than the sum of the volume of existing structures on site together with reasonably proposed ancillary structures and extensions under Permitted Development Rights.

3.3 SCALE

The mass of the proposed dwelling is greater than the existing house. However, the existing house provides little in the way of accommodation with a small kitchen, outdated ground floor layout and only 3 bedrooms sharing a small bathroom.

The overall height of the proposal has increased from the existing to provide an acceptable floor to ceiling height especially on the first floor. The existing property has a reduced ceiling height due to its design, which is unacceptable in a new build house of this quality.

The overall visual scale of the proposal is more in-keeping with the local vernacular. The design team have worked with the site's natural topography to allow the leisure building to be semi concealed within the landscape. Furthermore, a wild flower meadow roof will allow it to blend seamlessly into the landscape and enhance the local context whilst reducing the impact on the Green Belt.

KEY

Existing structures

Prior Approval

Lawful Development

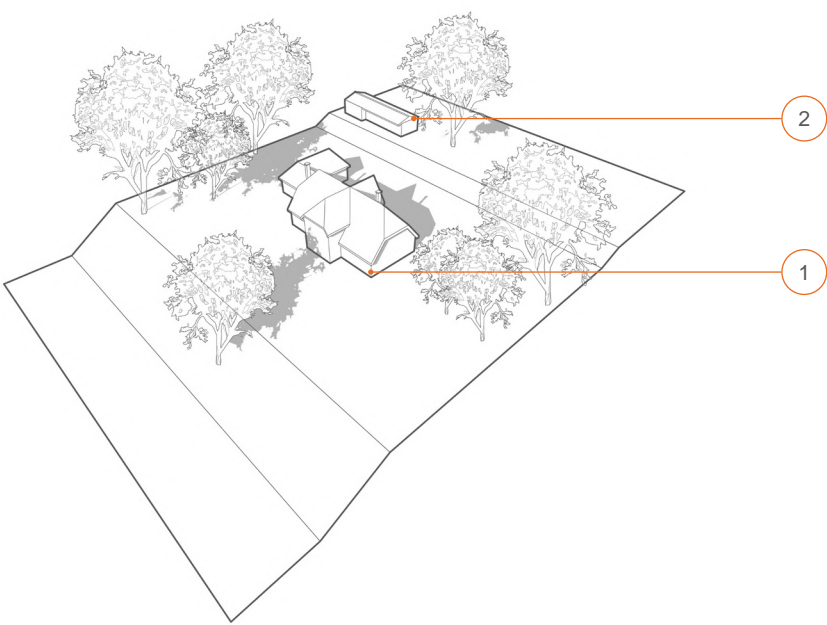
Proposed development

EXISTING SITE

Existing house (1)  
Footprint: 180m<sup>2</sup>  
Volume: 782.28m<sup>3</sup>

Existing stable block (2)  
Footprint: 57m<sup>2</sup>  
Volume: 124.8m<sup>3</sup>

Total: Footprint 237m<sup>2</sup>  
Volume 907m<sup>3</sup>



PRIOR APPROVAL AND LAWFUL DEVELOPMENT

Rear extension (3)  
Footprint: 163m<sup>2</sup>  
Volume: 610m<sup>3</sup>

Side extension (4)  
Footprint: 88m<sup>2</sup>  
Volume: 341m<sup>3</sup>

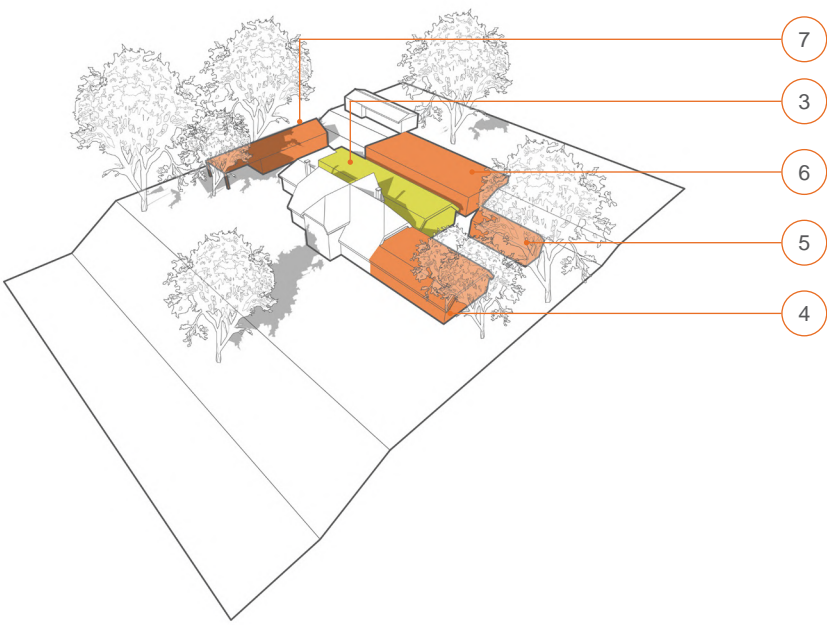
Garden Shed (5)  
Footprint: 27m<sup>2</sup>  
Volume: 87m<sup>3</sup>

Leisure building (6)  
Footprint: 188m<sup>2</sup>  
Volume: 662m<sup>3</sup>

Garage (7)  
Footprint: 103m<sup>2</sup>  
Volume: 253m<sup>3</sup>

Total: Footprint 569m<sup>2</sup>  
Volume 1953m<sup>3</sup>

Total + Existing:  
Footprint 806m<sup>2</sup>  
Volume 2860m<sup>3</sup>



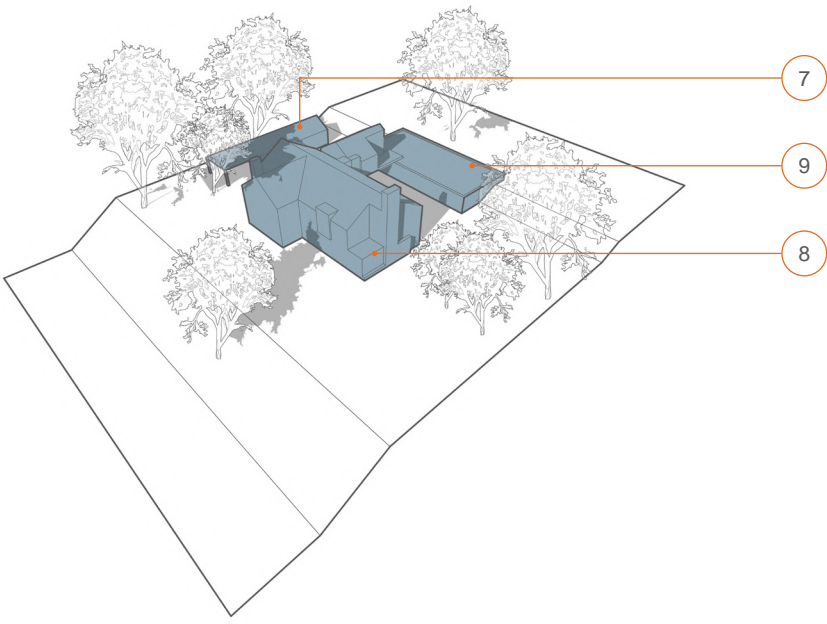
FULL PLANNING APPLICATION PROPOSAL

New House (8)  
Footprint: 323m<sup>2</sup>  
Volume: 1896.5m<sup>3</sup>

Leisure building (9)  
Footprint: 188m<sup>2</sup>  
Volume: 588m<sup>3</sup>

Garage (7)  
Footprint: 103m<sup>2</sup>  
Volume: 253m<sup>3</sup>

Total:  
Footprint 614m<sup>2</sup>  
Volume 2737.5m<sup>3</sup>





## 3.0 DESIGN PROPOSALS

### 3.4 LAYOUT

The proposed house is approximately located on the footprint of the existing property. The layout has been designed to take advantage of both daylight and views, whilst still creating elements of private space for the family to enjoy. In order to reduce the visual impact from Ley Lane we have positioned ancillary components behind the proposed house.

The design proposal anchors around a stone wall designed to reflect the local dry stone walls found in the surrounding fields. This wall runs North to South to create a distinct 'public - private' diagram.

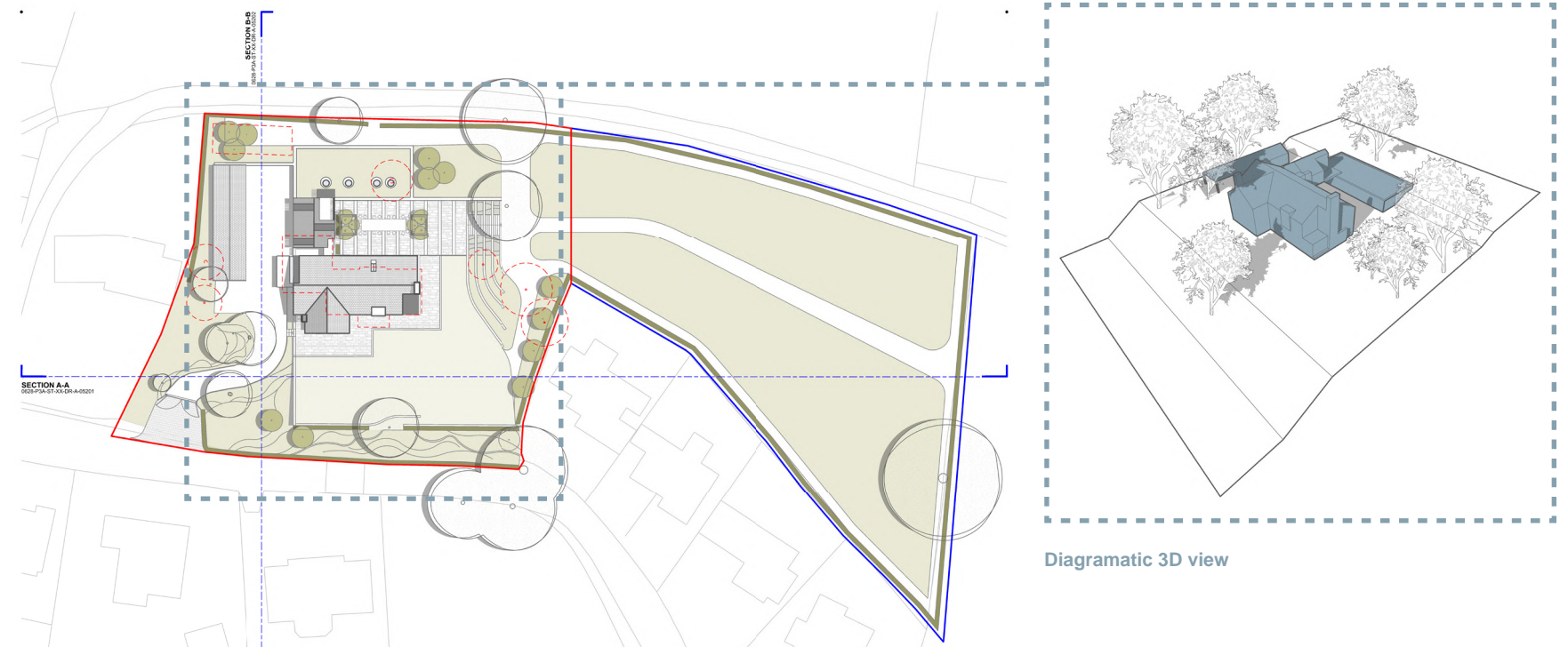
The house is entered from the North elevation emerging from the feature stone wall. This allows the primary ground and first floor accommodation to face South-West providing the house with an abundance of natural lighting and solar gain.

The main arrival point into the house is a double height hall with an open vaulting ceiling. A secondary entrance is provided from the car port with access to a boot room with ample storage.

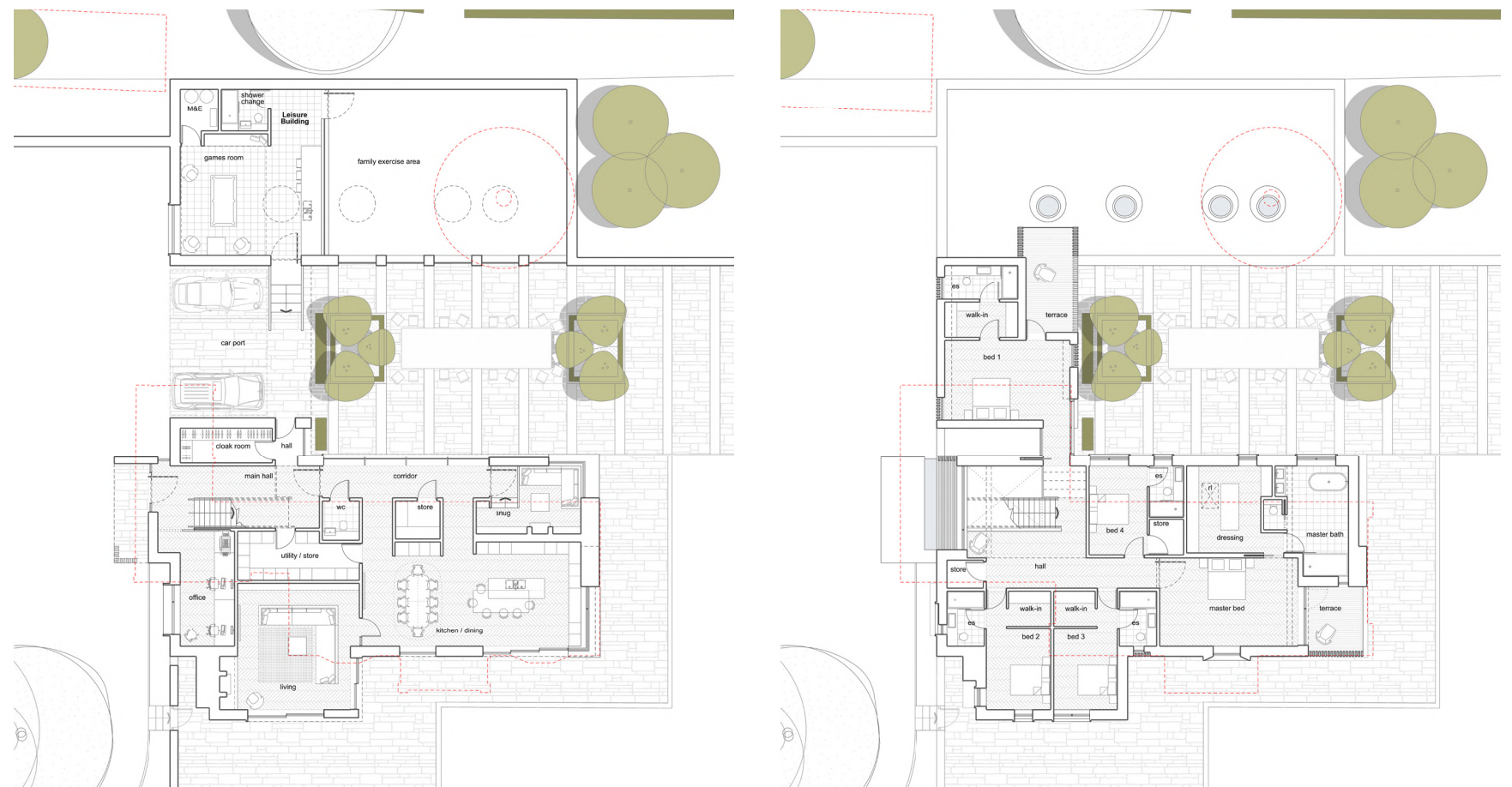
A generous glazed hallway running throughout the back perimeter of the house and terminating at the glazed entrance of a lowered snug allows for an uninterrupted view from the main entrance to the South terraced garden. A service zone separates the hallway from the main living accommodation. The kitchen and living room benefit from full height windows and sliding doors to create a feeling of openness and take advantage of both views and light.

The bedrooms are located on the first floor. The master suite takes up the South gable and has an open vaulted ceiling and a generous terrace. Loft space is provided above the remaining bedrooms to take in additional storage and services and will be accessed from the store room in the hall. The main body of the house is connected via a glass link to a fourth bedroom suite facing South over the internal courtyard. This suite forms the car port below and "hovers" above the leisure building.

Submerged within the new landscape the floor of the leisure building is 750mm below the floor of the main house in order to achieve acceptable head height whilst reducing the impact on the openness of the site. It provides a games room, plant room, wc and family exercise space.



Key proposed site plan



Proposed Ground Floor plan

Proposed First Floor plan



## 3.0 DESIGN PROPOSALS

### 3.5 APPEARANCE

Taking cues from barn houses typical for open pasture contexts the proposal is traditional in form with high quality materials combined to form a minimal palette. The external walls are constructed using an open jointed stone with the same stone to the opening surrounds but with a honed/hammered finish. Larger panels of honed stone are also featured on the ground floor to break up glazed screens and recess corners.

Large scale aluminium windows on the ground floor provide generous amounts of natural lighting and uninterrupted views to the landscape. Smaller windows with raised cills to the first floor give the proposal a more domestic scale and appearance. Slatted larch timber cladding and louvres give the West elevation a light-weight appearance and simultaneously act as privacy screens and brise soleil to the en suite windows and master suite terrace. The bedroom suite over the car port is entirely clad in larch timber to create a light-weight structure which appears to hover over the feature stone wall and the raised landscaped meadow forming the roof of the leisure building.

Pitched roofs to the main house will have natural roof slates and concealed gutters with clipped verge details to provide a crisp modern aesthetic.



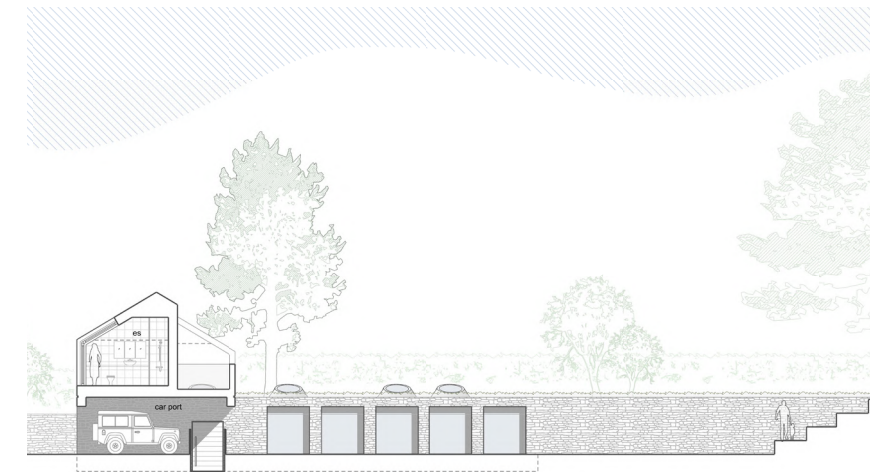
Proposed West Elevation



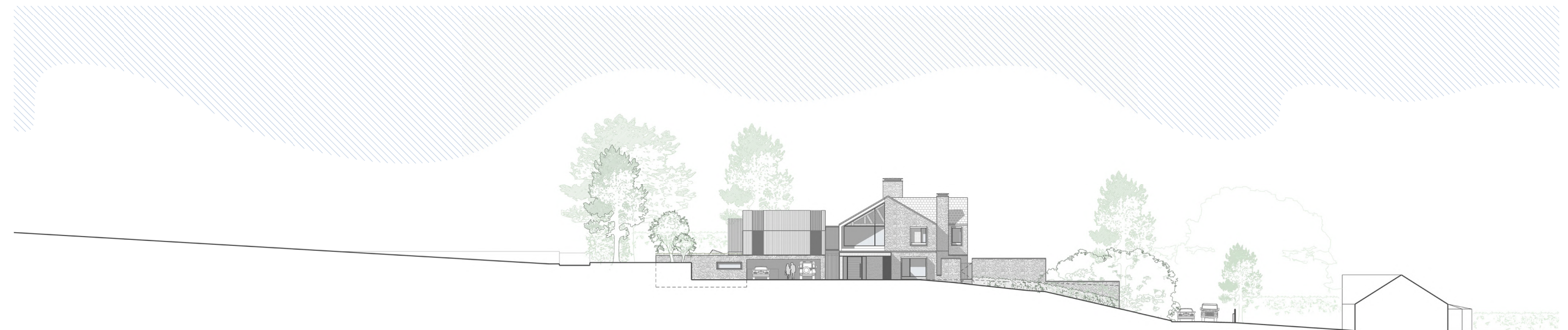
Proposed South elevation



Proposed East Elevation



Proposed Leisure Building elevation



Proposed elevation 4



3.0 DESIGN PROPOSALS

3.6 PRECEDENTS





## 3.0 DESIGN PROPOSALS

### 3.7

#### LANDSCAPE

The project's main objective is to design a garden that incorporates a range of different spaces that are fully integrating into the landscape and enhancing the existing views. The spaces should link the indoor and outdoor areas to create terrace and courtyard space between the house and the garden whilst creating a wider link to the paddock area and hillsides to the south.

##### Landscape Transition

This takes the form of naturalistic meadows, tree planting and orchard area within the paddock area linked by landscape terraces into the more formal lawns and courtyard spaces around the house. The new house, entrance and the garden spaces that surround it, will have a more formal characteristic that relates to the views out and to the internal spaces of the house.

The paddock, boundaries and the rising hillsides to the south has a more informal, naturalistic character which creates a contrast to the areas around the house. This takes the form of naturalistic meadows, tree planting and orchard area within the paddock area linked by landscape terraces into the more formal lawns and courtyard spaces around the house. The new house, entrance and the garden spaces that surround it, will have a more formal characteristic that relates to the views out and to the internal spaces of the house.

##### Arrival and Approach

The existing entrance and driveway is of a high quality and offers privacy from passers by and a sense of intrigue for those approaching the house. Retention of this entrance and drive is key, but with the addition of gates, enhancement to the planting (through removal and replacement of some species) and the widening of the drive to allow easier access.

##### Views and Privacy

The views out from the site are its unique characteristics that we will help enhance and integrate into both the garden and the internal spaces in the house.

There are two different categories of views to think about, the long distance, open views to the south-west from the existing lawn and to the south over the paddock, and the shorter views into the garden and to the existing hedge and tree boundaries.

We will utilise each type of view to take the best advantage of them with seating areas, pathways, enclosed courtyards and open spaces playing a role.

An important part of enhancing views out from the garden will be the enhancement of privacy from views into the garden. We will develop a strategy to improve existing hedge boundaries and to add planting so that views into the garden are restricted particularly along Ley Lane, the boundaries to neighbouring properties and to the lane to the east.

##### Openness and light

The size, orientation and layout of the site offers a range of opportunities to create spaces that respond to the views and at different times of day, sunlight and to different scales of spaces. This enables us to design a composition of different spaces from the larger scale with long distance views, to small scale intimate spaces with colourful planting. The location of these spaces will be designed to take advantage of sunlight so that the whole garden can be used in different ways depending on the time of day, the number of people, the activity and mood.





3.7

Concept

The formal drive leads into a range of seating terraces, lawns and courtyards that have a direct relationship with the internal spaces of the house and the views out. As these formal lines move away from the house they evolve into a series of stone walled terraces that contain garden spaces that move up the levels, taking you through to a more informal, naturalistic area of meadows and orchards in the south.



|   |                         |
|---|-------------------------|
|    | Entrance                |
|    | Driveway and Arrival    |
|   | Courtyards and Lawn     |
|  | Landscape Terraces      |
|  | Informal Landscape      |
|  | Hedge and Tree Planting |





## 3.0 DESIGN PROPOSALS

### 3.7

#### Topography

The existing Holly hedge on the Ley Lane boundary will be cut back and allowed to grow to a new height of 2m in a formal shape (the low wall will also be repaired). A new Yew hedge will be planted to the lawn edge (at a height of 1.2m) to create a private boundary to the upper garden that restricts views from Ley Lane and to the house opposite, but doesn't restrict the long distance views out.

Additional, specimen tree planting on the bank will provide further screening to the house opposite (refer to the plan), whilst providing colour through the year. Further lines of formal Yew hedge and swathes of planting will form a distinctive setting to the lane frontage which will also incorporate a narrow pathway and "secret" seating area overlooking the view.

Dealing with the level change and steep bank becomes more of a feature by using low stone walls and boulders to reduce the gradient and make the embankment easier to plant.

The dwarf wall retaining edge to the lawn curves around and frames the feature cherry tree and forms an intimate seating space for quite relaxation and for views out over the countryside.

Using dry stone walling as a 'ha-ha' feature helps to reduce the levels and gradient of the bank. Overtime these walls would become habitat areas and ages to look more authentic.





3.7 Landscape masterplan



**KEY**

**Hardscape**

- Existing threshold sett paving to entrance road retained
- Clay brick paving to garden terraces
- Resin bound surfacing to courtyard and main drive area
- Fin wall – grey stone to match building
- Natural yorkstone dwarf retaining wall extent to lawn
- Existing topo levels retained
- Proposed levels

**Softscape**

- Existing trees retained and protected in accordance with BS 5837:2012
- Existing hedge retained and protected
- Proposed garden tree planting
- Proposed new hedgeline
- Shrub planting swathes to main driveway embankment
- Herbaceous sensory planting to Courtyard
- Lawn
- Wildflower meadow





## 3.0 DESIGN PROPOSALS

### 3.7 Landscape precedents



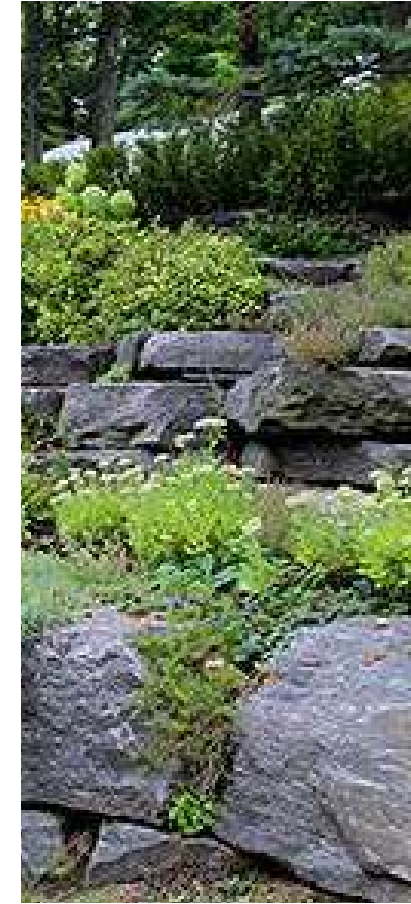
Stone terraces with herbaceous planting



Natural stone walls and steps



Flowering plants



Formal hedges and walls set against informal planting and naturalistic meadows



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