



# LEY HOUSE, LEY LANE, MARPLE BRIDGE

## PLANNING STATEMENT

EDENPLANNING.CO.UK

6 The Downs, Altrincham WA14 2PU



December 2020

PROJECT: RD0841

CLIENT: Mr and Mrs Traynor

AUTHOR: Angela Mealing (Associate Director)

AUTHORISED: Donna Barber (Director)

DATE: December 2020

This report has been prepared for the client by Eden Planning and Development Ltd with all reasonable skill, care and diligence, based on the information provided by the client and research undertaken as outlined in this report. This document (or part of it) must not be reproduced without the prior written approval of Eden Planning and Development Ltd.

# CONTENTS

## 1. INTRODUCTION

## 2 SITE CONTEXT

## 3 PLANNING HISTORY

## 4 PROPOSED DEVELOPMENT

## 5 PLANNING POLICY CONTEXT

## 6 ASSESSMENT

## 7 CONCLUSION

## APPENDICIES

### 1 RELEVANT PLANNING POLICIES

### 2 PERMITTED DEVELOPMENT DETAILED PLANS



# 1 INTRODUCTION

- 1.1. On behalf of the applicants, Mr and Mrs Traynor, this Planning Statement is submitted in support of a detailed planning application for a replacement dwelling with a modern, energy efficient family home at Ley House, 18 Ley Lane, Marple Bridge, SK6 5DD.
- 1.2. The site is wholly within the Green Belt. There are therefore policy restrictions that limit the size of the replacement dwelling. The existing property has not been significantly extended since its construction and retains permitted development rights. The application presents very special circumstances to demonstrate how the proposal meets planning policy requirements.
- 1.3. The application is also accompanied by a detailed set of plans to illustrate the extensions and outbuildings that could be achieved without planning permission.
- 1.4. This application is submitted with the benefit of pre-application advice from the Local Planning Authority relating to the principle of the development.
- 1.5. This Statement should be read in conjunction with the submitted plans, Design Statement (Project 3 Architects and Land Studio), Arboricultural Impact Assessment and Method Statement (Mulberry Tree Consultants) and Ecology Survey (Whistling Beetle).



Figure 1: Existing rear elevation



## 2 SITE CONTEXT

- 2.1. The existing property comprises a two storey detached dwelling with accommodation in the roof and dormer style windows together with an attached garage, detached outbuildings and hardstanding to the front and rear.
- 2.2. The property is sited centrally within a large garden plot which, as illustrated by the plan opposite, is significantly larger than neighbouring plots. It has generous space around the dwelling.
- 2.3. The applicants' ownership extends beyond the site to include a field to the south east of the property which is edged blue on the plan opposite. This is outside of the application site.
- 2.4. Based on a review of historic maps, it is understood that the property was built after 1950, but before 1970. It does not appear to have been significantly extended or remodelled since this time.



Figure 2: Site Location Plan



- 2.5. The property lies to the north east of Ley Lane within a ribbon of development circa 115m from Lane Ends and approximately 900m from the centre of Marple Bridge.
- 2.6. Access is taken directly from Ley Lane via a sloped single drive which is well screened and, with mature landscaping to the frontage, the property is barely visible from the highway. Public Right of Way (PROW) 39M runs parallel to the rear of the site boundary leading to Broadstones.
- 2.7. There are two neighbours adjacent to the application site at 16 and 20 Ley Lane, and existing neighbouring properties across the lane which have also been carefully considered as the design has evolved. There are no residential properties immediately to the rear.
- 2.8. Two footways beyond the application site to the north east lead to the small settlement of Lane Ends. This has two bus stops served by the 394 bus service providing weekday links to Glossop, Marple, High Lane and Stepping Hill (Hazel Grove). The bus stop is circa 115m from Ley House.
- 2.9. The site is wholly within Flood Zone 1, which is at a low risk of flooding.





2.10. The land slopes upwards to the north east, with Ley House at an elevated level upwards from Ley Lane and neighbouring dwellings on the opposite side of the highway, which are positioned at a lower level than the highway due to the natural slope of the area.

2.11. Whilst the site forms part of a ribbon of development with dwellings to three sides, the site is wholly within the Green Belt. It is therefore acknowledged that extensions and a replacement dwelling will need to be restricted within policy parameters.



## **3 PLANNING HISTORY**

3.1. The property does not have an extensive planning history. Based on a review of the Council's online database, the applications listed within Table 1 are relevant to the application.

### **Permitted Development Rights**

3.2. The planning history for the site confirms that few extensions or alterations have made to the original dwelling and permitted development rights remain intact.

### **Pre Application Advice**

3.3. The applicant has engaged with the Local Planning Authority at the preapplication stage regarding the principle of a replacement dwelling at this site, and the scope of the planning application (technical report for ecology and arboriculture were requested and form part of this submission).

3.4. This confirmed that the principle of a replacement dwelling at the site could be acceptable in policy terms subject to detailed design issues. It was also agreed at the pre application stage that the fall back position that could be achieved under permitted development rights WAS a material consideration in the assessment of the application, and could be accepted as Very Special Circumstances for an increase over a third (refer to policy).

Reference	Description	Decision
DC/078443	Proposed Single Storey Rear Extension	Prior Approval not Required 18/11/20
DC/018560	Existing certificate of lawfulness for the composite use of land at 18 Ley Lane, Marple Bridge, Stockport SK6 5DD as land ancillary to the normal enjoyment of the dwellinghouse at 18 Ley Lane and a use for the storage and distribution of goods (within the meaning of Class B8 of the Town and Country Planning (Use Classes) Order 1987)	Granted 31/05/05
J/73209	Rebuilding of existing garage and stable block	Granted 18/08/99
J/59505	Extension to provide games room and guest room	Refused 05/05/94
J/15723	Residential development - 4 dwellings	Refused 24/05/79



## **4 PROPOSED DEVELOPMENT**

## Design Concept

- 4.1. The submitted application comprises detailed plans, elevations and a landscaping scheme at Ley House for a replacement dwelling. Detailed information on the design, layout and landscaping is submitted within the Design Statement prepared by Project 3 Architects and Land Studio.
- 4.2. In summary, the plans illustrate a comprehensively designed, architecturally led bespoke new energy efficient dwelling that suits the applicants' personal requirements. This is accompanied by a landscape masterplan which includes both hard and soft landscaping around the site.
- 4.3. The proposed development incorporates the removal of the existing stable block/outbuilding, sheds and the existing dwelling. These will be replaced with a two storey detached dwelling, garage and partly subterranean outbuilding to the rear.
- 4.4. The use of the natural levels of the site have been integral to the design. The outbuilding to the rear will be built into the slope with a green roof to further blend the proposed outbuilding into the landscape.

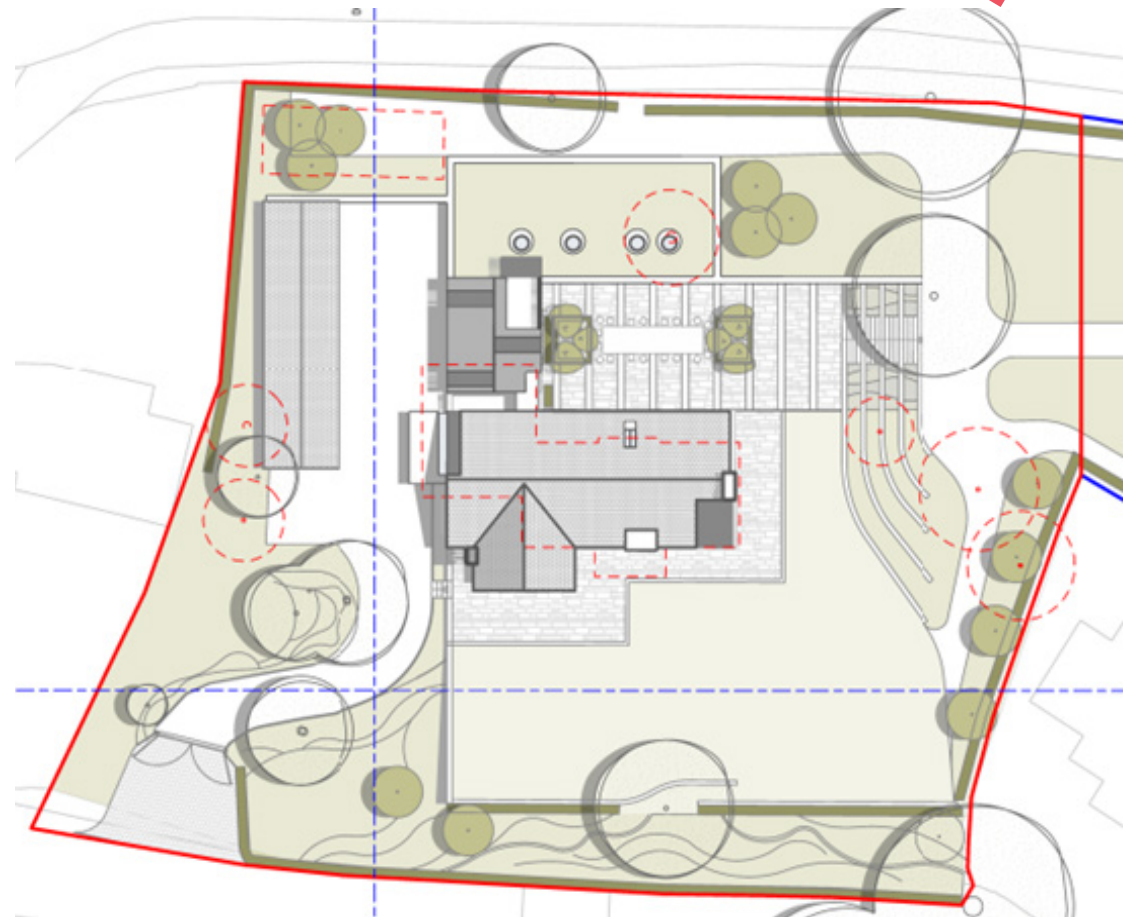


Figure 5: Proposed Site Plan

## Scale and Massing

- 4.5. Existing and proposed cross sections are provided to enable an assessment of the scale and massing of the proposed dwelling. These demonstrate how the levels create flexibility for the scheme to deliver new spaces in a way that reduces impact on openness.
- 4.6. Specifically, the dwelling will appear as single storey when viewed from the rear, and only a minimal height increase of 89 centimetres proposed to the dwelling. The footprint of the existing dwelling is largely reflected in the proposed siting, to minimise impact on both neighbour amenity and openness of the Green Belt. This is illustrated on the submitted plans, with the red dashed line indicating the existing dwelling.
- 4.7. Crucially, the relationship of the dwelling within this unusually large plot is retained, which respects the character of the site within its wider context.
- 4.8. The design utilises the size increase that could be achieved using permitted development rights, which could be delivered without the need for any further planning permission. This includes the provision of outbuildings and the ability to significantly extend the existing dwelling. An application for a large single rear extension confirmed that prior approval was not required.



Figure 6: Proposed Elevations

### **Energy Efficiency**

- 4.9. It is the applicants' preferred option to comprehensively redesign the site to achieve a modern, energy efficient home that is specifically designed for their requirements.

### **Design Quality**

- 4.10. In design terms, it is considered that the style and materials proposed will improve the appearance of the site, particularly alongside the sensitively designed landscaping scheme.
- 4.11. An holistic redesign will be preferable in policy terms than a more piecemeal approach to extending the existing dwelling, which would fail to deliver improvements to living spaces, landscaping improvements, and an energy efficient building that works so well with the individual characteristics of the site.
- 4.12. The proposed dwelling provides will suit modern family living, with an open plan living area with discrete rooms off this and a home office. These are accessible via a central courtyard. Five bedrooms proposed to the first floor.

### **Outbuildings and Landscape**

- 4.13. The outbuilding will provide space for uses ancillary to the main dwelling. The design is closely aligned to that which could already be achieved under permitted development rights (see detailed plans at Appendix 2) and has also been designed to meet the specific characteristics of the site, being built into the existing slope at the rear of the dwelling. As a result, the bulk and massing of the outbuilding will be tucked into the slope which will lessen any impact on openness.
- 4.14. The garden areas work with the natural slope of the site. Planting is proposed to the south between the dwelling and the highway, and replacement hardstanding will create a private courtyard area around which the family accommodation is focused.
- 4.15. The existing access is retained as existing.
- 4.16. Ample car parking is provided on site within the proposed garaging, with space to manoeuvre within the site to exit in a forward gear.
- 4.17. The single storey garage proposed to the east of the dwelling is the same as that which could be achieved under permitted development rights. It will accommodate space for car parking, cycle parking and garden storage.





# **5 PLANNING POLICY CONTEXT**

- 5.1. The Development Plan for the site comprises the Stockport Core Strategy (2011) and the saved policies of the Unitary Development Plan Review (2006).
- 5.2. Key policy considerations relate to the Green Belt, design, residential amenity, access, landscaping, and ecology. The relevant policies considered as part of the design process, and against which the application will be assessed, are listed at Appendix 1.

### **Other Material Considerations**

- 5.3. Planning decisions need to be in accordance with the Development Plan unless material considerations indicate otherwise. Planning policies are supplemented by detailed guidance relating to:
  - Extensions and Alterations to Dwellings SPD (2011)
  - Sustainable Design and Construction SPD (2012)
  - Design of Residential Development SPD (2007)
  - Open Space Provision and Commuted Sums (2019)
  - Sustainable Transport SPD (2007)

### **The Framework (NPPF)**

- 5.4. The National Planning Policy Framework (NPPF, Feb 2019) sets out the Government's national policies for the planning system and the expectation for them to be applied positively and pro-actively to deliver sustainable economic growth and development.
- 5.5. Paragraph 38 requires decisions on proposed development to be taken in a positive and creative way, to seek to approve applications for sustainable development where possible.
- 5.6. Protection of the openness of the Green Belt is an important element of the Framework. Most development in the Green Belt is considered inappropriate with some clearly defined exceptions. These include replacement buildings where they are not materially larger than the ones they replace (Paragraph 145).
- 5.7. The Framework is also clear that there can be very special circumstances where any potential harm to openness is clearly outweighed by other considerations. Very special circumstances will be assessed on a site by site basis (Paragraphs 143 and 144).
- 5.8. Paragraph 12 states that Local planning authorities may take decisions that depart from an up-to-date development plan where material

considerations in a particular case indicate that this would be appropriate.

- 5.9. The Framework also encourages improvements in design, noting it as an integral part of delivering sustainable development and creating better places.



# **6 ASSESSMENT**

6.1. This assessment relates to the key issues highlighted in Section 5, Planning Policy Context. It demonstrates how the proposed development meets policy requirements, and where other material considerations are relevant.

### **Green Belt**

6.2. The key policies which affect the provision of outbuildings and a replacement dwelling on this site are Saved Policies GBA1.2 (Control of Development in Green Belt), GBA1.5 (Residential Development in Green Belt).

6.3. Saved Policy GBA1.2 (Control of Development in Green Belt) details a presumption against the construction of new buildings unless they meet defined exceptions:

- i. agriculture and forestry (unless permitted development rights have been withdrawn);
- ii. essential facilities for outdoor sport and outdoor recreation, for cemeteries, and for other uses of land which preserve the openness of the Green Belt and which do not conflict with the purposes of including land in it;
- iii. limited extension, alteration or replacement of existing dwellings (in accordance with Policy GBA1.5); or

- iv. limited infilling or redevelopment of Major Existing Developed Sites identified on the Proposals Map, in accordance with Policy GBA1.7.

6.4. Saved Policy GBA1.2 identifies the replacement of existing dwellings as an exception to Green Belt restrictions. It links to the detail of Saved Policy GBA1.5 (Residential Development in the Green Belt), which restricts new residential development subject to specific criteria. One of the exceptions is that proposals relating to existing residential uses in the Green Belt may be permitted where;

*‘rebuilding or replacement of an existing habitable dwelling where the new dwelling is of similar size and would not be more intrusive in the landscape than the one demolished’.*

6.5. The policy justification clarifies:

*“The rebuilding of an existing habitable dwelling as an alternative to refurbishment may be acceptable where the existing structure is not of architectural or historic interest and where the resulting dwelling is not significantly larger or more intrusive than that previously existing.*

*As a general guideline, the volume of the proposed dwelling should not exceed the volume of the original dwelling by more than about one third and the form of the dwelling should not be significantly altered.*

*The cumulative effect of any extensions to the original dwelling on the site will be taken into account in assessing the acceptability of a proposal...Siting should remain the same unless there would be environmental and amenity gain from a relocation".*

- 6.6. A key policy test for the proposed development is therefore an assessment of whether the proposed replacement would be of a similar size than the existing dwelling.
- 6.7. The proposal as submitted would be in excess of a third increase over the original dwelling. However, planning policies allow for material considerations to be taken into account when assessing a planning application. This is a fundamental requirement of Section 38(6) of the Planning and Compulsory Purchase Act 2004.
- 6.8. The existing dwelling retains its permitted development (PD) rights. These include the rights under the provisions of Schedule 2, Part 1, Classes A and E of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). Extensions with a floor area well in excess of a third, and an increase in floor area greater than the proposed replacement dwelling, could be achieved through exercising these PD rights. **This is a material consideration in the assessment of the proposal.**

- 6.9. The ability of the applicants to exercise this 'fall back' position to deliver the space required, and in excess of what is currently being applied for, is presented as part of a case to demonstrate 'very special circumstances' exist to justify the increase proposed.
- 6.10. The importance of a fall back has been considered and given due weight in other decisions in the vicinity - whilst noting that each application must be considered on a site by site basis.
- 6.11. The Design and Access Statement includes a detailed comparison schedule of areas at Section 3 (Design Proposals) on p.7. Extracts are included overleaf for ease of reference and Table 2 below summarises the total area and volume calculations.

	Existing	PD Fall Back	Proposed
<b>Built Footprint (m2)</b>	237	806	614
<b>Volume (m3)</b>	907	2860	2737.5

## PRIOR APPROVAL AND LAWFUL DEVELOPMENT

### Rear extension (3)

Footprint: 163m<sup>2</sup>

Volume: 610m<sup>3</sup>

### Side extension (4)

Footprint: 88m<sup>2</sup>

Volume: 341m<sup>3</sup>

### Garden Shed (5)

Footprint: 27m<sup>2</sup>

Volume: 87m<sup>3</sup>

### Leisure building (6)

Footprint: 188m<sup>2</sup>

Volume: 662m<sup>3</sup>

### Garage (7)

Footprint: 103m<sup>2</sup>

Volume: 253m<sup>3</sup>

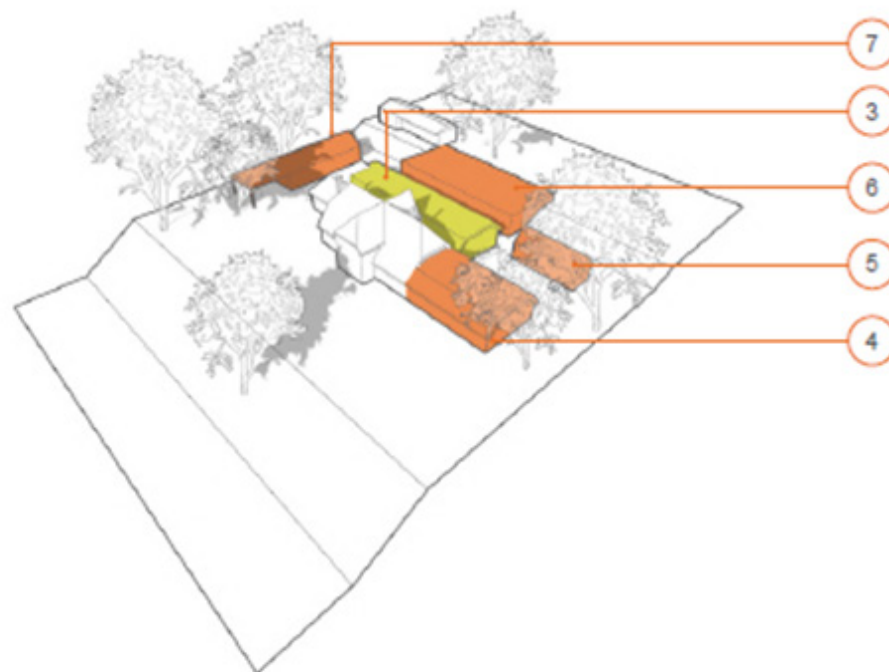
Total: Footprint 569m<sup>2</sup>

Volume 1953m<sup>3</sup>

Total + Existing:

Footprint 806m<sup>2</sup>

Volume 2860m<sup>3</sup>



## FULL PLANNING APPLICATION PROPOSAL

### New House (8)

Footprint: 323m<sup>2</sup>

Volume: 1896.5m<sup>3</sup>

### Leisure building (9)

Footprint: 188m<sup>2</sup>

Volume: 588m<sup>3</sup>

### Garage (7)

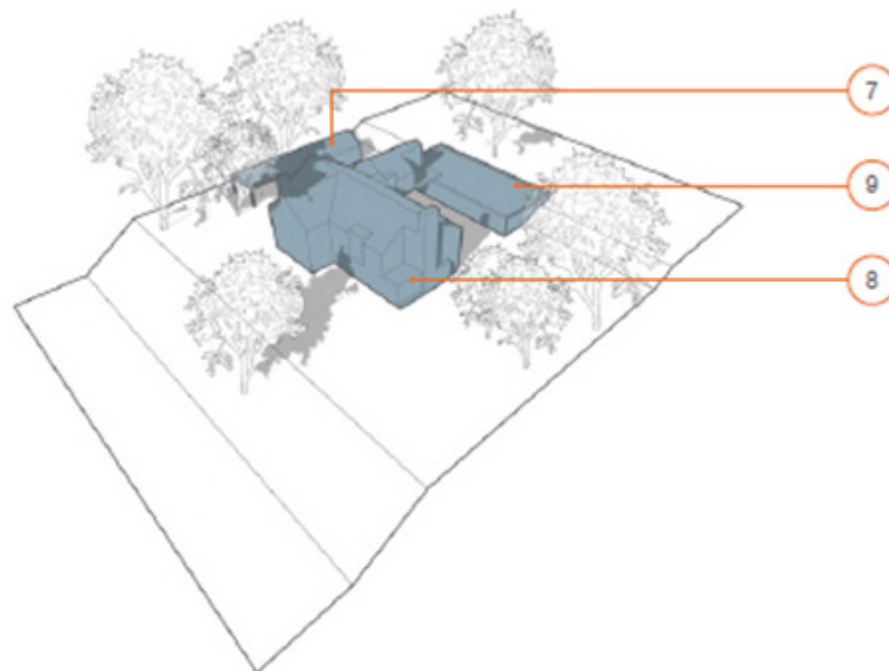
Footprint: 103m<sup>2</sup>

Volume: 253m<sup>3</sup>

Total:

Footprint 614m<sup>2</sup>

Volume 2737.5m<sup>3</sup>





6.12. It is important to consider visual impact on openness as well as quantitative calculations. The footprint spread of buildings and extensions that could be achieved across the site under permitted development rights is significant, due to the character of the dwelling and plot. The width increase across the site could have a greater impact when viewed from the street scene, whereas the proposed replacement is more compact in its form.

6.13. The proposed replacement is also closer to the existing built footprint on the site.

6.14. The leisure building and the garage are very closely aligned to the permitted development options.

6.15. These figures and models indicate that the replacement could be designed in a way to reduce visual impact and footprint, and incorporate the leisure building in a subterranean basement built into the slope of the site. This approach would have less of an impact than that which could be achieved without permission, and the householder prior approval application.

6.16. In addition to the more harmful fall back option, other issues contribute towards the case for very special circumstances:

- The replacement will have the benefit of delivering a comprehensively designed home to meet the specific requirements of the applicants in an holistic way, rather than through piecemeal additions to the dwelling.
- Use of modern materials and considered design will deliver improvements in terms of energy efficiency using high quality materials.
- The replacement would better respect the character of the site and the area, remaining more closely in line with the existing footprint of the house.

6.17. It is considered that the replacement, as demonstrated by the submitted images and landscaping scheme, would have a materially improved appearance than that which would be possible through permitted development rights, particularly with regard to the extent of the proposed footprint and overall design.

6.18. It is therefore concluded that these material considerations comprise very special circumstances to be given weight in the assessment of the planning application, and outweigh any harm to the openness of the Green Belt.

### **Design**

6.19. A full explanation of the design is within the submitted Design Statement and is not repeated here.

6.20. Paragraph 124 of The Framework states;

*“The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities”.*

6.21. In summary, the design proposed utilises the natural features of the site and this is further supported by a Landscape Masterplan.

6.22. Materials proposed are natural with modern glazing, and the use of the green roof over the leisure building blends the development into the landscape.

6.23. The scale and massing is focused towards the existing built footprint, and utilises the scope for permitted development i.e. that which is deemed to be acceptable through the regulations.

6.24. The character of the area is that of a residential ribbon of development, with residential uses to three sides of the development site. The style of houses is fairly mixed, with different materials evident. The proposed dwelling retains the general character of the site with a two storey detached dwelling with outbuildings.

6.25. The submitted drawings and comparisons with the existing proposal, help to demonstrate how the proposal accords with Saved Policy SIE-1, Quality Places, of the adopted Stockport Core Strategy DPD and the guidance set out in the Extensions and Alterations to Dwellings SPD.

### **Residential Amenity**

6.26. The proposed replacement dwelling has been designed to consider the amenity of neighbours. This also links back to the siting of the replacement, which retains its existing position within the plot, centrally located and with generous space around the dwelling.

6.27. The height of the proposal is largely unchanged, with a minimal increase in maximum ridge height of only 89cm.

6.28. The separation distances between neighbouring properties has been considered alongside the requirements of the Design of Residential Development SPD.

6.29. The relationship of the proposed replacement dwelling with no. 16 Ley Lane to the west has been carefully designed. The footprint of the proposed dwelling is slightly further away from this neighbour than the existing dwelling, and is proposed as two storey. There is a habitable room at no. 16 that directly overlooks the application site. This appears to be a secondary window, but the position of the neighbouring dwelling close to the joint boundary means that this has been positively addressed through design. The two dwellings are set apart by a minimum of 20m. At this point, the only window proposed is to an ensuite so this will be obscure glazed. As a result, this is in excess of the 12m minimum required by the guidance.

6.30. A bedroom window is proposed to the replacement dwelling beyond its rear elevation. Whilst this is at the first floor and facing west, the levels mean that this will be lower than normally expected of an upper floor window. Again, the design of this part of the dwelling has accommodated this consideration through design. This is at 21m from the neighbouring dwelling, but is beyond the rear elevation and does not face the neighbouring elevation. It is therefore considered that this meets the requirements of the guidance.

6.31. To the east of the site, the existing neighbour to 20 Ley Lane is distanced in excess of 28m from the proposed dwelling. This exceeds the minimum separation distance required for window positions.

6.32. Neighbours at 7 and 9 Ley Lane are at a lower level. They are, however, set at a significant distance from the proposed dwelling with no. 7 Ley Lane at a minimum of 44m from the proposed dwelling, and no. 9 Ley Lane at a minimum of 41m. This is far in excess of the 25m required by the regulations and any additional distance required due to the level changes at Ley Lane.

6.33. Due to the nature of the application site, there is ample space around the dwelling to achieve the replacement as proposed and adhere to the necessary guidance on separate distances.

6.34. Similarly, consideration of bulk and massing is largely unchanged, again due to the individual character of this site, centrally within its substantial garden. There would be no issues with over shadowing or overlooking, and the amenity of neighbouring properties would be protected in accordance with Core Strategy Policies CS3, Mix of Housing, H-1, Design of Residential Development and SIE-1, Quality Places, and the Extensions and Alterations to Dwellings SPD.

## Access

- 6.35. The proposed development retains the existing access and does not propose any intensification of use of the site.
- 6.36. There is space to manoeuvre within the site, and car parking space is provided to the standards required within Policy T-2, Parking in Developments. It also accords with Policy CS9, T-1, Transport and Development, and T-3, Safety and Capacity on the Highway Network of the adopted Stockport Core Strategy DPD the guidelines set out in the Extensions and Alterations to Dwellings SPD.

## Landscaping

- 6.37. The proposed replacement dwelling is accompanied by a Landscape Masterplan prepared the Land Studio, which is described in detail within the submitted Design Statement.
- 6.38. This has been central to the design of the proposal, and both the built form and improvements to the garden have evolved alongside each other.
- 6.39. This is particularly important to respond to the site's location within the Marple Bridge Landscape Area. This is protected by Saved Policy LCR1.1, Landscape Character Areas, and Saved Policy LCR1.1A, The Urban Fringe Including the River Valleys.



Figure 8: Landscape Masterplan

6.40. The use of the site will remain in residential use, and as the submitted plans demonstrate, the replacement dwelling will be sited on a similar footprint to the existing dwelling, and appear as a two storey dwelling with generous space around it. It will still be set back within the site, and appear as a single storey dwelling when viewed from the rear. Within a wider context, the visual context of the site would be unchanged as part of a ribbon of development along Ley Lane.

6.41. Features proposed include stone walls, formal and informal planting, and stepped terraces using the natural levels of the site. New planting is proposed to the south of the property between the dwelling and Ley Lane.

6.42. An Arboricultural Assessment and Method Statement prepared by Mulberry Tree Consultants is submitted with the application. This details the trees to be removed to enable the proposed development, the associated mitigation measures required, and explains how trees that will be retained will also be protected during the construction phases.

## **Ecology**

6.43. An Ecology Survey was undertaken by Whistling Beetle in September 2020. It confirmed that there would be no protected species affected by the proposed development.

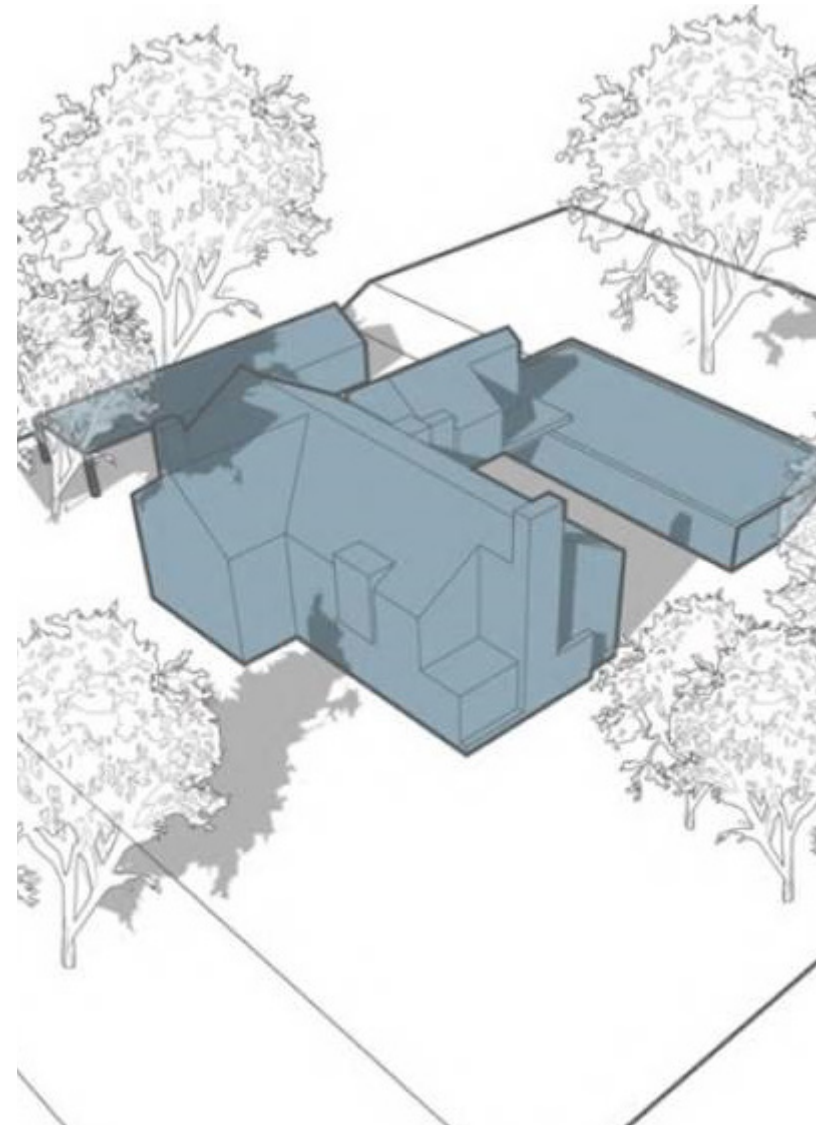
6.44. The trees that will be affected by the development proposals do not offer any habitats for protected species, nor do the buildings currently on site.

6.45. The survey included an internal inspection of buildings to check their suitability for bats, as well as a wider site survey. Further details are within the submitted Report, which confirms that no further survey effort is required.



# 7 CONCLUSION

- 7.1. The submitted application for a replacement two storey dwelling, associated outbuildings and landscaping is accompanied by detailed plans and elevations, a Design Statement, Landscape Masterplan, Ecology Report and Arboricultural Impact Statement and Method Statement.
- 7.2. The Statement summarises the technical information and draws this together to provide an assessment of the proposal against planning policies. The key policy considerations relate to impact on the Green Belt, landscape, design, residential amenity, access and ecology, and **it is considered that the proposal meets the requirements of the Development Plan.**
- 7.3. The proposal is presented alongside a case for very special circumstances to justify the increase in floor area proposed. This is principally based on **the accepted fallback** that could achieve a materially greater increase through exercising permitted development right and is supported by other material considerations.
- 7.4. It is considered that the redevelopment of the site to provide a new replacement dwelling and well planned linkages to the proposed outbuildings, which utilise the natural levels of the site, is more appropriate in both design and policy terms.







# **APPENDIX 1 PLANNING POLICIES**

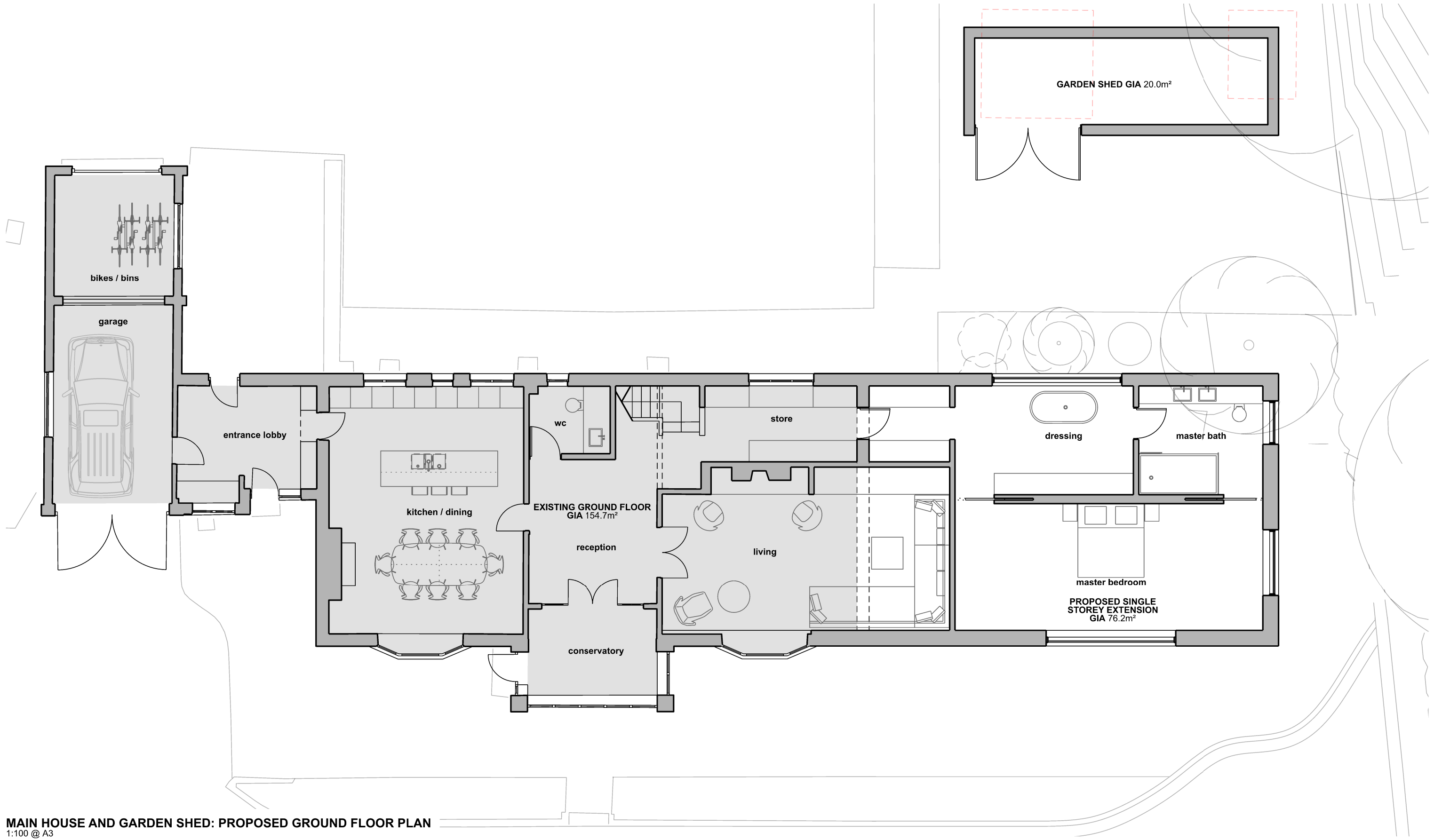
## **Relevant Policies**

### ***Saved Policies of the Unitary Development Plan***

- Saved Policy GBA1.1, Extent of the Green Belt
- Saved Policy GBA1.2, Control of Development in Green Belt
- Saved Policy GBA1.5, Residential Development in Green Belt
- Saved Policy CDH1.8, Residential Extensions
- Saved Policy LCR1.1 Landscape Character Areas
- Saved Policy LCR1.1A The Urban Fringe Including the River Valleys
- Saved Policy EP1.7 Development and Flood Risk
- Saved Policy L1.1 Land for Active Recreation
- Saved Policy L1.2 Childrens Play
- Saved Policy MW1.5 Control of Waste from Development

## ***Local Development Framework - Core Strategy***

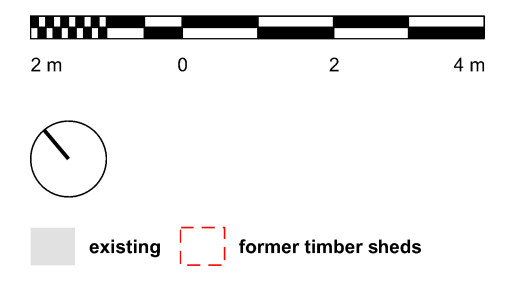
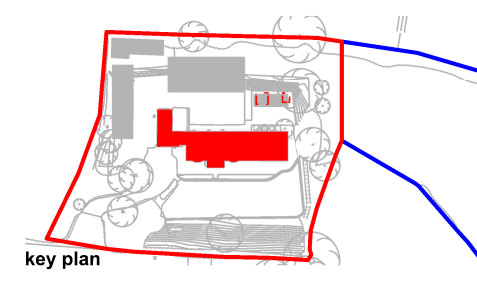
- Development Management Policy SD-1, Creating Sustainable Communities
- Development Management Policy SD-6, Adapting to the Impacts of Climate Change
- Development Management Policy H-1, Design of Residential Development
- Development Management Policy SIE-1, Quality Places
- Development Management Policy SIE-3, Protecting, Safeguarding and Enhancing the Environment
- Development Management Policy T-2, Parking in Developments
- Development Management Policy T-3, Safety and Capacity on the Highway Network
- Core Policy CS4, Distribution of Housing
- Core Policy CS8, Safeguarding and Improving the Environment
- Core Policy CS9, Transport and Development
- Core Policy CS10, An Effective and Sustainable Transport Network



MAIN HOUSE AND GARDEN SHED: PROPOSED GROUND FLOOR PLAN  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge

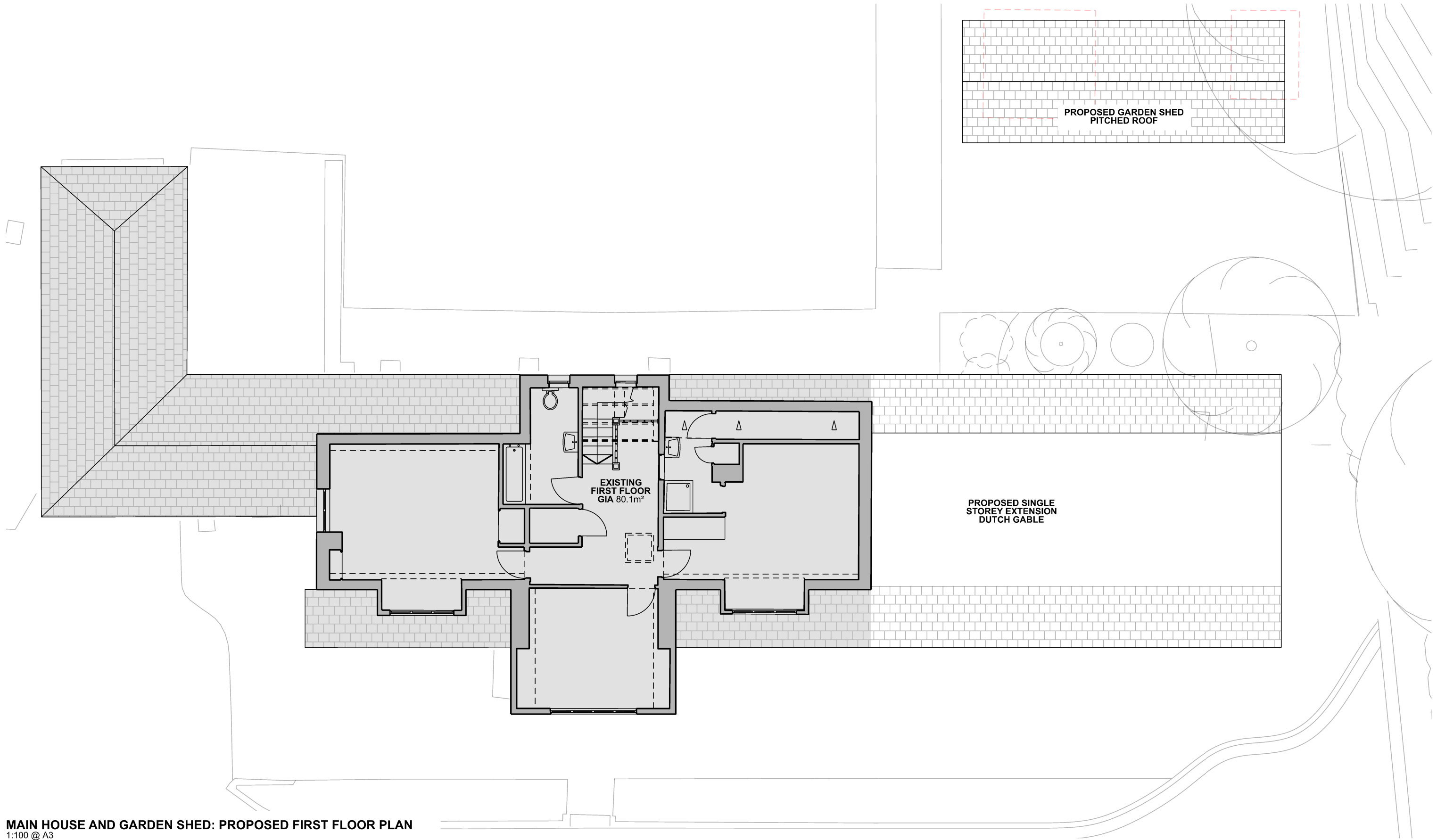
Title:  
Main House and Garden Shed  
Proposed ground floor plan

Status:  
PLANNING

Drawing Number:  
0628-P3A-B1-00-DR-A-05001

Scale @ ISO A3:  
1:100

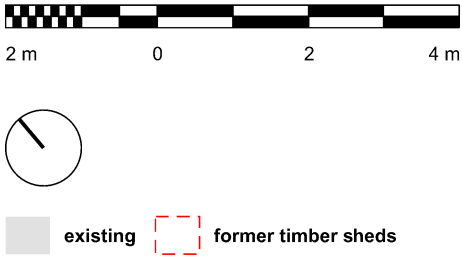
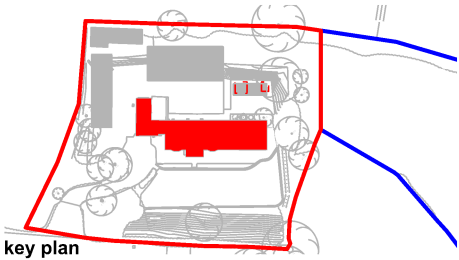
Revision:  
P02



MAIN HOUSE AND GARDEN SHED: PROPOSED FIRST FLOOR PLAN  
1:100 @ A3

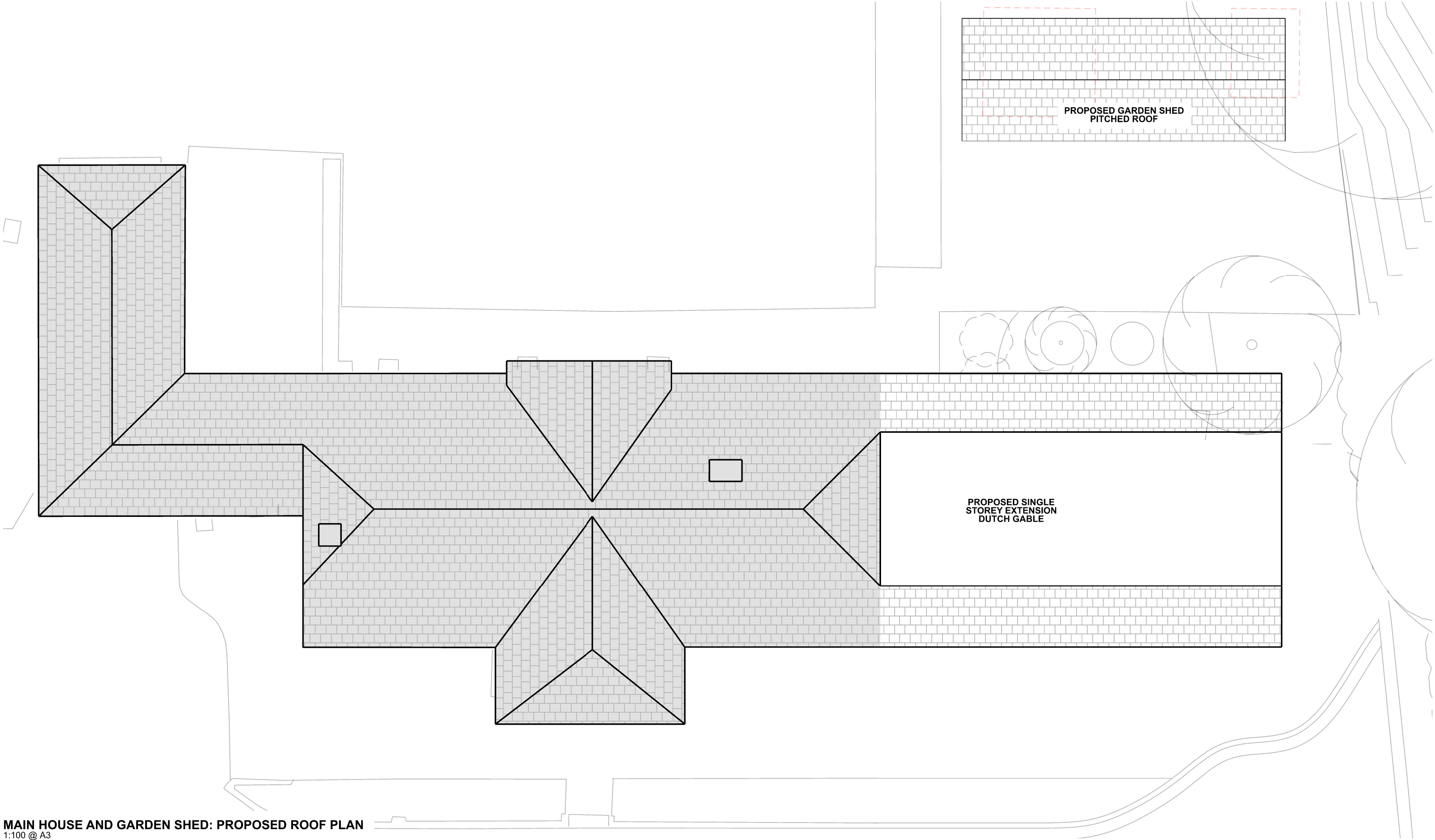
Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

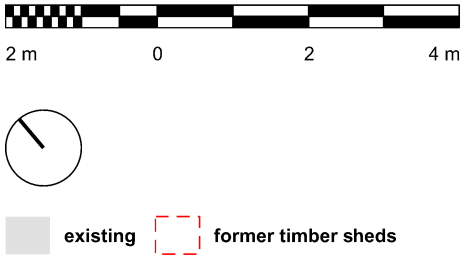
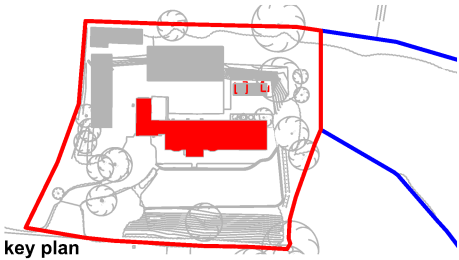
Project:  
Ley Lane House, Marple Bridge  
Title:  
Main House and Garden Shed  
Proposed first floor plan  
Status:  
PLANNING  
Drawing Number:  
0628-P3A-B1-01-DR-A-05002  
Scale @ ISO A3:  
1:100  
Revision:  
P02



MAIN HOUSE AND GARDEN SHED: PROPOSED ROOF PLAN  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

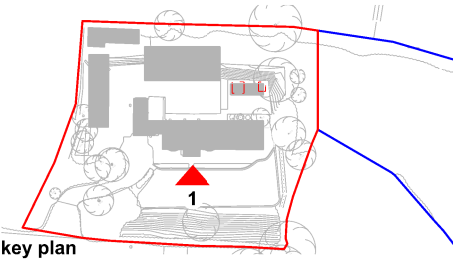
Project:  
Ley Lane House, Marple Bridge  
Title:  
Main House and Garden Shed  
Proposed roof plan  
Status:  
PLANNING  
Drawing Number:  
0628-P3A-B1-RF-DR-A-05003  
Scale @ ISO A3:  
1:100  
Revision:  
P02



MAIN HOUSE: PROPOSED ELEVATION 1  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge

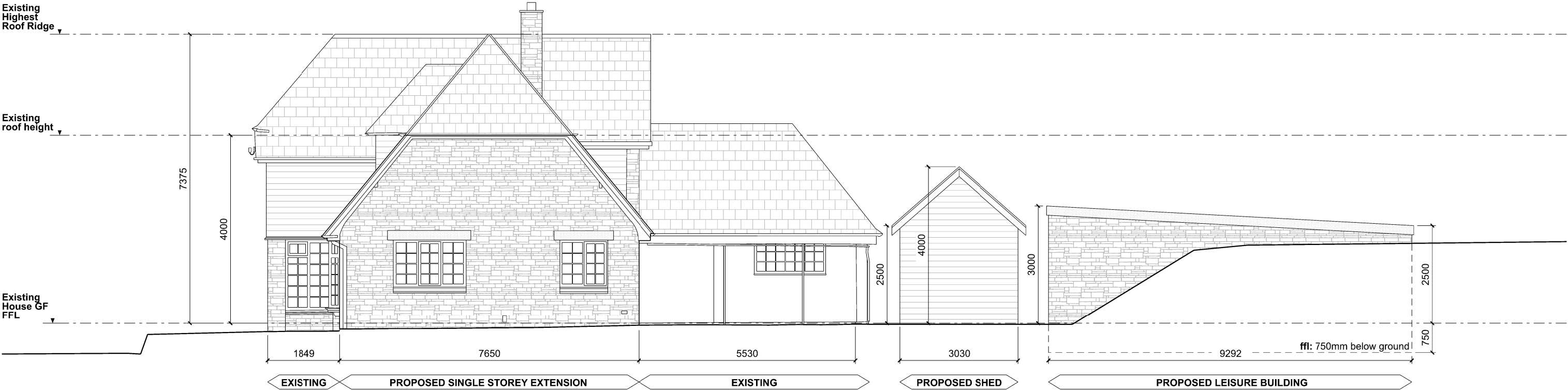
Title:  
Main House:  
Proposed Elevation 1

Status:  
PLANNING

Drawing Number:  
0628-P3A-B1-XX-DR-A-05101

Scale @ ISO A3:  
1:100

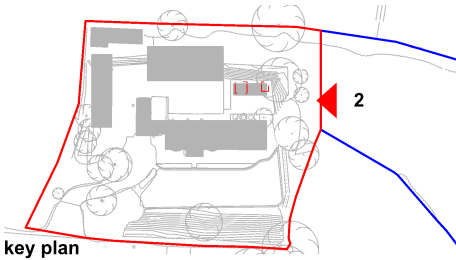
Revision:  
P02



**MAIN HOUSE: PROPOSED ELEVATION 2**  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge  
Title:  
Main House:  
Proposed Elevation 2  
Status:  
PLANNING  
Drawing Number:  
0628-P3A-B1-XX-DR-A-05102  
Scale @ ISO A3:  
1:100  
Revision:  
P02

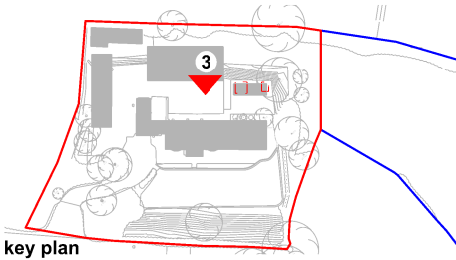




MAIN HOUSE: PROPOSED ELEVATION 3  
.1:100 @ A3

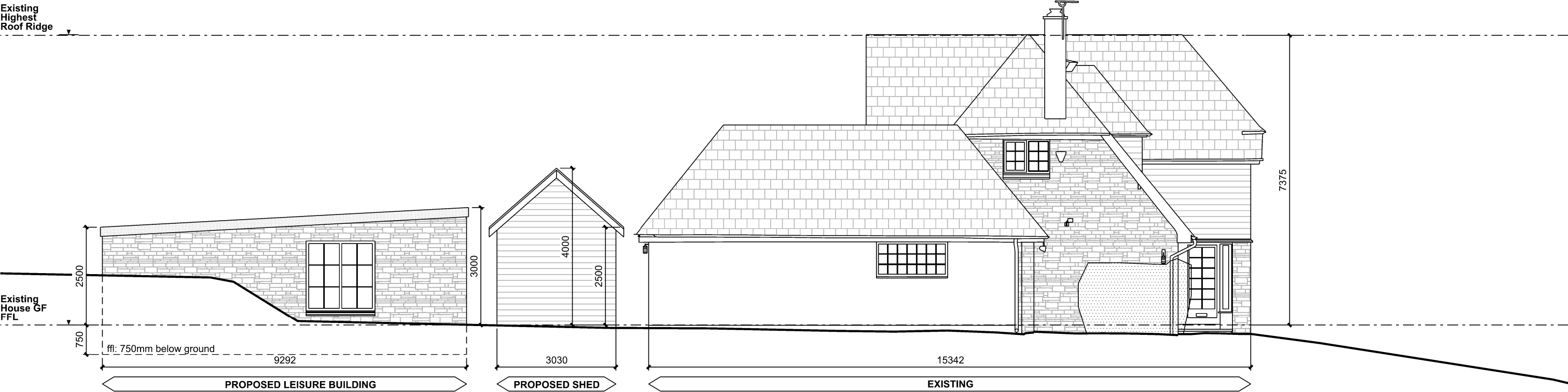
Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

Rev:	Date:	Description:	By:
P01	13/11/20	Planning	AG
P02	11/12/20	Planning	AG



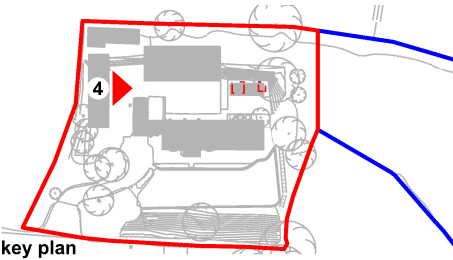
**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge  
Title:  
Main House:  
Proposed Elevation 3  
Status:  
PLANNING  
Drawing Number:  
0628-P3A-B1-XX-DR-A-05103  
Scale @ ISO A3:  
1:100  
Revision:  
P02



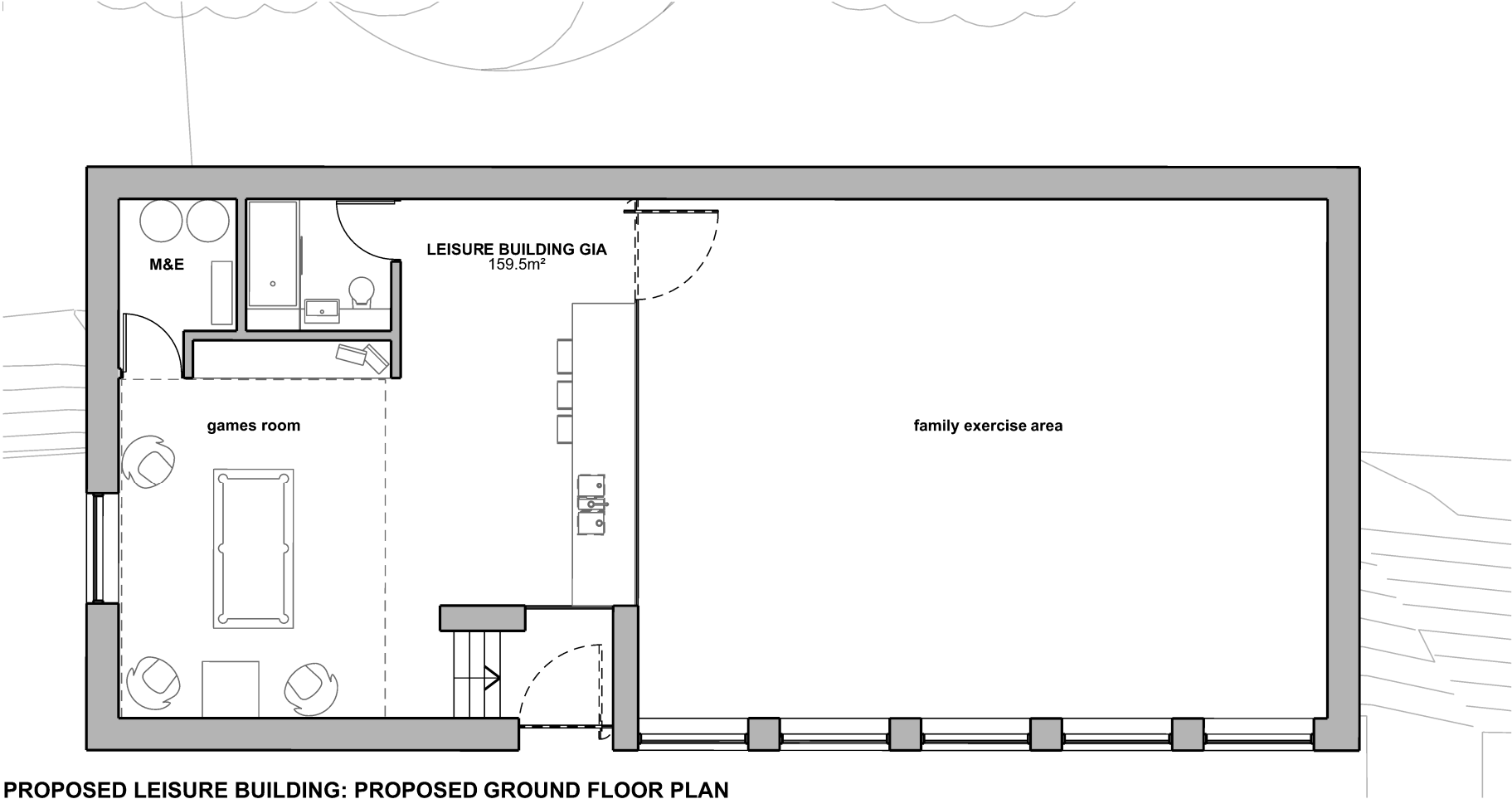
MAIN HOUSE: PROPOSED ELEVATION 4  
1:100 @ A3

Notes: Do not scale from this drawing. All dimensions are in millimetres unless otherwise noted. All dimensions to be checked on site before proceeding with work. All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd. Areas indicated on this drawing are approximate and indicative only. © Project 3 Architects Limited Registered in England & Wales Number 08021795.	Rev:	Date:	Description:	By:
	P01	13/11/20	Planning	AG
	P02	11/12/20	Planning	AG

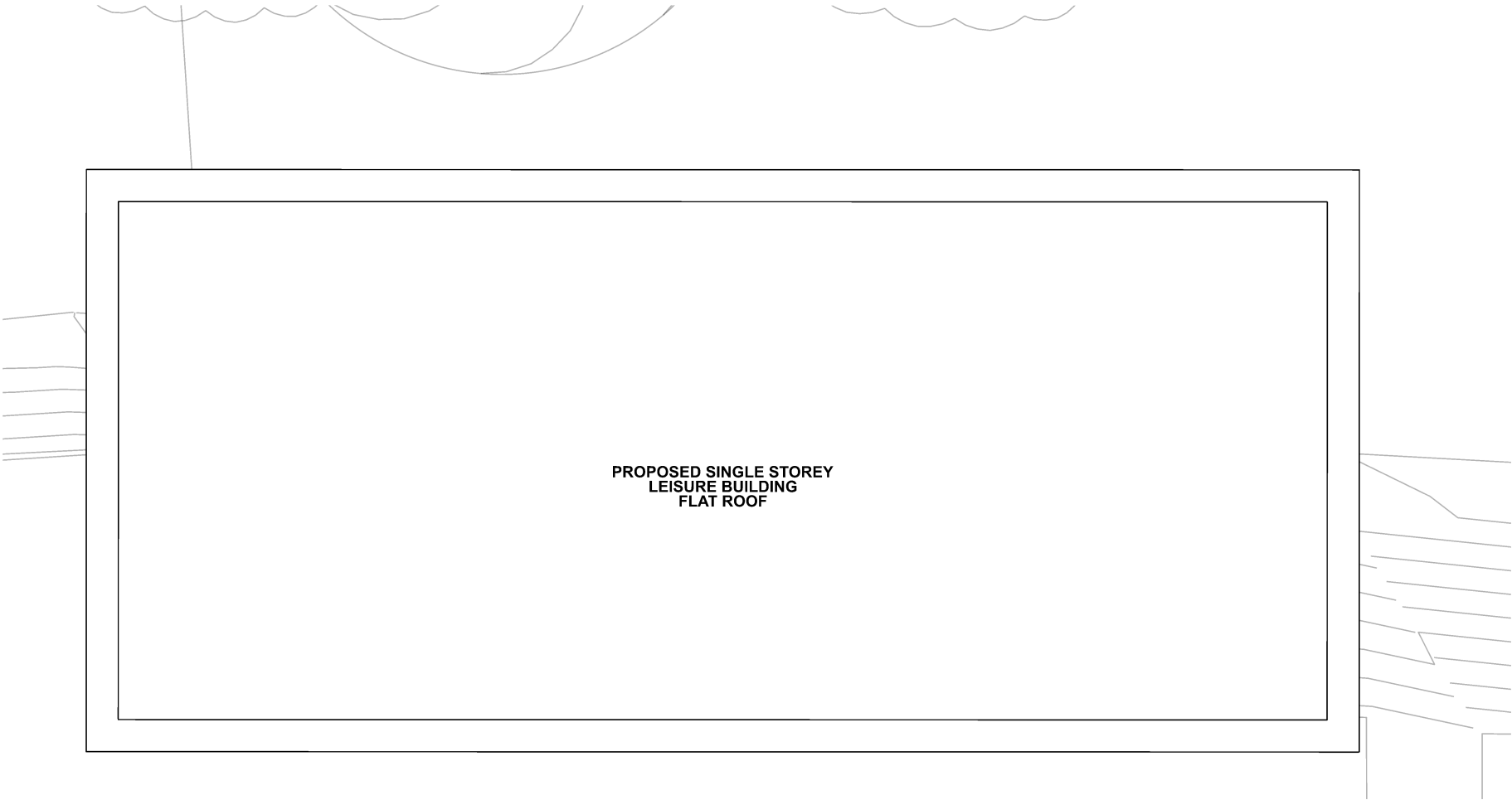


**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge  
Title:  
Main House:  
Proposed Elevation 4  
Status:  
PLANNING  
Drawing Number:  
0628-P3A-B1-XX-DR-A-05104  
Scale @ ISO A3:  
1:100  
Revision:  
P02

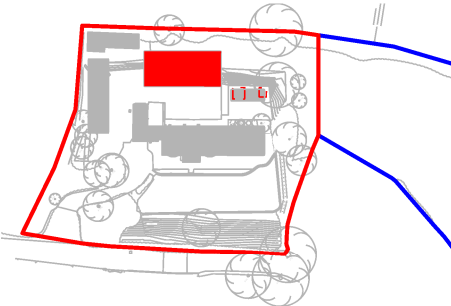


PROPOSED LEISURE BUILDING: PROPOSED GROUND FLOOR PLAN  
1:100 @ A3



PROPOSED LEISURE BUILDING: PROPOSED ROOF PLAN  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.



key plan

P02	11/12/20	Planning	AG
P01	13/10/20	Planning	AG
Rev:	Date:	Description:	By:



**PROJECT3**  
architects

4 back grafton street  
altrincham  
cheshire  
WA14 1DY

0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge

Title:  
Proposed Leisure Building: Proposed Plans

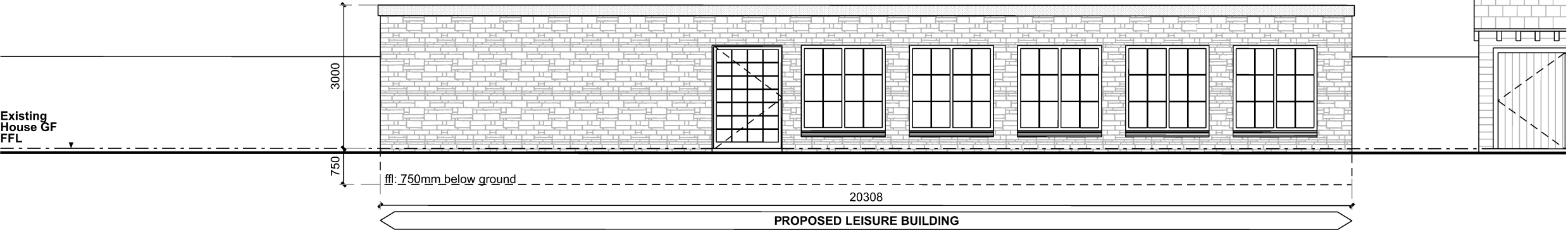
Status: PLANNING  
Scale @ ISO A3: 1:100

Drawing Number: 0628-P3A-B3-XX-DR-A-05001  
Revision: P02

Existing  
Highest  
Roof Ridge

Existing  
roof height

Existing  
House GF  
FFL

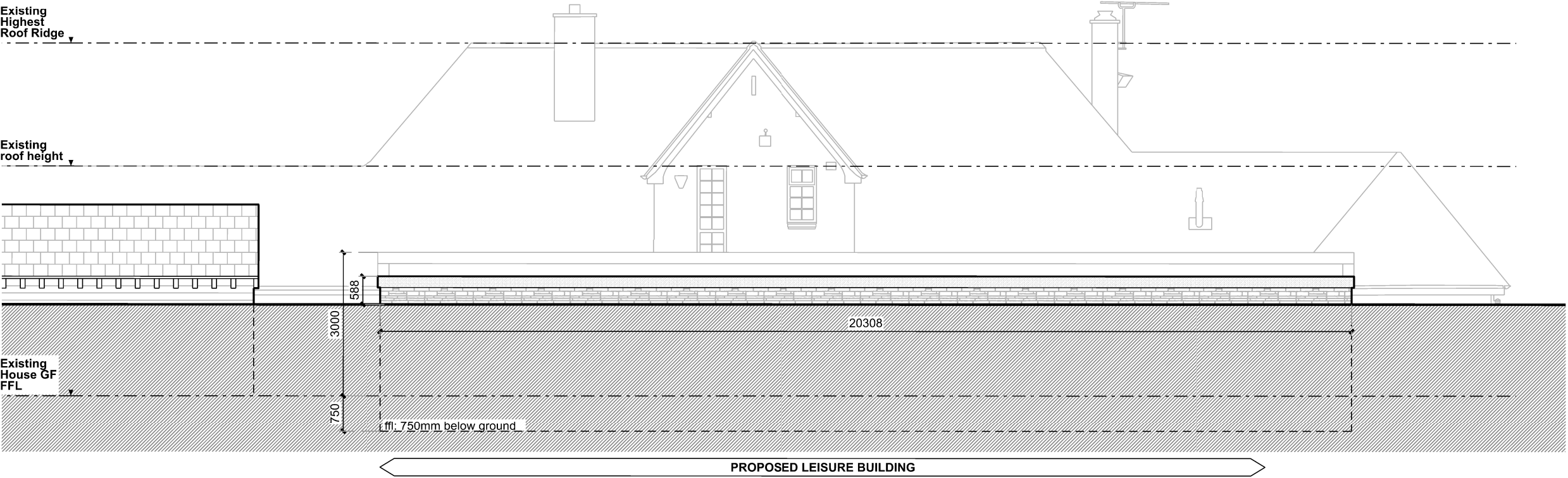


PROPOSED LEISURE BUILDING: PROPOSED ELEVATION 1  
1:100 @ A3

Existing  
Highest  
Roof Ridge

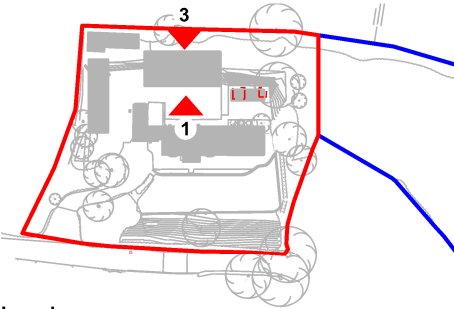
Existing  
roof height

Existing  
House GF  
FFL



PROPOSED LEISURE BUILDING: PROPOSED ELEVATION 3  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.



NOTE: for side elevations 2 & 4 refer to main house elevation drawings  
0628-P3A-B1-XX-DR-A-05102 & 104

P02	11/12/20	Planning	AG
P01	18/09/20	First issue	AG
Rev:	Date:	Description:	By:



**PROJECT3**  
architects  
4 back grafton street  
altrincham  
cheshire  
WA14 1DY  
0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge

Title:  
Proposed Leisure Building: Proposed Elevations 1&3

Status:  
PLANNING

Drawing Number:  
0628-P3A-B3-XX-DR-A-05101

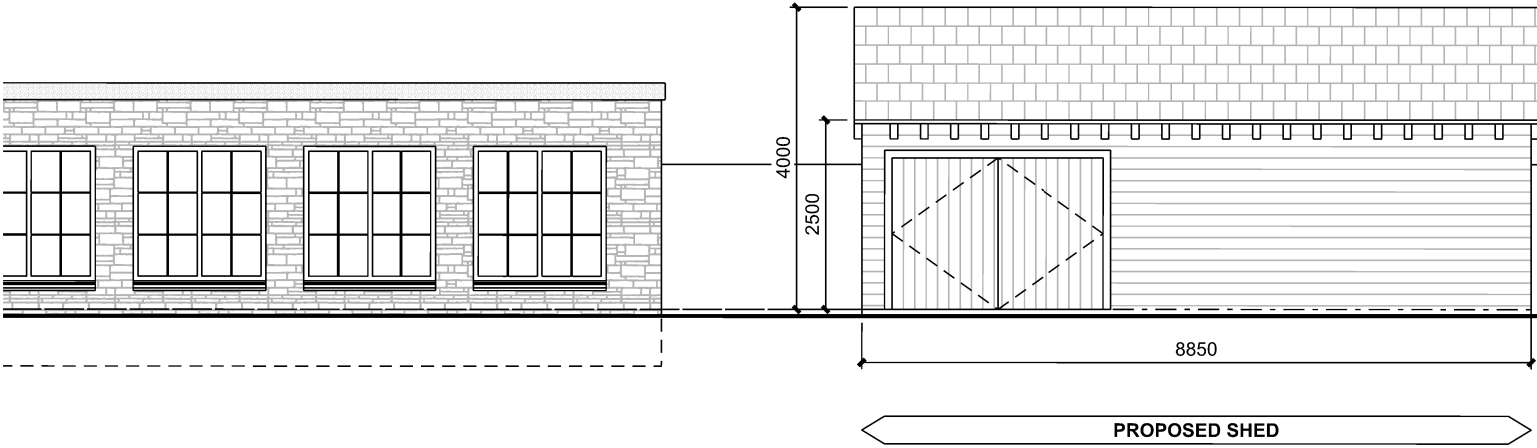
Scale @ ISO A3:  
1:100

Revision:  
P02

Existing  
Highest  
Roof Ridge

Existing  
roof height

Existing  
House GF  
FFL

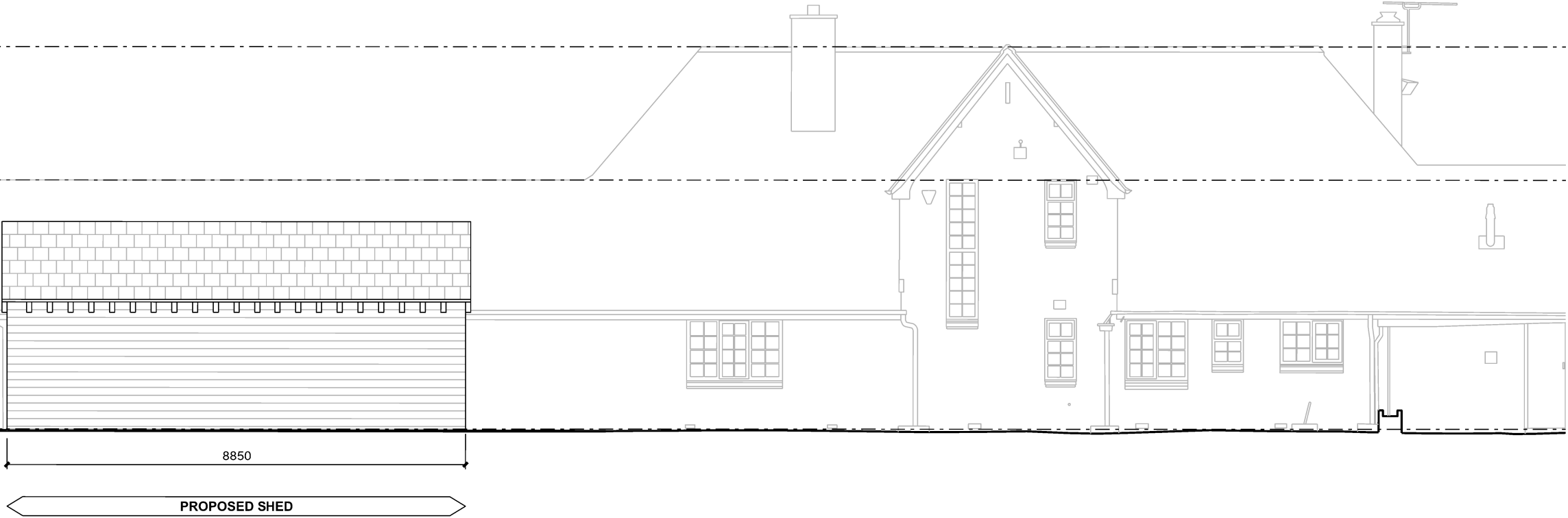


PROPOSED GARDEN SHED: PROPOSED ELEVATION 1  
1:100 @ A3

Existing  
Highest  
Roof Ridge

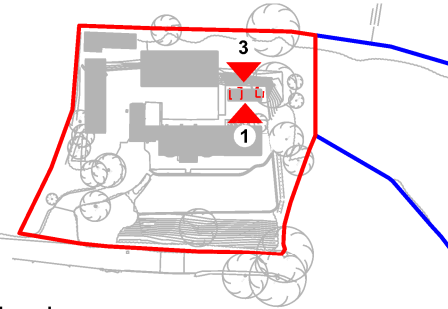
Existing  
roof height

Existing  
House GF  
FFL



PROPOSED GARDEN SHED: PROPOSED ELEVATION 3  
1:100 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.



key plan

NOTE: for side elevations 2 & 4 refer to main house elevation drawings  
0628-P3A-B1-XX-DR-A-05102 & 104

P02	11/12/20	Planning	AG
P01	13/11/20	Planning	AG
Rev:	Date:	Description:	By:



**PROJECT3**  
architects

4 back grafton street  
altrincham  
cheshire  
WA14 1DY

0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:  
Ley Lane House, Marple Bridge

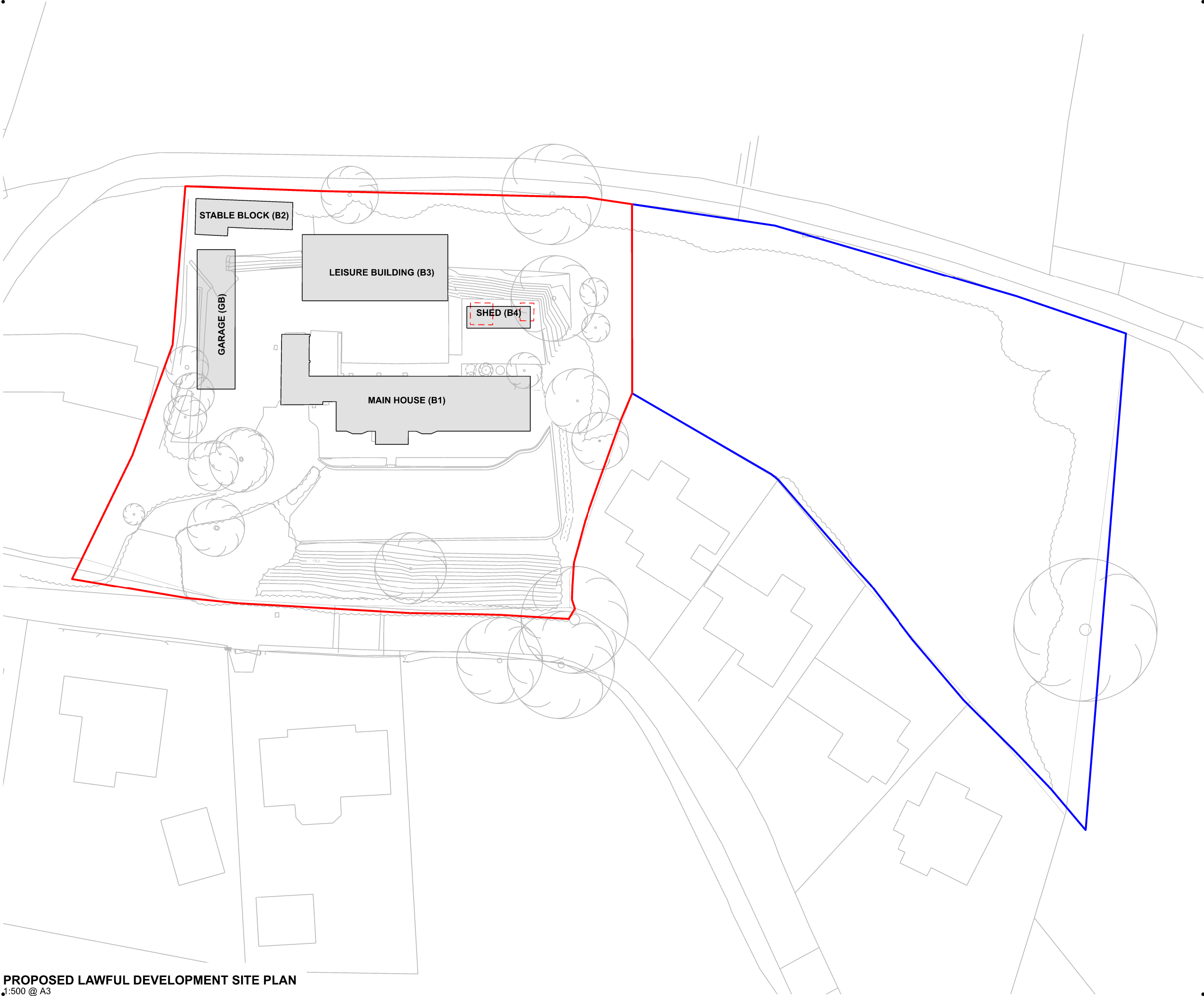
Title:  
Proposed Garden Shed: Proposed  
Elevations 1&3

Status:  
PLANNING

Drawing Number:  
0628-P3A-B4-XX-DR-A-05101


Scale @ ISO A3:  
1:100

Revision:  
P02



PROPOSED LAWFUL DEVELOPMENT SITE PLAN  
1:500 @ A3

Notes:  
Do not scale from this drawing.  
All dimensions are in millimetres unless otherwise noted.  
All dimensions to be checked on site before proceeding with work.  
All omissions and discrepancies to be reported in writing to Project 3 Architects Ltd.  
Areas indicated on this drawing are approximate and indicative only.  
© Project 3 Architects Limited Registered in England & Wales Number 08021795.

 former timber sheds

P02	11/12/20	Planning	AG
P01	18/10/20	First issue	AG
Rev:	Date:	Description:	By:



**PROJECT3**  
architects

4 back graffton street  
altrincham  
cheshire  
WA14 1DY

0161 233 0575  
mail@project3architects.com  
www.project3architects.com

Project:	Ley Lane House, Marple Bridge
Title:	Proposed Lawful Development Site Plan
Status:	PLANNING
Drawing Number:	0628-P3A-ST-XX-DR-A-05002
Scale @ ISO A3:	1:500
Revision:	P02



## GET IN TOUCH

0161 820 2055  
info@edenplanning.co.uk



EDEN

EDENPLANNING.CO.UK

6 The Downs, Altrincham  
WA14 2PU

