

# Clayhall Hangars, Gatesbury Farm

## Design & Access Statement

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## 1.0 | Project Summary

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**Prepared for** | West Suffolk Council

**Prepared by** | Uskuri Theobald Architects Ltd

**Date** | December 2020 [V1]

**Full Planning Application** | Clayhall Hangars, Clayhall, Gatesbury Farm,  
Gatesbury Lane, Depden IP29 4BS

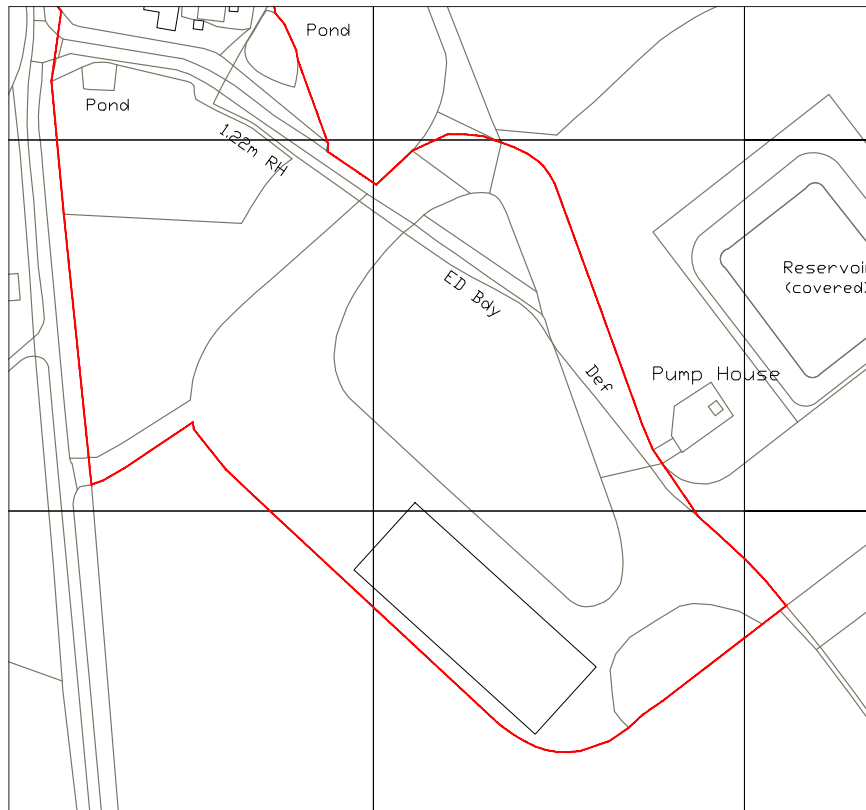
### Executive Summary

This statement has been prepared by Uskuri Theobald Architects Ltd, on behalf of Mr Wreathall [hereafter referred to as the applicant]. The proposed development is at the site known as Clayhall Hangars, Clayhall, Gatesbury Farm, Gatesbury Lane, Depden IP29 4BS.

This statement is to be submitted in support of the erection of a new grain store on the site.

The purpose of this statement is to draw together the key issues in consideration of the proposal.

## 2.0 | Introduction



2.4 Existing Location Plan

- 2.1 The site is within Clayhall Hangars, Clayhall, Gatesbury Farm, Gatesbury Lane, Depden IP29 4BS and is located on part of a concrete airstrip that was left over from World War 2. On the site is an existing grain store that has been recently extended. The site is not situated within a conservation area, nor is there a listed building on the site.
- 2.2 This statement will consider the impact of the proposed works and their immediate environment.
- 2.3 This Design and Access Statement should be read alongside the submitted drawings below:
  - 20004.00.001 Existing Site Plans (Scale 1:500 & 1:1250 @ A1)
  - 20004.00.002 Proposed Site Plans (Scale 1:500 & 1:1250 @ A1)
  - 20004.00.050 Existing Plans & Elevations (Scale 1:200 @ A1)
  - 20004.00.100 Proposed Plans & Elevations (Scale 1:200 @ A1)

## 3.0 | Current Use

- 3.1 The existing grain store on site is used for agricultural purposes. The proposed works for the new additional grain store will maintain this use. Therefore there is no proposed change of use.

## 4.0 | Amount

- 4.1 This application seeks permission for the erection of a new grain store on the site adjacent to the existing grain store.
- 4.2 The application site area: 2.10ha
- Existing building footprint: 1,547m<sup>2</sup>
- Proposed building footprint: 1,046m<sup>2</sup>
- Total building footprint on site: 2,593m<sup>2</sup>**
- Total farm site area: 485ha
- 4.3 Total building footprint area is 12% of the application site area.

## 5.0 | Site & Local Planning History

- 5.1 At the site, there has been two previous planning applications made to the Local Planning Authority, as set out below.
- 5.2 Address: Gatesbury Farm  
Planning Application Ref: **DC/13/0543/FUL**  
Erection of Grain Store  
Status: **Approved**
- 5.3 Address: Gatesbury Farm  
Planning Application Ref: **DC/16/1041/FUL**  
Extension to existing grain store approved under planning permission DC/13/0543/FUL  
Status: **Approved**

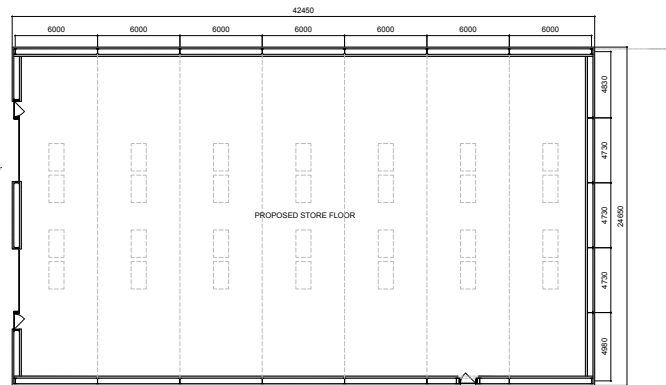
## 6.0 | Pre-Application Advice

- 6.1 Pre-Application Advice has not been sought for this planning application, as it is deemed to not be necessary given the local planning applications already approved in the surrounding area.

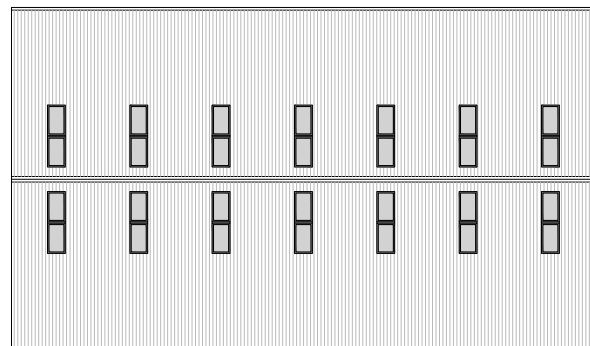
## 7.0 | Planning Policy Considerations

- 7.1 National Planning Policy Framework (2019)
- 7.2 Bury St Edmunds Vision 2031
- Vision Policy BV1 - Presumption in Favour of Sustainable Development
  - Core Strategy Policy CS3 - Design and Local Distinctiveness
  - Policy DM5 Development in the Countryside Bury St Edmunds Vision 2031

## 8.0 | Layout



8.4 Proposed Ground Floor Plan



8.5 Proposed Roof Plan

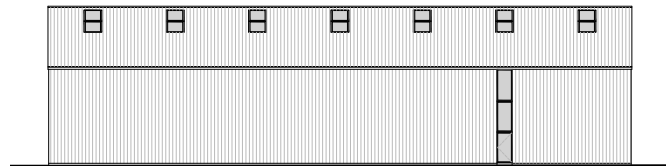
- 8.1 The proposed grain store is to be located in the south east corner of the application site, with existing vehicle parking and operating areas served by the existing access.
- 8.2 The new grain store forms one single large internal space, within which to store grain for the agricultural farm. The two main entrances allow for the internal subdivision of the grain store to have the ability to store two different types of grain within the building.
- 8.3 The new grain store will greatly improve the applicant's storage capabilities for the farm, given the location of the grain store in relation to the farm.

## 9.0 | Scale

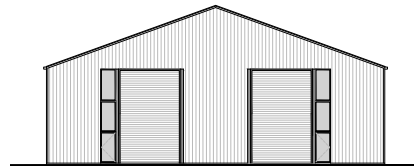
- 9.1 The low roof profile will minimise the impact on the surrounding countryside, concealed behind the existing grain store and substantial established hedges and trees.
- 9.2 The proposed grain store will be 7.2m to the eaves and a maximum 11.7m high at the ridge.
- 9.3 The footprint of the proposed grain store will be significantly smaller than the existing grain store, reducing the impact the new grain store has on the site.
- 9.4 Overall, the scale of the proposed grain store is designed to compliment the existing grain store and the surrounding agricultural context.

## 10.0 | Landscaping

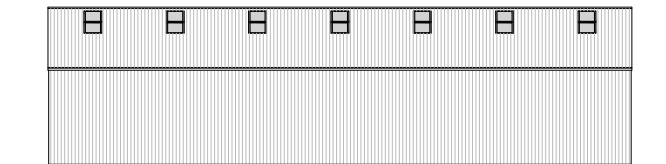
- 10.1 The site where the proposed grain store will be situated is unobstructed and level, which will allow for the proposed grain store to be positioned adjacent to the existing grain store.
- 10.2 The existing working areas of the site include the concrete runway, which is to be maintained for continued use in support of the farm, and to provide the vehicle maneuvering areas to support the new and existing grain stores.
- 10.3 The existing trees and hedgerows will be retained and maintained to allow for the continued screening of the existing and new grain stores.



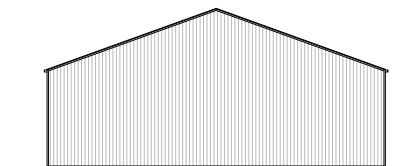
11.4 Proposed Elevation A



11.5 Proposed Elevation B



11.6 Proposed Elevation C



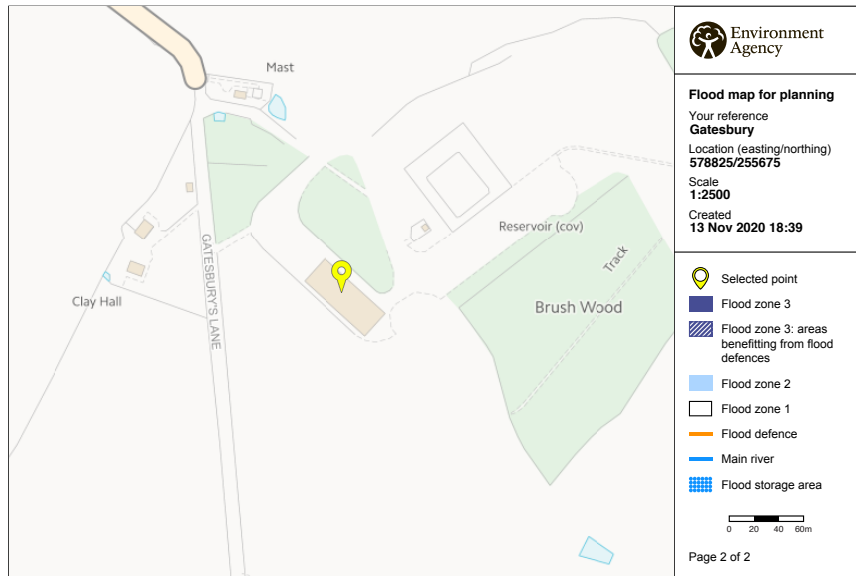
11.7 Proposed Elevation D

## 11.0 | Appearance

- 11.1 The materials found on the existing grain store are: reinforced concrete panels at low level, with steel cladding above to eaves level and on the roof. The doors are mechanically operated roller shutter doors.
- 11.2 The proposed materials for the proposed grain store will be steel profiled cladding for the walls and on the roof. The single door and rooflights will be a dark grey powder coated aluminum and the main doors will be mechanically operated roller shutter doors.
- 11.3 The proposed materials have been carefully selected to ensure the new grain store compliments the existing grain store, forming a harmonious design. The proposed materials are very common within the local area and provide a high quality design.



## 12.0 | Access



13.3 Flood Map

- 12.1 The existing pedestrian access to the site and existing grain store is all one level. The proposed access to the new grain store will remain as existing, and in the existing location.
- 12.2 The primary existing vehicular access to the site and existing grain store is via 1 1/2 miles concrete runway, across the Chedburgh aerodrome, which is accessed via the A143 and Kiln Lane. This runway will be maintained to support continued use of farm vehicles. There is additional secondary access available from Gatesburys Lane, providing an alternative exit point if and when required. Therefore there should not be a build up of farming traffic on either of the roads.
- 12.3 The proposed vehicular access to the new grain store will remain as existing, and in the existing location.

## 13.0 | Flood Risk

- 13.1 According to the environment-agency.gov.uk, the site is located in an area 'at very low risk of flooding'. A flood risk assessment is not required, see 14.3 flood map.
- 13.2 No proposed works will affect the flood risk to the property or its surroundings.

## 14.0 | Conclusions

- 14.1 This Design & Access Statement has demonstrated that the principle of the proposed development is acceptable. The new grain store will be of a high quality design, whilst still in-keeping with the surrounding area in terms of scale and massing.
- 14.2 There have been two previous developments of this type on the site, using similar materials, that have been approved by the Local Planning Authority, as demonstrated in the local planning history section. The Local Authority should deem this application to be similar to those.
- 14.3 The new grain store will sit behind the existing grain store, trees and hedges, when viewed from neighbouring buildings, ensuring the new grain store is well concealed.
- 14.4 Overall, the proposed works have been designed to have a positive impact and to be sympathetic to the local area.
- 14.5 The Local Planning Authority should support the application, deeming the proposal acceptable in terms of policy, and recommend for approval.