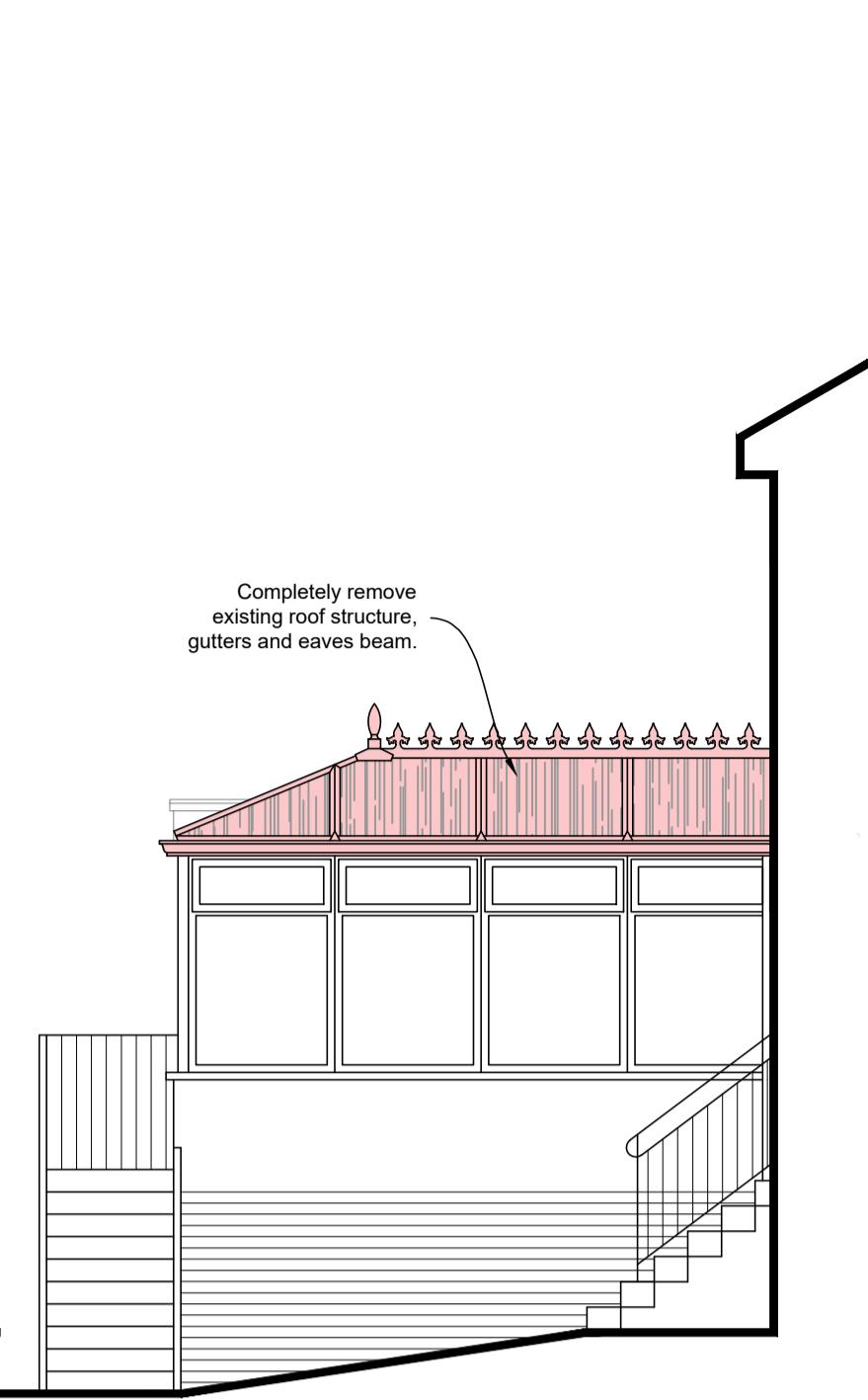


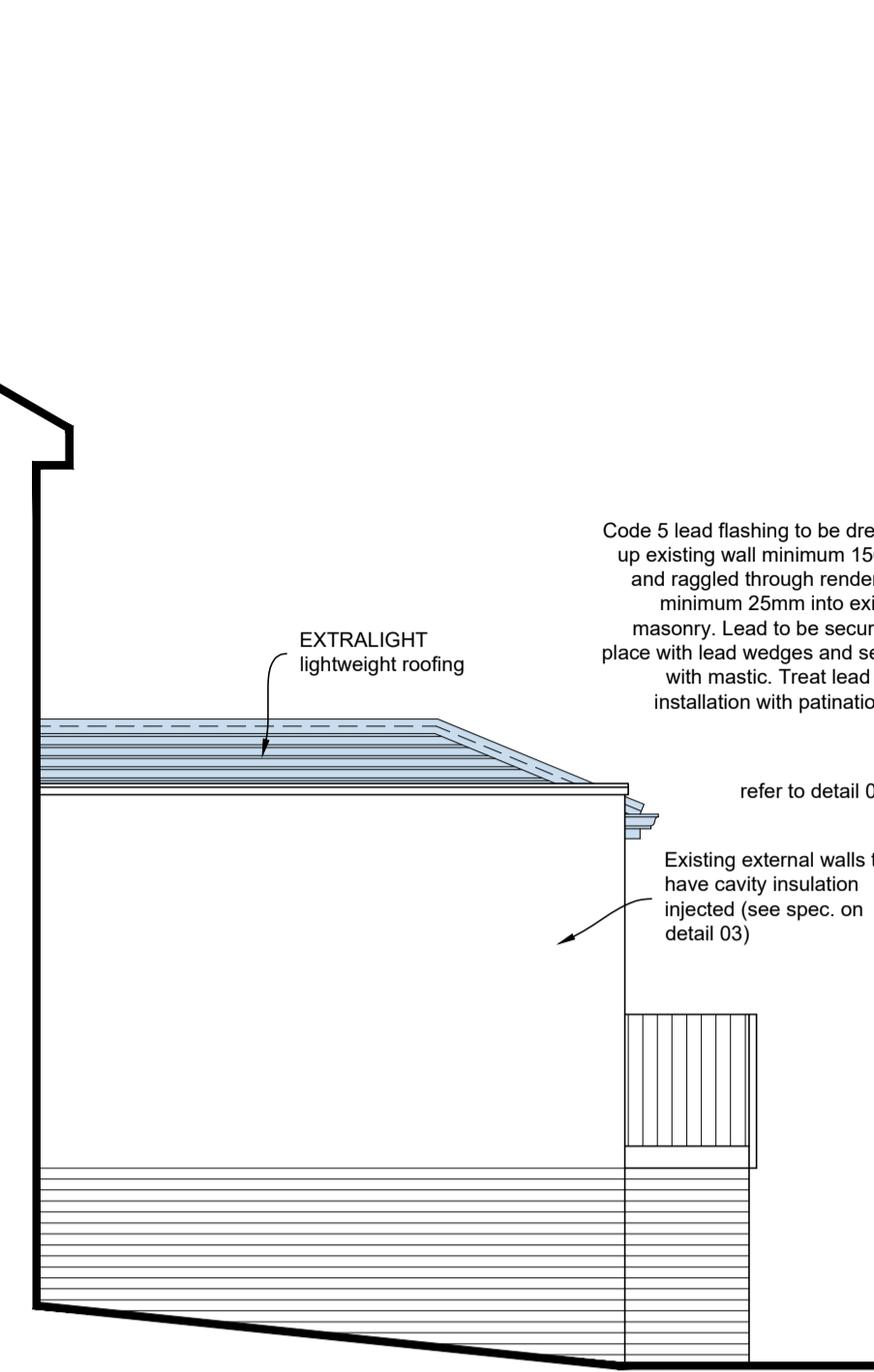
**Existing Side Elevation**  
Scale 1:50 @ A1



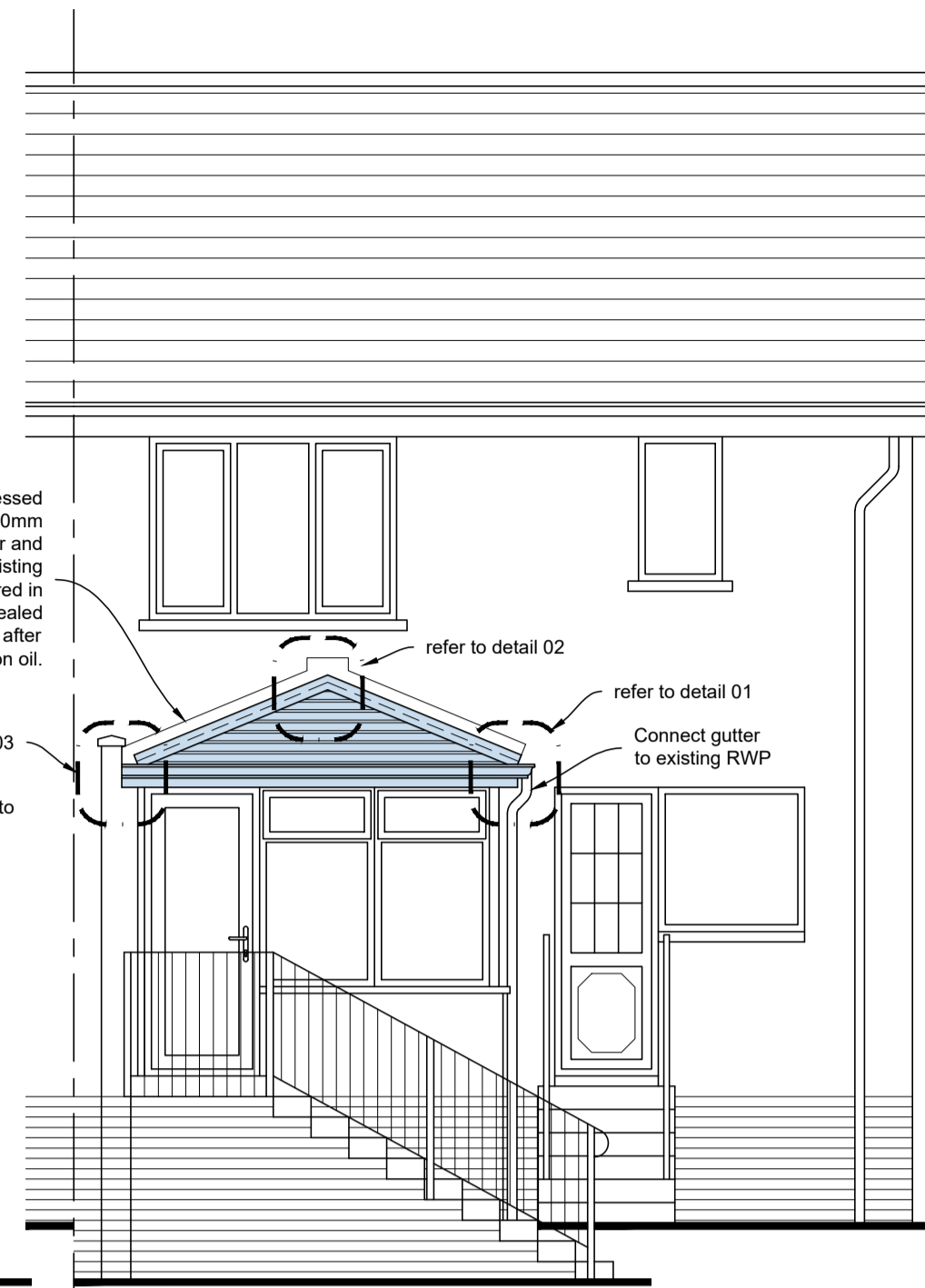
**Existing Rear Elevation**  
Scale 1:50 @ A1



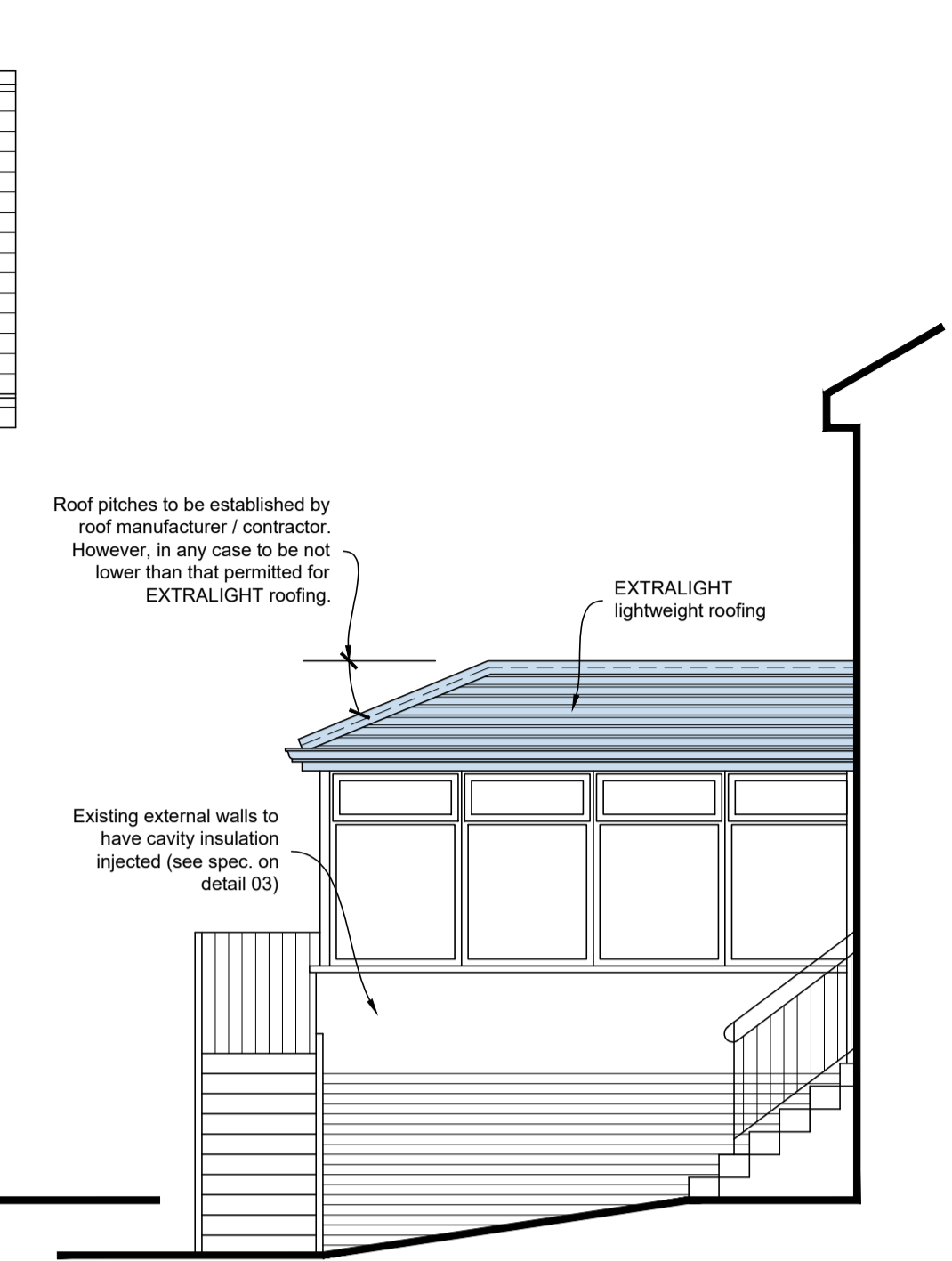
**Existing Side Elevation**  
Scale 1:50 @ A1



**Proposed Side Elevation**  
Scale 1:50 @ A1



**Proposed Rear Elevation**  
Scale 1:50 @ A1



**Proposed Side Elevation**  
Scale 1:50 @ A1

**GENERAL NOTES**

- All timbers to be C16 and in accordance with EN 14081-(1-4):2005 & EN338:2003 and preservative treated.
- No notching of timbers permitted without the consent of a Structural Engineer.
- Electrical installation and certification in accordance with BS7671: 2018.
- All lighting to clients approval.
- All debris, unless specified elsewhere, to be removed from site by suitable transport to an approved coup.
- The work area must be supervised or secured at all times to ensure that unauthorised persons do not gain entry.
- All workmanship, materials, components, fixtures, fittings and installation to be in accordance with British Standards Codes of Practice or BBA Certificates where they exist or in accordance with the manufacturers recommendations and instructions.
- All finishes to be made good on completion of the works and where appropriate to match existing.
- The contractor shall be responsible for verifying all sizes and angles prior to purchasing or ordering materials or components.
- The contractor shall, prior to commencing works, be responsible for verifying that he is working to drawings and specifications which have been approved by the local authority.

**Drawings Warnings -**

a) These drawings are produced primarily for the purposes of obtaining local authority approvals. If being used for costing purposes, they must be regarded as a guide only, as they may not show or specify all works, materials, fittings, or finishes required or expected to be incorporated.

b) It is the contractor's responsibility to check on site all measurement show on these drawings.

**Supervision of work:** On site works are not being undertaken by the producer of this, or other associated drawings. Therefore no liability will be accepted for any deviation from the building warrant approved drawings, or for non-compliance of any conditions attached there to, or for the wrongful or negligent actions of any tradesmen involved in the proposed works.

**Council notification:** It will be the responsibility of the applicant, proprietor, or Main contractor to ensure that the local Council Building Standards Department are provided with, or notified, of the following:-

a) Commencement date of work (7 days prior)

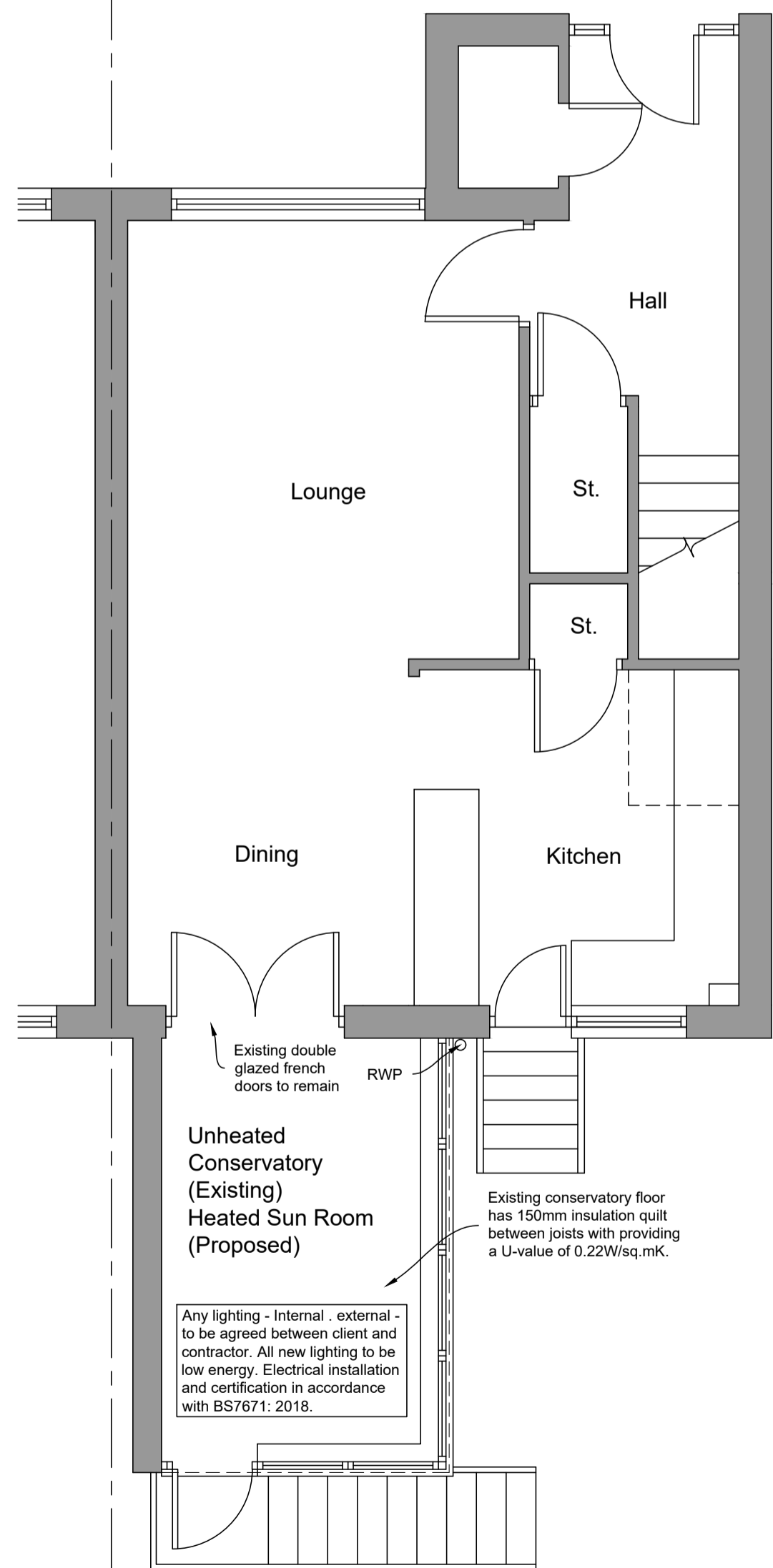
b) Intermediate notifications / inspection as stated in the Building Warrant approval pack issued by the local authority.

c) Completion certificate submission (see below).

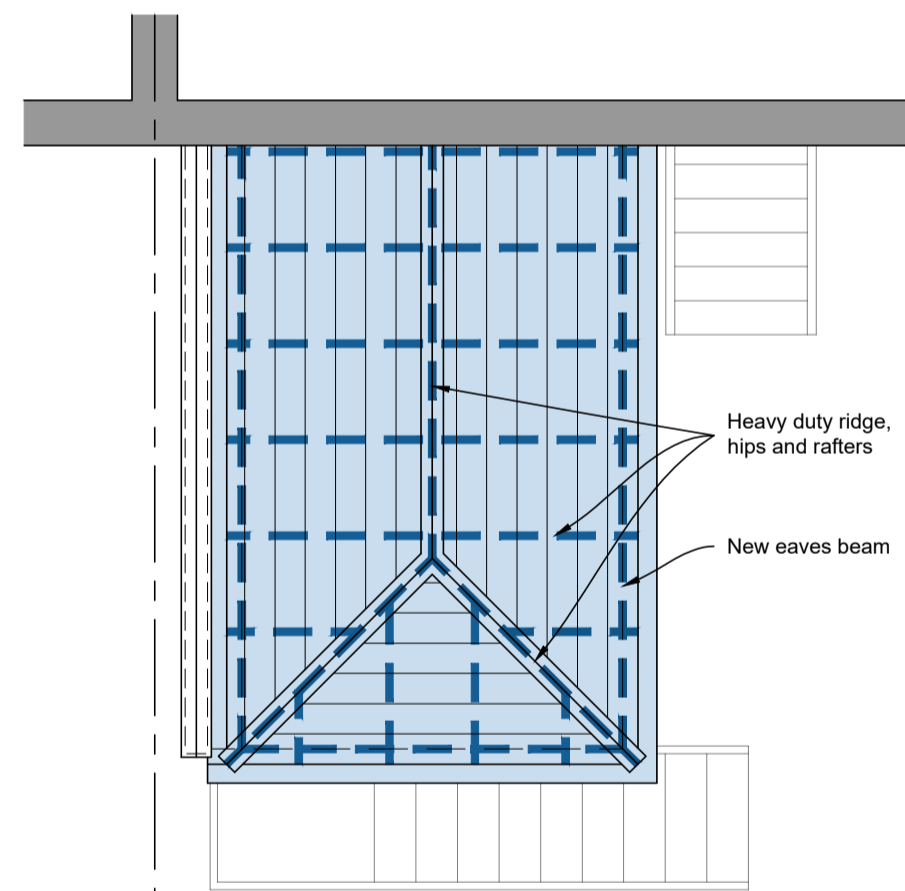
The Building Standards Surveyor may require additional site inspections during work, and any instructions in this regard must be complied with. Failure to comply with any of the above may result in the acceptance of the Certificate of Completion being withheld.

**Certificate of completion** submission must be made to the local council building control department when all work is complete (within 7 days). The building or the part concerned with in the proposed work, must not be occupied or used until an acceptance has been granted. Failure to do this can have serious legal implications when seeking to sell the property. Applicants / Proprietors have 3 years from the date building warrant is granted, to complete the work and obtain a completion certificate acceptance, otherwise the warrant will expire.

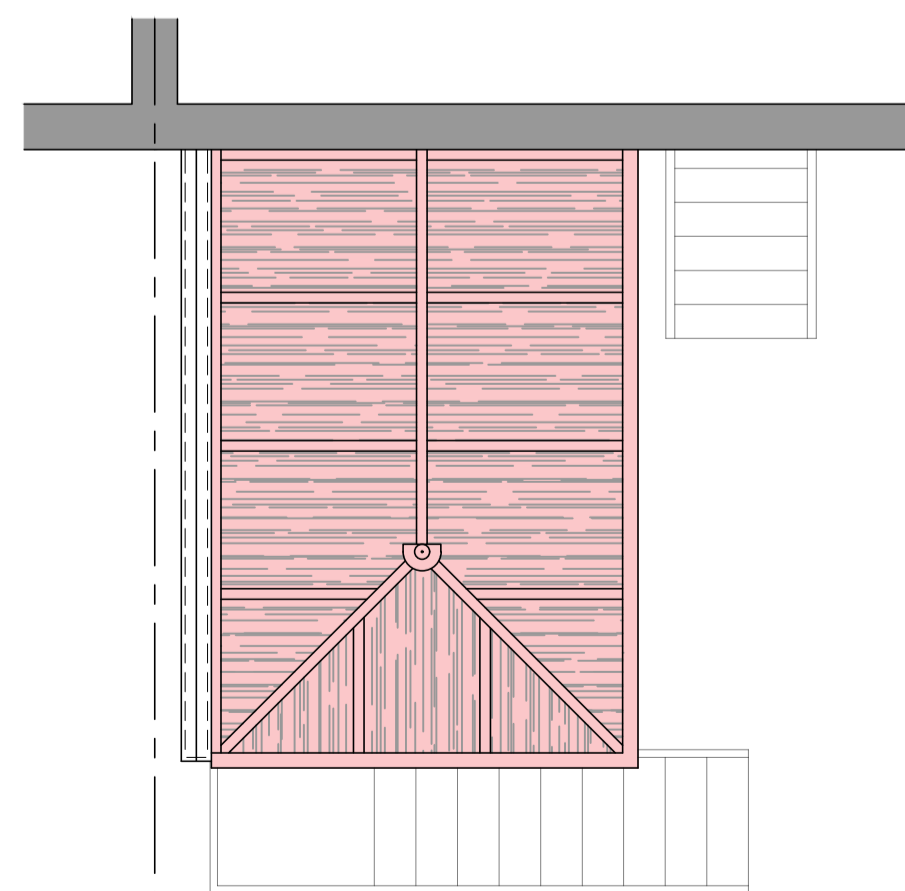
**Any deviations** from the approved drawings will require an amendment to warrant application to be submitted and approved before such deviations are carried out. The prior approval of the planning department may also be required for any changes.



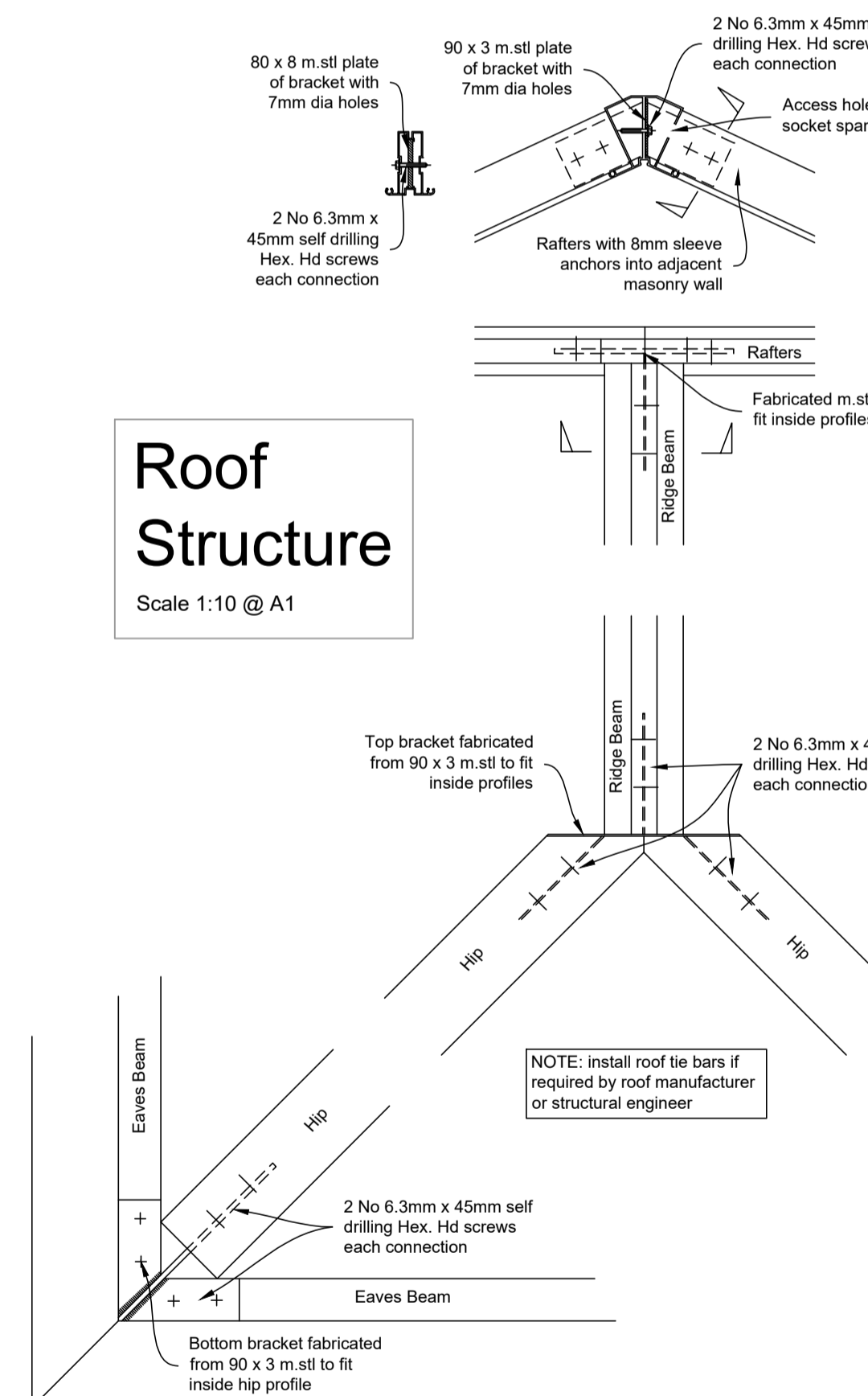
**Floor Plan**  
Scale 1:50 @ A1



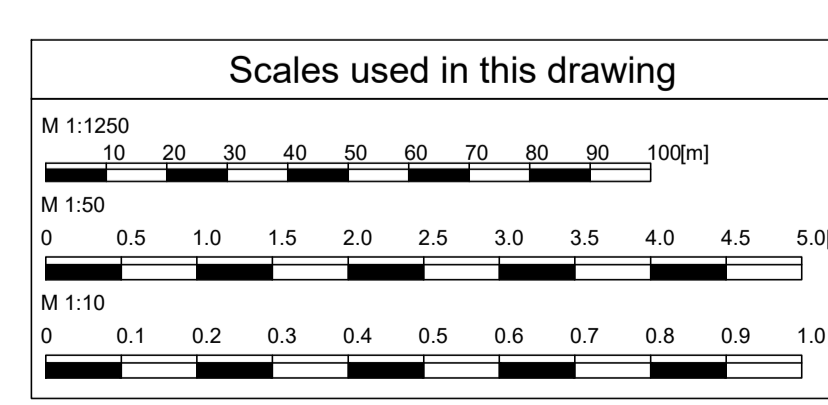
**Proposed Roof Plan**  
Scale 1:50 @ A1



**Existing Roof Plan**  
Scale 1:50 @ A1



**Roof Structure**  
Scale 1:10 @ A1

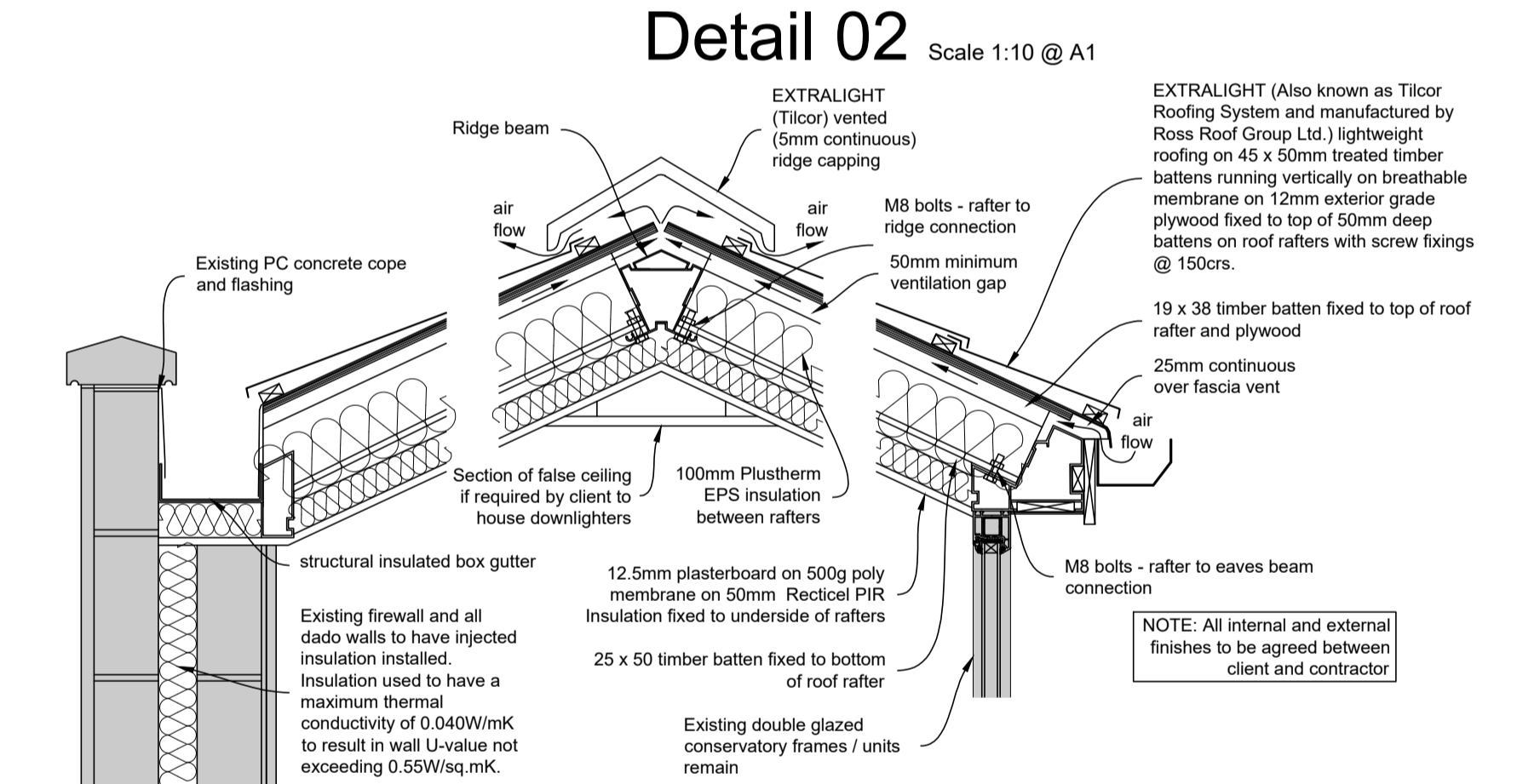


**NOTES Re. ROOF SYSTEM**

- EXTRALIGHT TILES (Also known as Tilor Roofing System and manufactured by Ross Roof Group Ltd.) are the roof tiles used as part of the Supalite Roof System.
- Roof tile specified is unrestricted in terms of Spread of Fire from Neighbouring Buildings (Standard 2.8) all as per BBA Certificate number 17/5463.

Supalite is the whole roof system and Extralight is the roof cladding used as part of the system.

**NOTE:** install roof tie bars if required by roof manufacturer or structural engineer



**Detail 01** Scale 1:10 @ A1

**Detail 02** Scale 1:10 @ A1

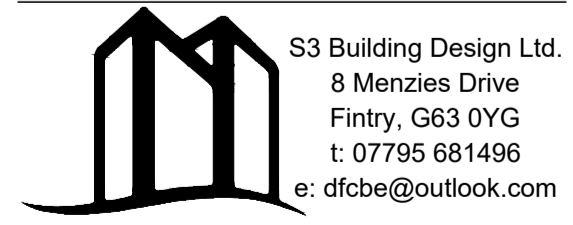
**Detail 03** Scale 1:10 @ A1



**Location Plan** Scale 1:1250 @ A1

ref.	revision	date	by

This drawing must not be scaled, only written dimensions to be respected - Where applicable, all dimensions are to be checked on site - This drawing must be read in conjunction with the contract specification and all other architects / engineers; layouts, schedules and details



**Project**  
Dunn Sun Room  
29 Orchy Crescent,  
Bearsden,  
G61 1RF

Scale	shown	Date	Dec'20	Drawn	DF
Project Ref.	29ORCH	Drawing No.	AL01	Rev.	-