

Vistry Group

Chesterfield Road, Brimington

# LANDSCAPE STRATEGY

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November 2020



“

***Green Infrastructure:  
A network of multi-functional green space,  
urban and rural, which is capable of delivering  
a wide range of environmental and quality of  
life benefits for local communities.***

”

National Planning Policy Framework Feb 2019

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## Background & Purpose

This Landscape Strategy has been prepared by FPCR on behalf of Vistry Group to support a new, high quality development at Brimington.

The existing landscape resource and the visual receptors as well as the amenity of the site have been considered by the planning and design process and have informed the resultant application scheme. This approach has entailed collaboration between landscape, urban design, ecological, heritage and other professionals.

## Key Aims & Objectives

The site is located south of Brimington, approximately 500 metres from the town centre, and approximately 1.8 miles northeast from Chesterfield City Centre. The A619 Chesterfield Road (northwest of the site) provides good connections to the wider area. Nearby settlements include the suburb of Chesterfield to the west and Staveley to the east. The M1 motorway is located approximately 2.7 miles to the east and can be easily accessed via Junctions 29A and 30.

The site comprises part of a large field, currently used as farmland and sits on very gently sloping land with wide views towards south and west. Two public rights of way: Brimington FP16 and FP 17 cross the site in north-south and west-east directions.

The purpose of this document is to:

- Outline the overarching concepts for Landscape Strategy for the site allocation and how this fits with the proposed built form as well as the wider context (chapter 2); and
- Detail how the above concepts are materialised in various character areas within the application site itself which creates a series of identities for public spaces throughout the site (chapter 3).



## Overall Strategy

### **A high quality Green Infrastructure is an essential component of the Landscape Strategy for Brimington site.**

A large proportion of the site to the west is set aside for multi-functional green infrastructure with the intention of creating an enduring landscape. It is envisioned that it will provide a rich and diverse setting for buildings; encourage activity; provide identity within the built form; maximise biodiversity and encourage sustainability benefits such as Sustainable Drainage (SuDS).

The existing site landscape of hedgerows and trees provides a framework to build upon. New trees, hedgerows, areas of amenity and wildflower grassland, as well as wetland habitats will reinforce it where necessary.

This approach will significantly enhance long term landscape character, habitat provision and connectivity. In addition, it will help to assimilate built development within the landscape and provide a considered transition from the existing and proposed urban realm to the rural landscape.

A network of open spaces connect the site with the surrounding countryside and existing development, creating cohesion and allowing greater association with the context of the site. This helps to define the development parcels and provides a green framework within which development can sit.



Formal tree avenue along the main access route

Informal edge of the main POS dictates the relaxed setting to the adjacent dwellings

Infill significant gaps in existing hedgerow

Informal treatment of the open space related directly to the adjacent countryside

Proposed attenuation basin within the main public open space

Existing footpath incorporated into layout allows connectivity with the surrounding context

Opportunities for long distance views

Proposed boundary hedgerow with hedgerow trees creating 'soft' edge to the site

Opportunities for long distance views



## Public Open Space

### Large public open space will greet visitors at the arrival to the site

The largest POS is set within the western area of the site, adjacent to the main access road. It features a sizable attenuation basin; open, multi-functional space with a POS feature; and habitat provision comprising meadows, variety of trees and native shrubs. Occasional seating provides resting spaces for the residents.

Additional open spaces are created to the east of the site, where particular attention was paid to the wider context of the site. The informal design of those spaces directly relates to the countryside beyond the site boundary, aiming to create a gentle transition between the built development and the site's context.

A line of native hedging will form an informal 'soft' edge to the south of the site, providing a green corridor for local wildlife as well as a sympathetic buffer between the surrounding countryside and the site.

The northern boundary will be strengthened with further hedgerow planting to create a continuous edge.

## Design Principles

### The following design principles should be adopted:

- Create a multi-functional, natural greenspace, ranging from a formal style to the site entrance to a more informal style at the peripheries of the site.
- Retain as much of the existing vegetation as possible and enhance existing habitats for biodiversity benefits.
- Strengthen the northern boundary through additional vegetation and fencing.
- Enhance the existing pedestrian connections through the site to allow for movement and connectivity with the surrounding countryside and to encourage exercise.
- Provide gentle transitions between the site and the surrounding countryside, helping the site to assimilate with its surroundings.
- Retain opportunities for long distance views towards the south.



**MAIN POS AREA**



# Chapter 3 CONCEPT

## On Plot Areas

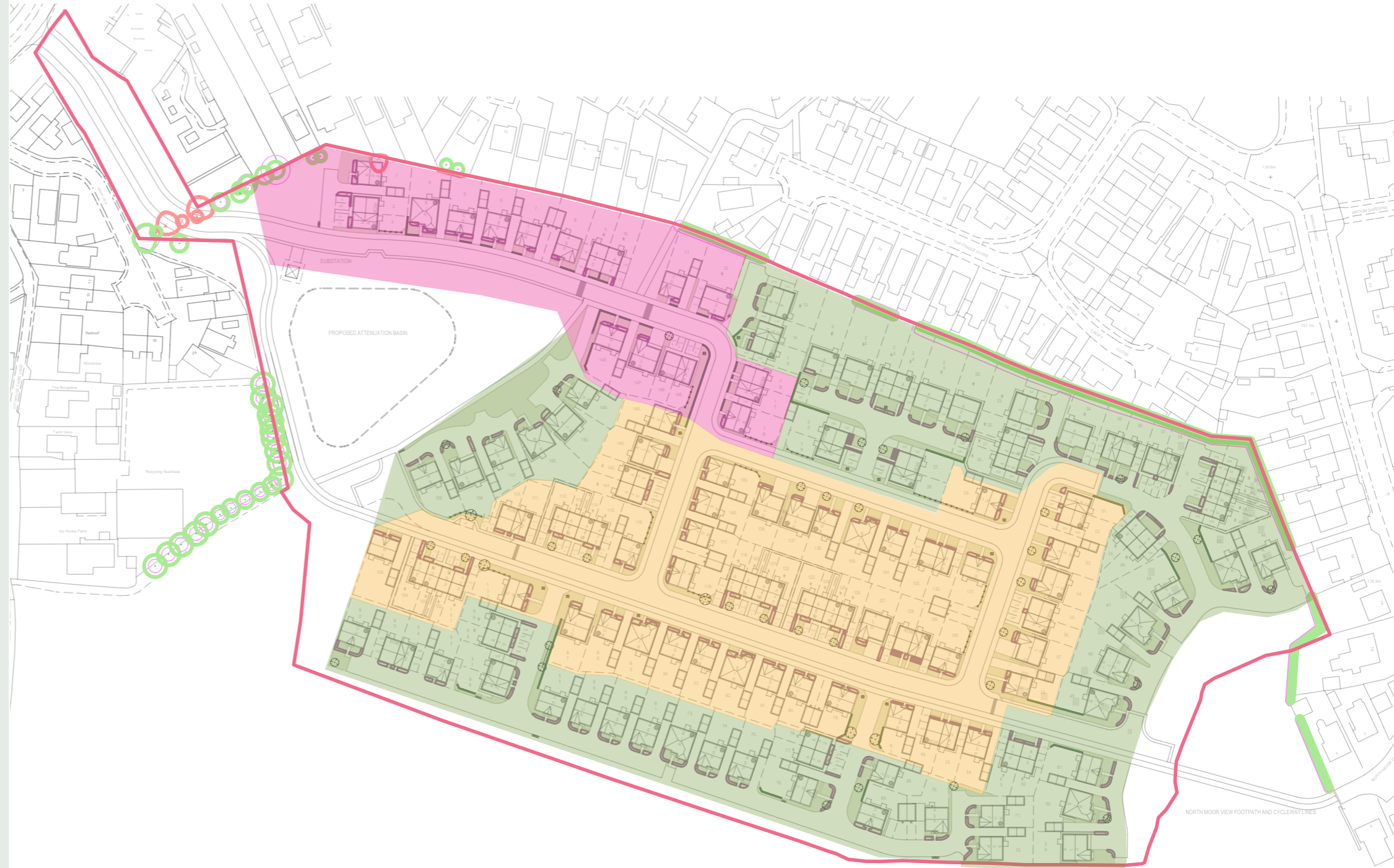
The site presents opportunity to differentiate the character of areas through application of distinctive landscaping elements.

The characters follow the street hierarchy and are also influenced by the adjacent public open space.

Three landscape characters were identified:

- Main Street
- Secondary Street
- Private Lane

These characters are described in detail on the following pages.



### KEY

-  Main Street
-  Secondary Street
-  Private Lane

# ON PLOT 1 - MAIN STREET

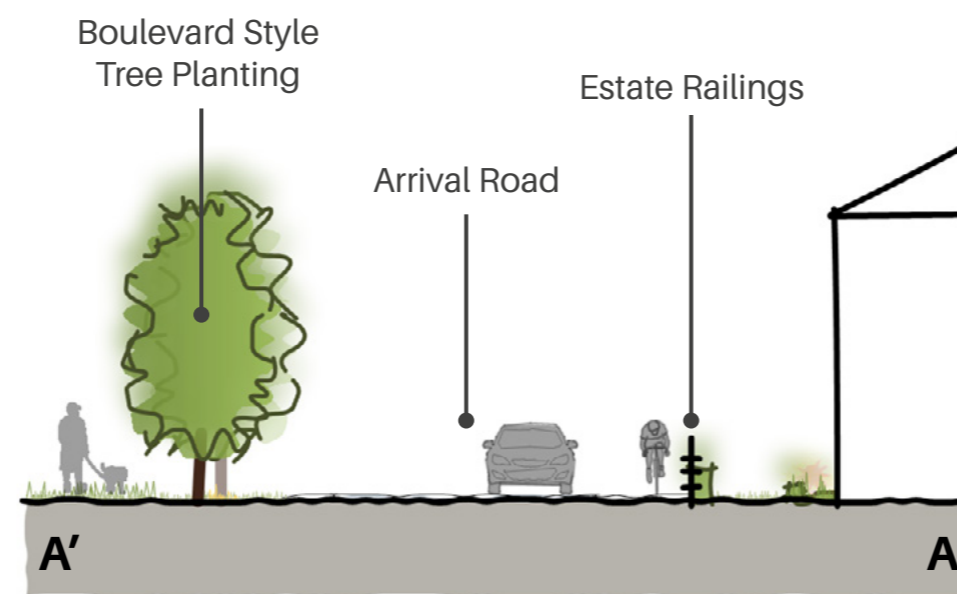


## Character

The Main Street character takes its main traits from the formal character of the access road into the site. Its aim is to set the tone for the quality of the scheme and to best showcase the development. The following design principles were applied to create this character:

## Design Principles

- Formal lines of evergreen hedgerows outline the property boundaries;
- Estate railing further underline the formality of this area;
- The formality of this character ties in with the regular 'boulevard style' tree planting along the access road;
- The planting is mostly evergreen, providing all-year-round interest.



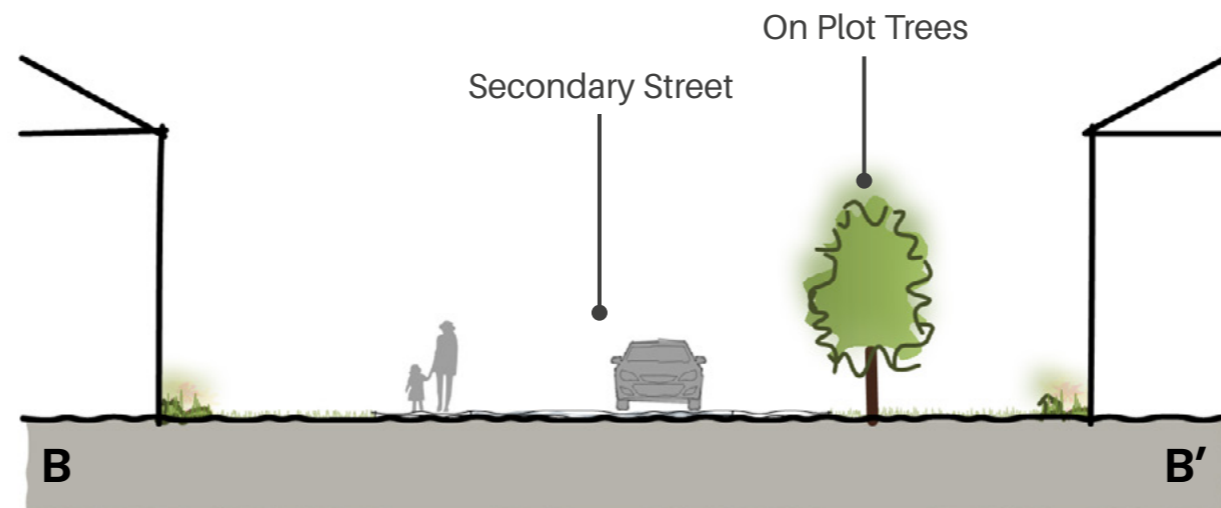
**Character**

Character of the Secondary Street provides the continuation of the formal character of the Main Street, however slightly more relaxed. The following design principles outline the elements of this character:

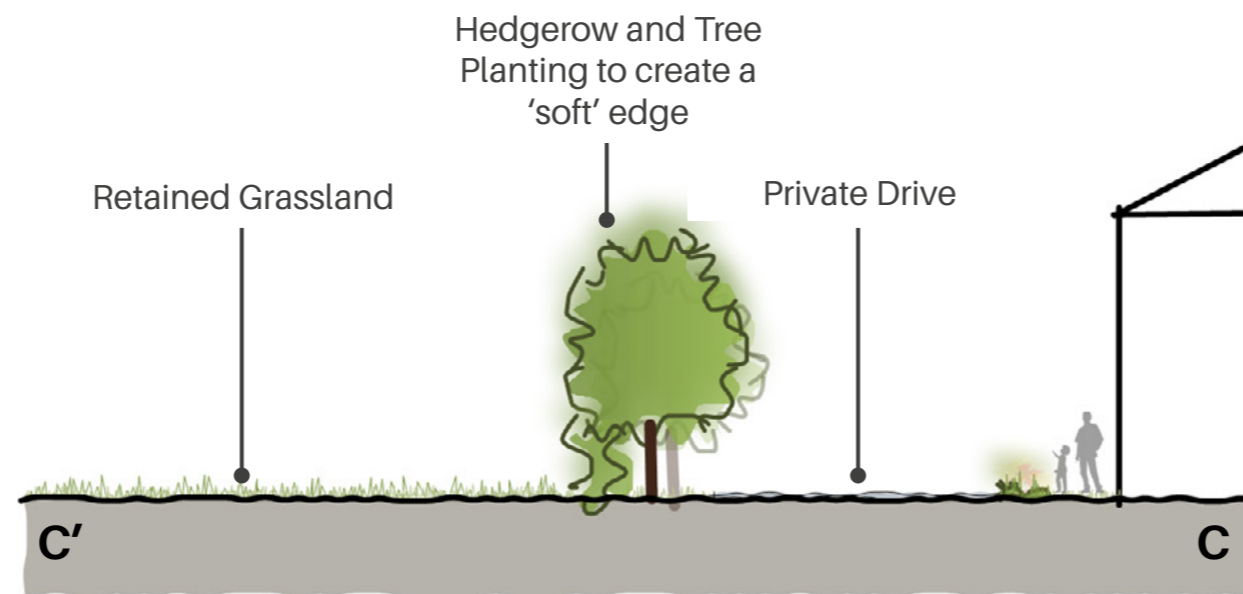
**Design Principles**

- Mostly evergreen shrub planting adjacent to the dwellings;
- Splashes of colour within the planting mix for a more 'relaxed' feel;
- Streets lined with small trees with blossom and autumn colour for all-year-round interest;
- Open front garden boundary.

**ON PLOT 2 - SECONDARY STREET**



# ON PLOT 3 - PRIVATE LANE



## Character

The Private Lane character is mostly influenced by the informal public open space and the rural edge to the development. The following design principles were implemented to create this character:

## Design Principles

- Wide shrub and perennial planting outline the boundary of the front gardens;
- The planting mix used has a more contains a high amount of flowering shrubs;
- Small trees in front gardens connect the areas with the adjacent public open space;
- Occasional estate railing where the gardens face POS.

## Boundary Treatment Strategy

**High quality materials were implemented to devise attractive boundary treatments for the scheme.**

Boundary treatment for the Chesterfield Road development was designed to provide an attractive framework for the built development and the POS, as well as insure the safety and security of the important elements of the scheme.

A variety of boundary treatments were implemented, such as brick walls with piers, where the gardens abut main streets; estate railings within the POS and at front gardens facing POS; knee rails providing low key boundary to the POS; or hedgerows along the main road.

Details of the boundary treatment are outlined in the Boundary Treatment Plan.

## Boundary Treatments



Low Brick Wooden Panel



Close Board Fence

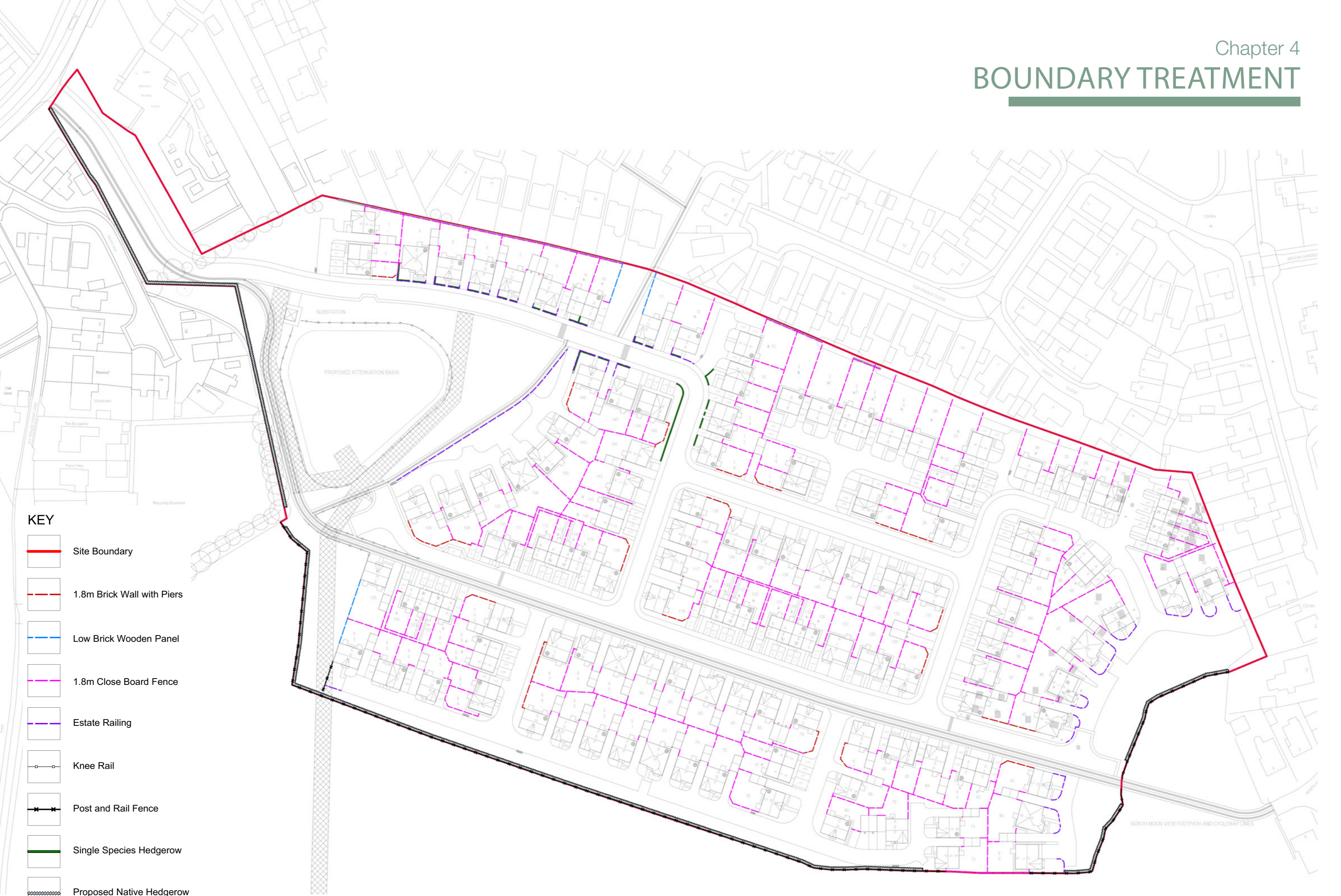


Brick Wall with Piers



Hedgerows

# BOUNDARY TREATMENT



### KEY

- Site Boundary
- 1.8m Brick Wall with Piers
- Low Brick Wooden Panel
- 1.8m Close Board Fence
- Estate Railing
- Knee Rail
- Post and Rail Fence
- Single Species Hedgerow
- Proposed Native Hedgerow

Chesterfield Road, Brimington

# LANDSCAPE STRATEGY

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