



Stephen Carr
Tridax Ltd
Suite 3, Honeywood House
Honeywood Road
Whitfield, Dover
Kent
CT16 3EH

Your ref

-

Our ref

DS_BOS-117522

Date

16 July 2020

Contact

Tel 0330 303 0119


Dear Mr Carr,

Building Over/Adjacent to Public Sewers - Building Regulations 2010 (as amended).
Location: Land to the rear of 9 Hill Drive, Eastry, Sandwich, Kent, CT13 0DU.

Thank you for the additional information.

We have reviewed your application, the plans and the CCTV survey recently carried out on the public sewer affected by your proposed a new building extension, at the above site address. We are prepared to grant conditional approval to build over/near the public sewer at this address. This approval is not an approval of your proposed plans but an approval to build near the critical sewer (by depth) subject to you meeting the following conditions:

1. Completion of a **Sewer Protection Agreement** is required with Southern Water Legal Services, please forward documents requested over the page as soon as possible (**see attached guidance drawing for reference**).
2. No new structure (footings, walls etc) running **within 500mm** from the existing public 150mm vitrified clay (VC) foul sewer/manhole will be permitted.
3. Where within 3.00 metres of the public sewer, **foundations must be taken down to a minimum depth of 150mm below the invert level of the sewer/manhole**. The depth of the sewer is approximately **3.10m** below ground level at the time of survey.
4. Any new connections to the public sewerage system will require a **Section 106 Sewer Connection application** to be submitted and approved by Southern Water.
5. Care must be taken when working in the area of the public sewer pipeline so that no damage is caused, as any damage caused will be repaired at the client's expense.



Given that the above proposals are acceptable, it will be necessary for you to provide us with the following information by email to Developer.Services@southernwater.co.uk in order to process the Sewer Protection Agreement:

- 1) An electronic copy (PDF format) of the comprehensive drawing to incorporate the items detailed above, indicating the length of sewer that is being impeded by the works and being built over; marked “A-B” and coloured red. The perimeter of the site should be coloured green (Please see attached guidance plan).
- 2) A copy of the location plan on 1:1250 scale (PDF format). The perimeter of the site shall be coloured green.
- 3) Please confirm if you wish to represent yourself or by a solicitor. If by a solicitor, please provide the name and address of your solicitor.
- 4) Proof of ownership. This shall contain an up to date,
 - Official copy of Title Register Entries.
 - Title Plan relating to your property.

If you do not have a copy that is dated within the last 6 months, please see <https://www.gov.uk/government/organisations/land-registry> → search for property ownership information → “start now”, the Title plan can be found on the same page of the land registry website as the title deed – it is available in a link directly under, where the title deed / copy of ownership register is found.

- 5) Building Regulations Number (if applicable).

Also, we wish to state that Southern Water legal fees, of approximately £250, will be invoiced directly by the Company’s Chief Solicitor. Should these conditions conflict with your proposed development, it will be necessary to revise your proposal(s) and drawing(s). Please resubmit the revisions to us.

We refer you to Southern Water’s Health and Safety Advisory which can be viewed in the Developer and Builders section of the Southern Water website as in the link below:

southernwater.co.uk/developing-building/health-and-safety

This approval is given on the basis that you will review the advisory information and take the necessary actions with regards to Health and Safety.

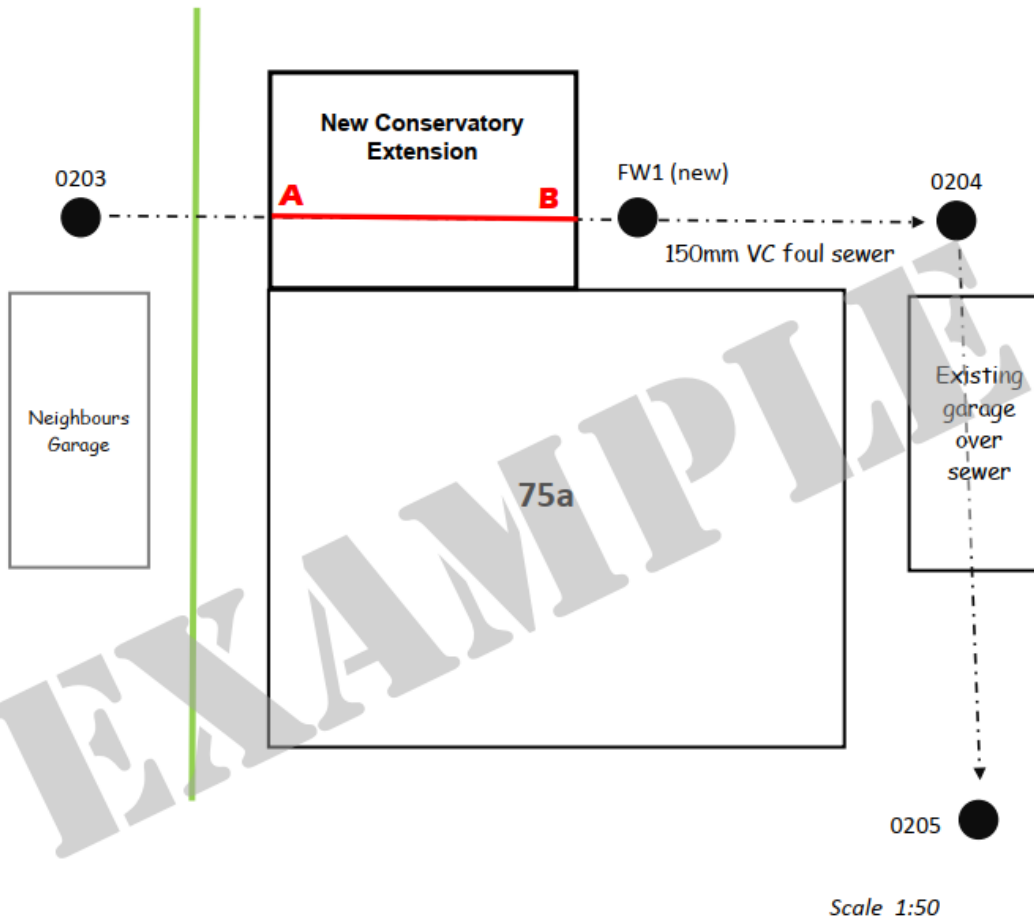
If any further information is required regarding this matter, please do not hesitate to contact us on the above telephone number.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Ashley Marshman', written in a cursive style.

Ashley Marshman
Head of Business Channels
Business Channels

Sewer Protection Agreement – Example of a Site Plan with the sewer Build-Over marked A-B



Build-over reference: SWS-BO_001234

Site: 75a The Avenue, Littleville, Hampshire SO12 2AA

Guidance notes for the Sewer Protection Agreement Plan required by legal:

- Should be a scale of either 1:50 or 1:100
- Build-Over Agreement reference number & site address provided
- New extension details shown
- Site boundary coloured **GREEN**
- The length of public sewer being built over should be clearly marked with a solid **RED** line and lettered **A** and **B** at each end to clearly show the sewer length that the Sewer Protection Agreement applies to.

The accuracy of information provided is important, as this drawing will be used by the Southern Water legal team as part of the Sewer Protection Agreement documentation

*Note: This example is for a Sewer Protection Agreement (SPA) for a new conservatory. The SPA is required as the total length of public sewer built over on this property is greater than 8m. Only the section of public sewer impeded by the **NEW EXTENSION** requires the Protection Agreement (as shown)*