

Boundary-----Boundary

PROPOSED ROOF PLAN

Scale 1:100

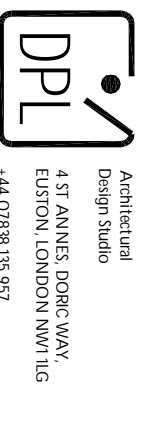


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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS **CONSTRUCTION**

REV.	DATE	NAME	DESCRIPTION



GENERAL NOTES:

1. All dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, etc. before commencing works.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
5. Owner is responsible for arranging suitable and sufficient access for all building materials, equipment, etc. for any additional structural design change on site from the start to end of building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.

8. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence) and the contractor is responsible for the likelihood of condemned works.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works which is on site then this will need to be brought to DPL attention straight away before works commence and approved by building control or the engineer before works can commence.
10. All of DPL structural designs are subject to loading being in place. If concrete is poured before the design is complete, the contractor is responsible for the stability of the existing foundation type and building control will need to advise on a different method of construction, if required by an engineer. No additional work being implemented on site until approved by building control either a note or plan foundation, this will need to be approved by building control.
11. All steelwork shall be designed for load bearing or non-load bearing status before purchase of steel/s. If non-load bearing then steel should not be ordered. No rafter or column can be given against DPL on the design/materials changed for these steel/s.

OTHER NOTES:

- All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed rooflights and windows shall be designed to match existing materials. All new proposed rooflights and windows shall be designed to match existing materials. All new proposed rooflights and windows shall be designed to match existing materials.
- No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure they are correctly installed and vented. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
- ITEMS - this drawing has been created for discount plans ltd for the "client" only, a build contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this project has been made, no refund will be allowed or claim made of drawing and any other drawings relating to this project for whatever reason can be made. The drawing is the property of discount plans ltd and all rights reserved. These rights will be subject to legal compensation brought against them, client accepting these terms has agreed on all the above by signing contract between both party's and understands that no refunds can be given.
12. All drainage connections is assumed & is subject for checking by builder, Thomas water & building control, if any changes are required, they must be approved by building control before works commence.
- THIS DRAWING, CONTENT INCLUDING NOTES IS BOUND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS
25A BENDYSH ROAD,
BUSHEY, HERTS, WD23 2HZ

DRAWING TITLE
PROPOSED DRAWINGS

DRAWN AT HEAD OFFICE

SCALE AS SHOWN @ A3 05: JANUARY, 2021

DRAWING NO. DPL.05

REVISION -
www.discountplansltd.com