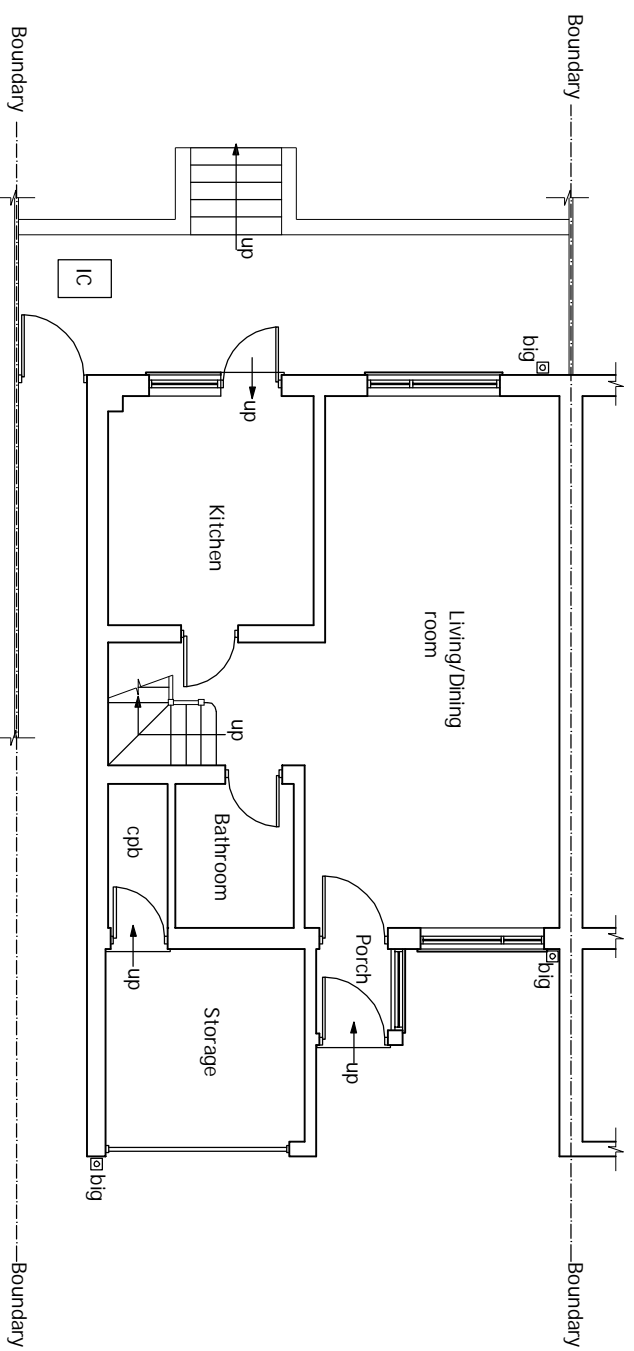
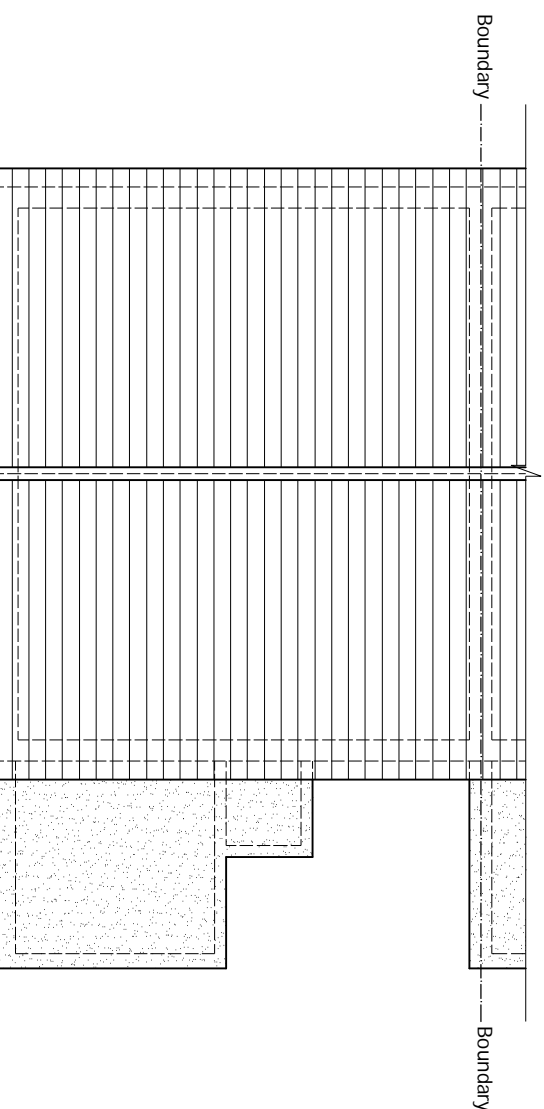
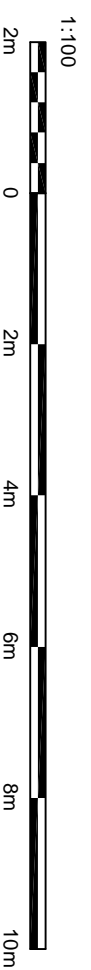


An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. THE DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY THE CONTRACTOR.



**EXISTING GROUND FLOOR PLAN**  
Scale 1:100



**EXISTING ROOF PLAN**  
Scale 1:100

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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	<b>CONSTRUCTION</b>	
REV.	DATE	DESCRIPTION

Architectural  
Design Studio  
**DPL**  
4 ST ANNES, DORIC WAY,  
EUSTON, LONDON NW1 1LG  
+44 (0)7838 135 957

**GENERAL NOTES:**  
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers' calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.  
2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.  
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water, drainage, etc. services and ensure they are correct and suitable for the proposed works.  
4. DPL are not responsible for building changing design methods from proposed works. The client is responsible for any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.  
5. Owner is responsible for arranging suitable and sufficient access for all proposed works.  
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.  
8. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence) and the contractor is responsible for the method of construction.  
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier's drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. DPL will not be held responsible for any errors or omissions.  
10. All of DPL's structural designs are subject to building being fit for use. It is the contractor's responsibility to ensure that the existing foundation type and building control either a raft or piled foundation, this will not be used for any other purpose.  
11. All steelwork to be used for load bearing or non-load bearing should be checked on site by building control inspector/builder for load bearing or non-load bearing status before purchase of steel/a. If non-load bearing then steel should not be ordered. No rafting or claim can be given against DPL on the design/materials changed for these steel/a.

**OTHER NOTES:**  
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed rooflights and windows must be installed in accordance with the Building Regulations and the proposed window shown on this drawing which overlook other property's are designed to be non-opening and of obscure glazing. For a permitted development left design the former designed on this drawing is set back from the street by 20mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest applicable codes of practice and to comply with current building regulations.  
An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. THE DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY THE CONTRACTOR.  
12. All drainage connections are assumed & it is subject for checking by builder, Thomas water & building control, this drawing is not to be used for any other purpose.  
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<b>SITE ADDRESS</b>	
25A BENDYSH ROAD, BUSHEY, HERTS, WD23 2HZ	
<b>DRAWING TITLE</b>	
EXISTING DRAWINGS	
DRAWN AT	HEAD OFFICE
SCALE	AS SHOWN @ A3 05: JANUARY, 2021
DRAWING NO.	REVISION
<b>DPL.01.</b>	<b>www.discountplansltd.com</b>