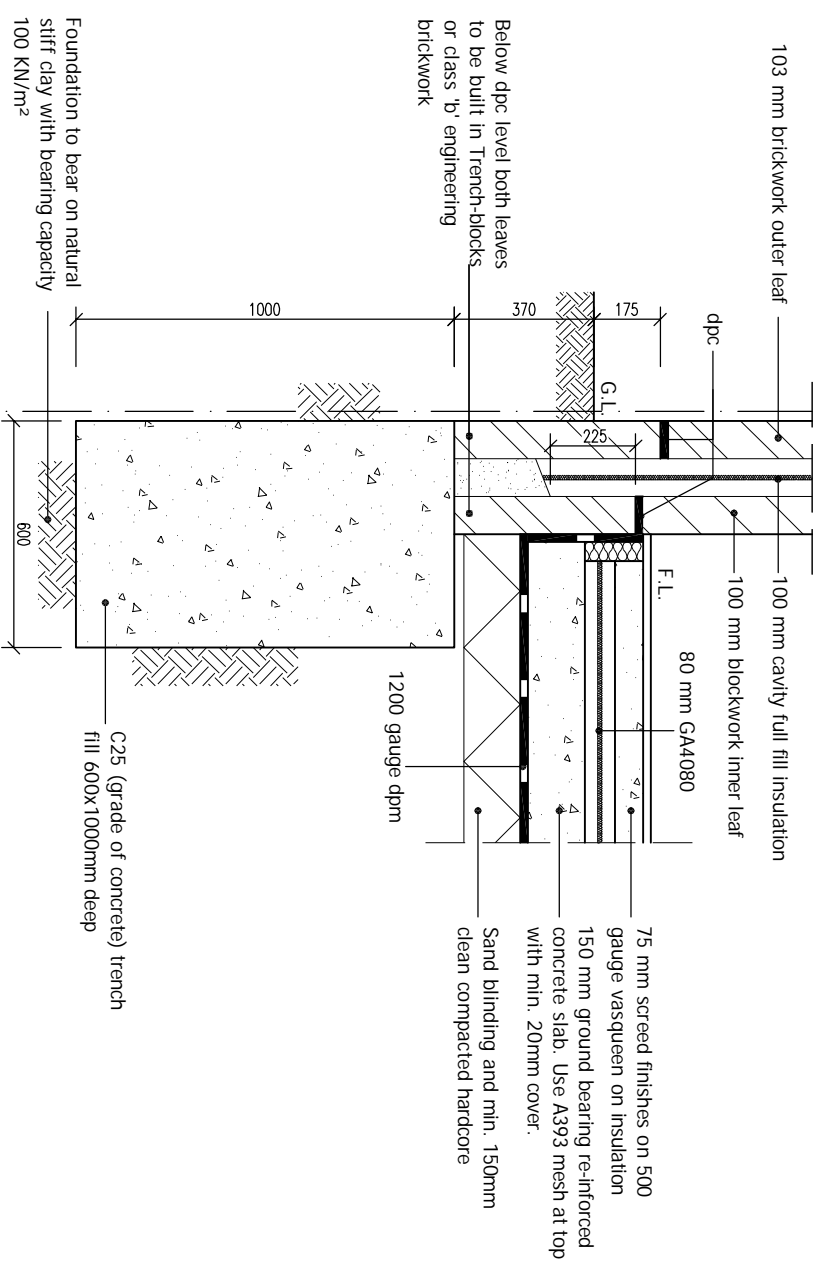


TYPICAL FOUNDATION DETAIL
Scale 1:20



FOUNDATION DETAIL ON BOUNDARY
Scale 1:20



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

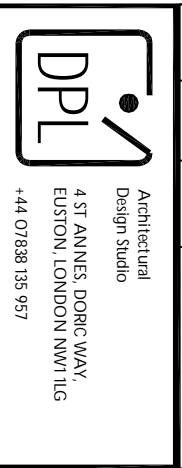
DRAWING STATUS	CONSTRUCTION
REV.	DATE NAME DESCRIPTION

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any pertinent supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water and other services. Inform the Building Control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works.
2. Inform the Building Control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works.
1. Ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.
5. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
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9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works which is on site then this will need to be brought to DPL attention straight away before the works commence and purchase of materials be made so an alternative design can be negotiated and approved by building control or the engineer before works can commence.
10. All of DPL's structural designs are subject to loading being in line with the design. If the existing foundation type and building control either a raft or piled foundation, this will need to be confirmed by an engineer with an additional cost being implemented on site.
11. All steelwork shall be protected by a zinc rich primer and a minimum of two coats of paint by building control inspector/builder for load bearing or non-load bearing studs before purchase of steel/s. If non-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials changed for these steel/s.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed windows shall be installed in accordance with the drawings. All new proposed windows shall be installed in accordance with the drawings. All new proposed windows shall be installed in accordance with the drawings.
An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs for any obstructions before commencing works. All drains should be cleared and any obstructions removed. All drains should be cleared and any obstructions removed. All drains should be cleared and any obstructions removed.
THIS DRAWING CONTENT INCLUDING NOTES IS BOUND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS	25A BENDYSH ROAD, BUSHEY, HERTS, WD23 2HZ		
DRAWING TITLE	PROPOSED DRAWINGS		
DRAWN AT	HEAD OFFICE	DRAWN BY	
SCALE	AS SHOWN	@ A3	05, JANUARY, 2021
DRAWING NO.		REVISION	



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