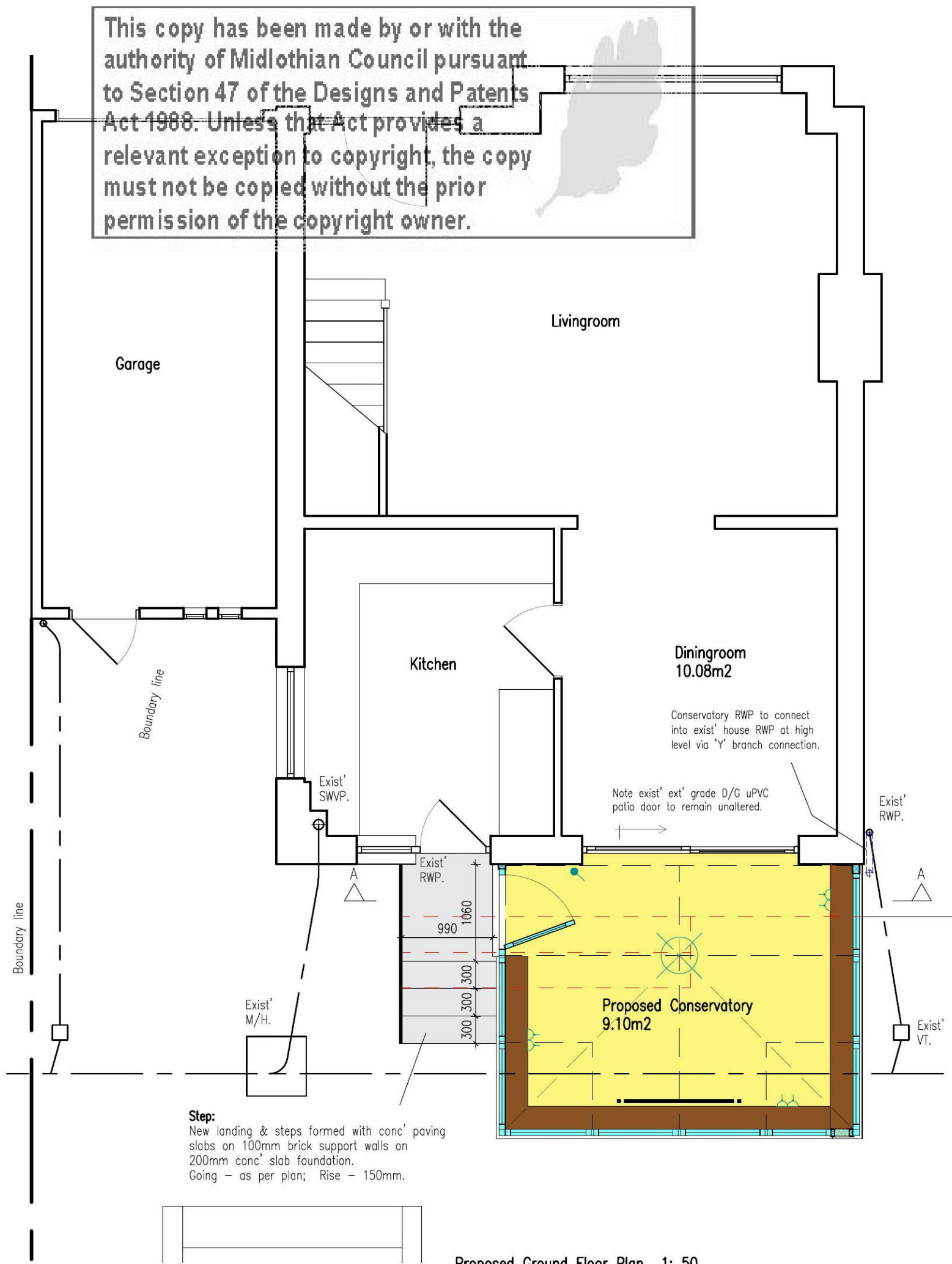
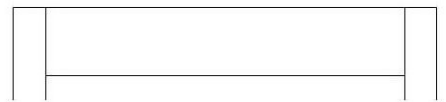


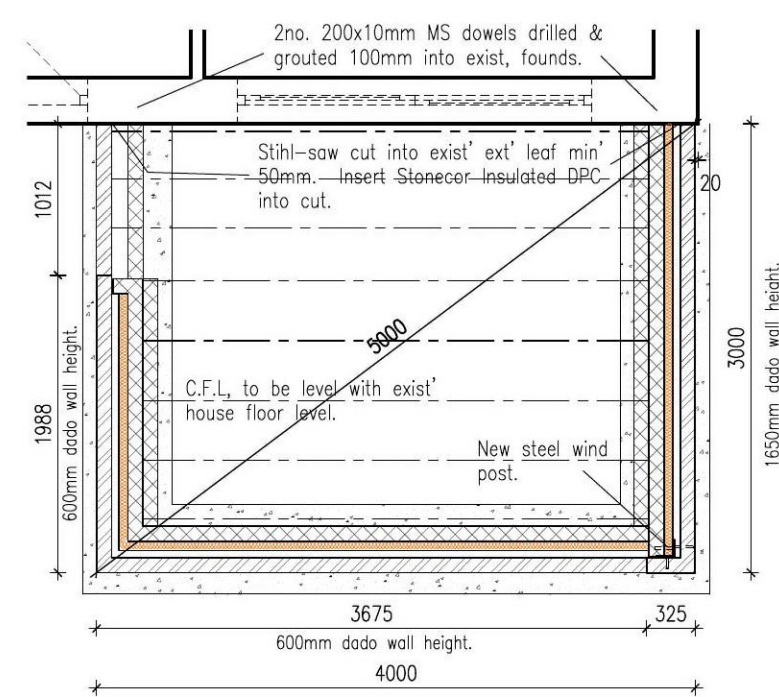
This copy has been made by or with the authority of Midlothian Council pursuant to Section 47 of the Designs and Patents Act 1988. Unless that Act provides a relevant exception to copyright, the copy must not be copied without the prior permission of the copyright owner.



**Step:**  
New landing & steps formed with conc' paving slabs on 100mm brick support walls on 200mm conc' slab foundation. Going - as per plan; Rise - 150mm.

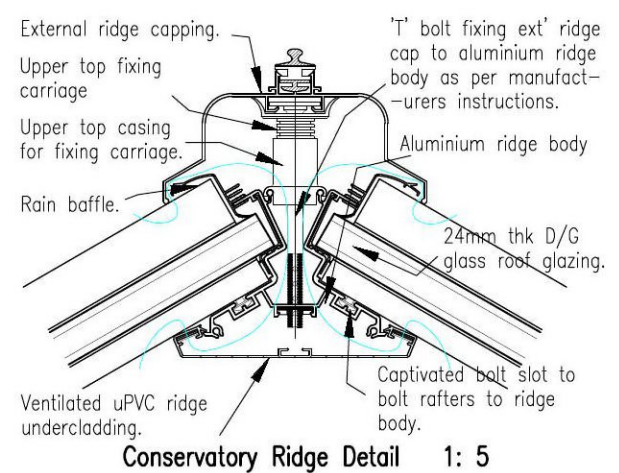


Proposed Ground Floor Plan 1: 50



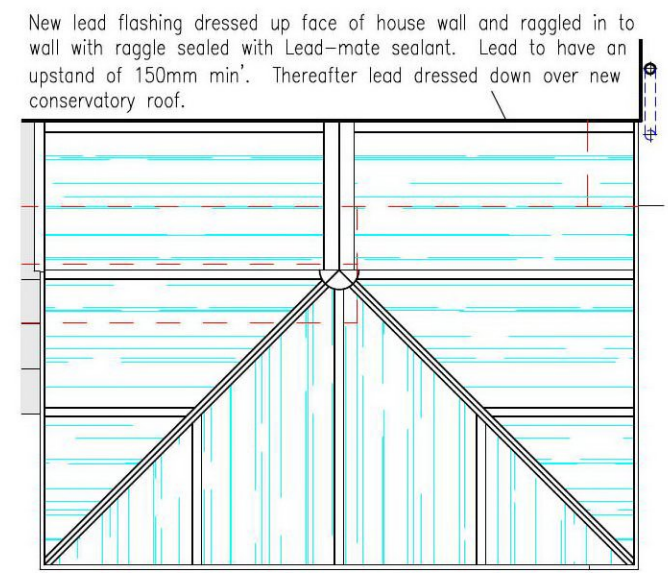
Proposed Foundation Plan 1: 50

**Dado Walls.** [0.19W/m<sup>2</sup>k]  
100mm thick face brick outer leaf, o/all 110mm cavity with 60mm thick Ecotherm insulation and 50mm nominal cavity width, 100mm thick Celcon Solar blockwork inner leaf finished with 12.5mm plasterb'd on 50x25mm S.W. strapping with 25mm thick Ecotherm insulation between strapping behind plasterb'd. D/wall built of blockwork/blockwork base, built of 600x200mm concrete strip foundations, grade RC35 concrete, reinforced to btm with 1 layer of A393 mesh reinforcing min' 50mm cover all round, minimum 450mm below finished ground level to top. New walls fixed to existing with furfix wall steel channels (from foundation level up) bolted to wall with 8mm R-KEM resin anchor bolt fixings as per manufacturers instructions. Vertical Stonecor insulated DPC provided at junction with inner leaf. Vertical cavities closed with Stonecor insulated DPC between ext' & int' leaves with cavity wall head closed with block on flat & Stonecor insulated DPC between ext' leaf & block on flat. DPC provided min' 150mm above finished ground level (refer to section A-A). Cavity filled to ground level with lean mix concrete. All new DPC's/DPM's to link with existing DPC's/DPM's.



Conservatory Ridge Detail 1: 5

**Conservatory:**  
White uPVC framed double glazed windows and doors. Roof to be 24mm thick D/G high performance glass units supported by aluminium uPVC clad rafters. Roof is non-combustible, to A-A fire rating. All glazing to comply with BS6262 & 6206. U-value of windows/doors - 1.4W/m<sup>2</sup>k; U-value of roof - 1.32W/m<sup>2</sup>k.



Proposed Roof Plan 1: 50

**Bryant AND Cairns**  
WINDOWS & CONSERVATORIES

2/3 Borthwick View  
Pentland Industrial Estate,  
Loanhead,  
Midlothian,  
Scotland EH20 9QH.  
Tel: 0131 440 2855  
Fax: 0131 448 2096  
Web: BryantandCairns.co.uk

**Proposed Conservatory**  
at: 303 Rullion Road, Penicuik.  
for: Mr & Mrs Fraser

Work: Home:

drawing no. C5599/02	revision:	drawn by: NJG	date: 20.1.21	scale: see drg
Proposed Plans				

