

35 DALSTON DRIVE, MANCHESTER , M20 5LQ
DESIGN AND ACCESS STATEMENT

Prepared on behalf of Ben East
January 2021

<http://www.guytaylorassociates.co.uk>



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1.0 Introduction

1.1 Guy Taylor Associates Ltd.

Founded in 1969, Guy Taylor Associates is an award winning, innovative and forward thinking design studio with offices in Newark, Manchester, Derby and Sheffield.

The collaboration of Architects, Architectural Technologists, Restoration & Conservation experts and Landscape Architects bring together vast experience and a highly skilled team of passionate designers.

Together we offer an exceptional body of knowledge and expertise that embraces every aspect of a buildings design, construction, performance and preservation.

1.2 Appointment

GTA North have been instructed by Mr Ben East to prepare and submit a householder planning application for the erection of a side extension at 35 Dalston Drive, Stockport.

1.3 Documents

The Statement is to be read in conjunction with the following documents submitted as part of the application:

- Application Form
- Existing and Proposed Location Plan
- Existing and Proposed Site Plan
- Existing & Proposed Floor Plans
- Existing & Proposed Elevations

1.4 Agent Details

Mr Agustin Melero
Trafalgard House
5-7 High Lane
M21 9DJ

2.0 Site

2.2 Location

The application site fronts Dalston Drive on the south-east boundary. The local authority is Manchester City Council.

2.2 Site Description / Existing Use

The application site is located in central East - Didsbury, approximately 500m away from the junction with Wilmslow Road in the West and South, and approximately 300m away from the junction with Parrswood Road in the East. The site is located in residential use and bounded by family homes on all sides. The house is partly screened from the street behind an existing plants and set back from the main street behind an area of grass and a driveway.

2.3 Site Area

The site area is approximately 330m².

2.4 Site Access

The site can be accessed from the south-east entrance on Dalston Drive via a vehicular access, leading into the front parking area. Access to the rear is provided in the South-West of the application site and currently gated.

2.5 Topography

The site is relatively flat. The proposal assumes no excavations works.

2.6 Existing Dwelling

The existing footprint of the house is 80m². The two-storey property has a red brick ground floor with white render to first floor elevations. The existing roof is a pitched roof of red tiles.

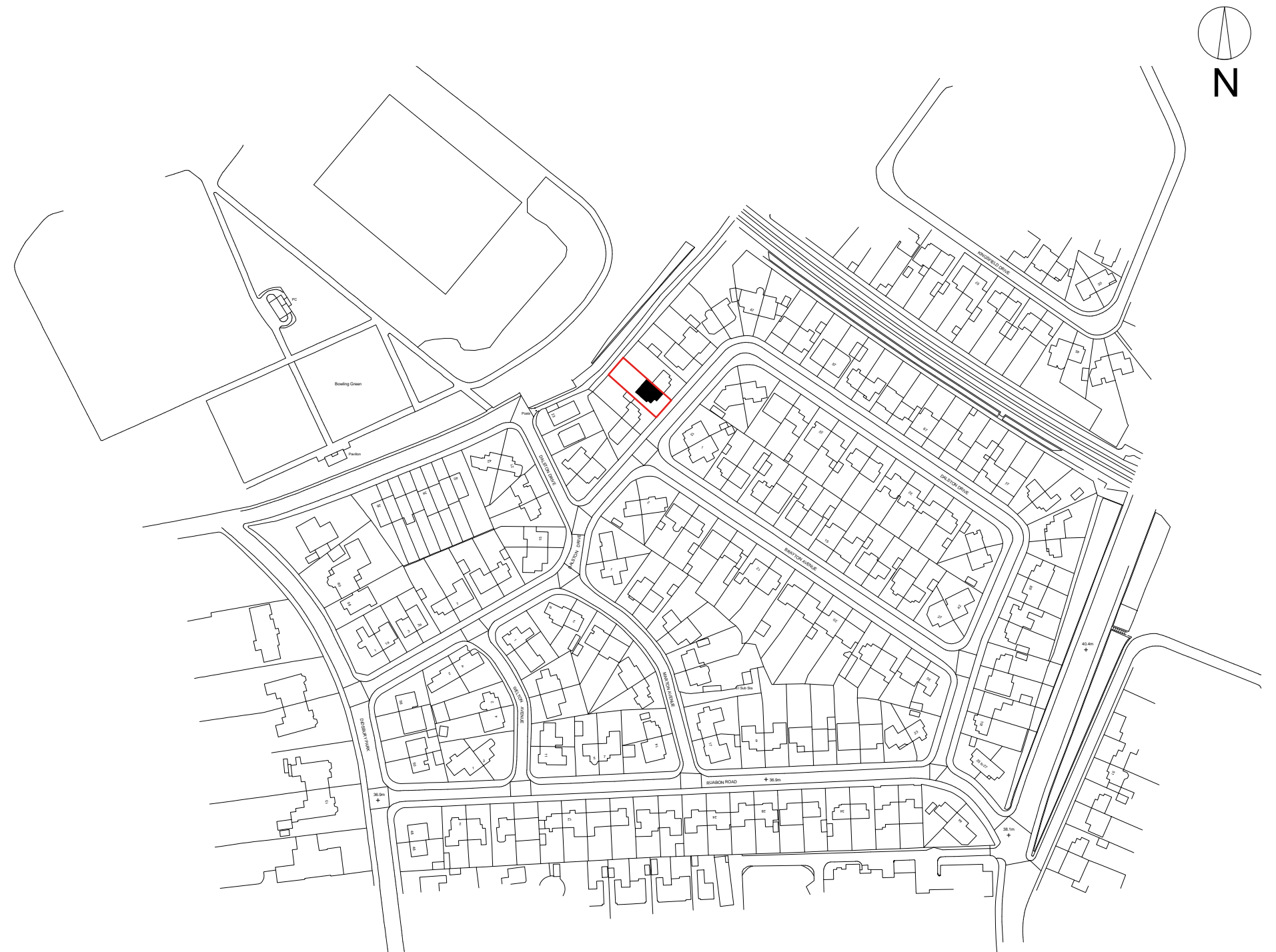


Fig. 01 Site Location Plan

3.0 Context



Fig. 3.1 Dalstone Drive Junction with Brayton Avenue looking North-East.



Fig. 3.2 Dalstone Drive Junction with Brayton Avenue looking South-West.

3.0 Context



Fig. 3.3 Plot 35 Dalstone Drive looking North-East (bound by red line).



Fig. 3.4 Plot 35 Dalstone Drive looking North (bound by red line).



Fig. 3.5 Plot 35 Dalstone Drive looking South-West (bound by red line).



Fig. 3.5 Plot 35 Dalstone Drive looking South-West (bound by red line).

4.0 Existing Building



Fig. 4.1 35 Dalstone Drive - Front Elevation



Fig. 4.2 35 Dalstone Drive - Rear Elevation

4.0 Existing Building



Fig. 4.3 35 Dalstone Drive - Front of Front Porch.



Fig. 4.4 35 Dalstone Drive - Side Elevation

5.0 Proposal

5.1 PROJECT OBJECTIVES

The proposal is for a single-storey side extension to improve the existing kitchen and dining arrangement, provide new utility and downstairs toilet and a small first floor extension to enlarge the first floor toilet.

5.2 PROPOSED USE

There is no change proposed to the existing residential use.

5.3 QUALITY OBJECTIVES

The proposed extension is to be of matching appearance, utilising brick and white render to match existing, as well as white PVC framed windows.

5.4 PROJECT OUTCOMES

The proposal seeks to:

- Improve internal arrangement of kitchen and dining area.
- Provide a downstairs utility room to be well connected to the new kitchen.
- Provide a downstairs toilet near the main entrance.
- Improve the size of the existing toilet on the first floor.

5.5 ARCHITECTURAL APPROACH

The proposal is intended to be of a subservient character to the main building, with a contextual approach to the architectural design, which will be developed to harmonise with, but not emulate the historic context.

5.6 AMOUNT

The footprint of the building is 80 m². The proposal is to extend the existing building by a further 13m². The new extension is in appropriate size for the plot relative to its neighbours.

5.7 PARKING

There is no change proposed to the existing number of parking spaces.

5.8 SCALE & FORM

The application seeks permission to alter the original dwelling along its existing south-west roof plane which is proposed to be extended at matching angle to create the side extension. The proposal ensures that sufficient clear space along the side boundary is maintained for access to rear garden.

5.9 MATERIALS

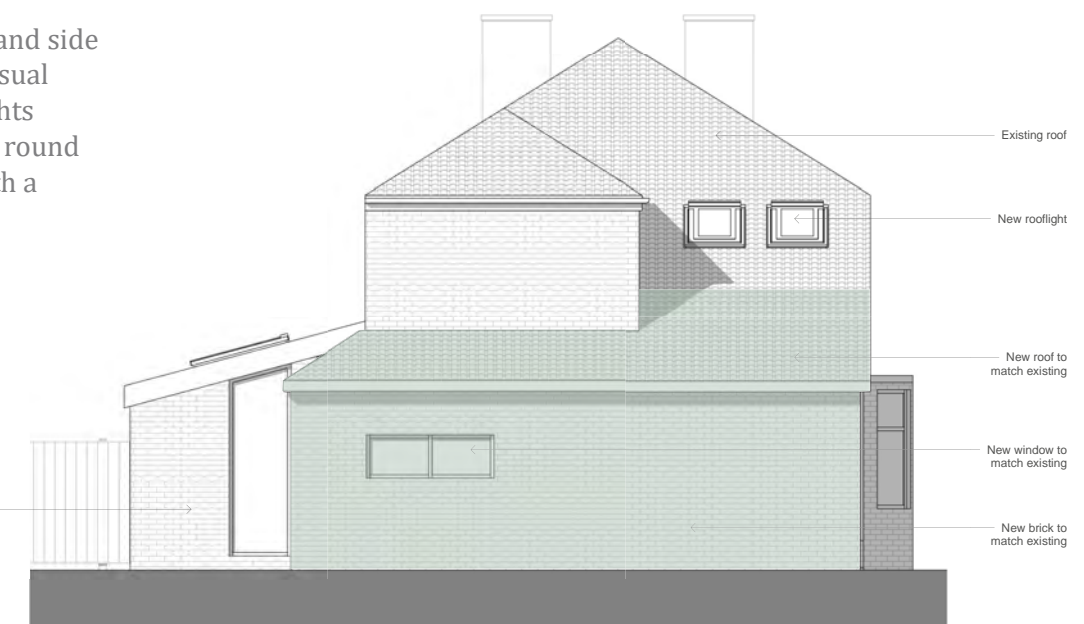
The proposal utilises matching materials, including brick to front and side walls, divided by white-rendered stepped wall at front to create visual interest. PVC framed windows and new aluminium framed rooflights would be further utilised in the design. The existing characteristic round window to the front elevations is also proposed to be replaced with a matching alternative.

5.10 BOUNDARIES

The proposal does not seek to amend or alter existing boundaries.



Proposed Elevations - South-East
1:50



Key:

Proposed Extension

Proposed Elevations - South-West
1:50

5.0 Proposal

5.11 EXISTING AND PROPOSED FLOOR PLANS

The main house comprises an entrance hall, reception room, living room, kitchen and a dining on the ground floor with the front access via a mono-pitched porch at the front of the house and a rear access via a set of bi-folding doors leading directly into the dining area. The existing kitchen, dining and living area are currently largely disconnected. The kitchen could also benefit from a new utility. At present, there is also no downstairs toilet for guests.

The proposal offers an improved layout through a series of internal alterations combined with small scale side extension.

PROPOSED EXTENSION

The proposed side extension wraps around the south-west corner of the house and is proposed to be extended parallel to the existing house and the side boundary, offering a sufficiently enlarged area on the ground floor to accommodate new utility room and a downstairs toilet in the front portion of the house.

A reconfigured kitchen with dining and living area are proposed in the newly created space on the ground floor which further introduces a series of interconnected activity zones such as the seating area along the island and a further seating / snug area along the existing rear wall facing the garden.

FIRST FLOOR

As a result of the roof extended along its existing pitch in the South, the existing toilet on the first floor could also be enlarged to offer a more spacious secondary bathroom with a shower.



Proposed Floor Plans - Ground Floor Plan

Existing Floor Plans - Ground Floor Plan

Proposed Floor Plans - First Floor Plan

Existing Floor Plans - First Floor Plan

- Key:
- Existing Walls
 - Proposed Walls
 - Internal Alterations

6.0 Planning

6.1 PLANNING HISTORY

There is no relevant planning history to 35 Dalston Drive in Didsbury.

6.2 NATIONAL PLANNING POLICY FRAMEWORK (February, 2019)

The National Planning Policy Framework sets out the Government's planning policies for England and how these should be applied. Planning law requires that applications for planning permission are determined in accordance with the development plan, unless material considerations indicate otherwise.

• ACHIEVING SUSTAINABLE DEVELOPMENT

The NPPF states that the purpose of the planning system is to contribute to the achievement of sustainable development. The objective of sustainable development is to meet the needs of the present without compromising the ability of future generations to meet their own needs. It takes into consideration an economic, social and environmental role.

• ACHIEVING WELL-DESIGNED PLACES

Paragraph 124 states that: 'The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.' Paragraph 127 also states that 'Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.'

6.3 LOCAL DEVELOPMENT PLAN

Planning applications in Manchester are at present decided upon the policies outlined in the following Development Plans:

- Manchester Core Strategy (March 2011)
- Supplementary Planning Documents
- Supplementary Planning Guidance

MANCHESTER CORE STRATEGY (2012)

Policy DM1 states that development must have regard to appropriate siting, layout, scale, form, massing, materials and detail; impact on surrounding areas and character; effects on amenity including privacy, light, noise, road safety and traffic generation; crime prevention; adequacy of internal accommodation and external amenity space; refuse storage and collection; vehicular access and car parking; effects on biodiversity, landscape, archaeological or built heritage; green infrastructure; and flood risk.

Policy EN1 requires development proposals to meet 7 principles of design: places with their own identity; clearly distinguishing public and private spaces; ease of movement to and through places; legibility; adaptability, so that places can change easily; and diversity in the provision of choice. The policy sets out design principles for particular areas. Didsbury is located within the Southern Character Area, where new development should retain the identity and focus of historic district centres, and be commensurate with the scale of existing development along key radial routes.

GUIDE TO DEVELOPMENT IN MANCHESTER (2007)

The Guide to Development in Manchester SPD further states that:

- 'Character and context' means that places should have their own identity, which respects and is informed by its location.
- 'Continuity and enclosure' means that public and private spaces should be clearly distinguished so that people feel safe. Footways and

entrances should be clearly identifiable.

- 'Legibility' means that a place has a clear image and is easy to understand so that people can move confidently to their destination.
- 'Ease of movement' means that places should be easy to navigate and designed with people in mind.
- 'Quality public realm' deals with public spaces, and includes the value of tree planting and a sense of place.
- 'Diversity' seeks a variety of house types and uses in a cityscape that does not exclude anyone.
- 'Adaptability' seeks places that can accommodate change, for example, building conversion and alteration, and infill development which enhances local character.

6.3 COMPLIANCE

SITING AND LAYOUT

The proposal is for a householder extension to the side of the existing dwelling. It does not protrude in front of the elevation and is sufficiently set back from the street. It is proposed to be extended by continuing the line of the existing saltbox roof at the front and to the side of the property. The additional footprint constitutes a small extension to the original building, which allows to make sufficient changes on the ground floor to allow for crucial spaces needed for a modern family.

The proposal is a harmonious and appropriate extension to the existing dwelling, as it respects the building line of the existing dwelling and its relationship to the street; retains sufficient garden space and area to the side of the building for rear access; is a complimentary addition on the street scene which values the character of the area and proposes to further enhance it, does not impact on amenity of neighbouring properties.

SCLAE AND MASSING

The scheme proposes additional 13 m² of floorspace on the ground floor and 4m² on the first floor to the side of the property. This enables a logical series of spacious open plan rooms and ancillary rooms. The proposal is considered a proportionate enlargement in the context of the original dwelling, the neighbouring properties and the street scene.

6.0 Planning

MATERIALS

Proposed materials are matching brick, white render and matching roof to the side and the front of the property. All windows are also to match existing white PVC framed. The existing aesthetic of the original dwelling is therefore proposed not to be juxtaposed or altered, instead offering a matching material palette to ensure the extension is read as a coherent part of the house.

HIGHWAY AND ACCESS

The proposal will not generate additional traffic. No additional bedrooms are proposed as part of this application. Existing parking arrangements will therefore remain unaltered.

SUPPLY OF HOUSING

The proposal retains a family home, and improves it through the provision of additional space, a more convenient internal layout and more light. This demonstrates improvement of the existing conditions in which people live and widens the choice of high quality homes. The retention and improvement of the existing house is in line with Policy H6 of the Core Strategy and NPPF.

6.4 CONCLUSIONS

The proposal is for a residential extension to an existing property intended to improve living conditions and provision of sufficient ancillary space, therefore ensuring that the property meets the standards and needs of present and future users in accordance with NPPF.

The proposal utilises matching materials for the robust walls to compliment the existing house. The proposal is a traditional design solution in keeping with the characteristics of the original dwelling, which demonstrates a sensitive approach to the existing context.

The new extension does not prejudice the amenity of the future occupiers and is appropriate in its context and compatible with the character and setting of the building.

The design complies with Policies DM1 and EN7 by proposing a coherent scheme with appropriate scale, siting, layout, scale and massing.

7.0 Heritage

7.1 CONSERVATION AREAS

Conservation areas are of unique architectural or historic interest where characteristic architectural and urban features form part of the special character of the area.

Local authorities have the statutory duty and power to designate conservation areas under the Planning Act 1990. The special character and appearance of the area is based on local criteria rather than national importance.

Within a conservation area there are extra planning controls over demolition, minor developments and the protection of trees. In addition, there may also be some special planning controls in the form of Article 4 Directions.

Within Manchester there are currently 34 Conservation Areas. The application site is located just outside of Didsbury St James Conservation Area. The site's north-west boundary is sited directly on the border with the Conservation Area. The house is not listed. It is not identified within the Didsbury St James Conservation Area appraisal (Fig. 7.1).

7.2 DIDSBURY ST JAMES CONSERVATION AREA

The Conservation Area is centred on the historical core of Didsbury, at the junction between Wilmslow Road and Stenner Lane. It covers a relatively wide area, encompassing Fletcher Moss Park in the west, Didsbury Park in the north - west and the Towers Business Park in the south.

Didsbury Park forms part of the north-eastern boundary of the Conservation Area.

The Conservation Area appraisal identify the following common characteristic features in the area:

- A great variety of building materials, with red brick walls and blue slate roofs being most common;
- Trees which screen buildings and provide a unifying leafy backdrop;
- Vertically proportioned sash windows;
- Entrance doorways create the character of the area;
- Most houses have gardens enclosed by brick or stone walls, although the height varies up to about 3m; some properties have fences or hedges.

The nearest Listed Building is the Park End House located approximately 300m away from the site. The application is located sufficiently far away from any Listed Buildings to not have any impact on them.

7.3 Proposal

The existing property is a semi-detached dwelling which shares border with the Conservation Area along the rear north-west boundary of the application site. The building is constructed in red multi-coloured brick to ground floor and white render to first floor elevations. The round window above entrance porch and emphasised bricks to wall corners are the key features of the house. The proposal does not seek to detract from any of the original features.

7.4 Statement of Compliance

Despite not being located within the Conservation Area, the proposal acknowledges the importance of ensuring that it does not impact negatively on the Conservation Area and respects the architectural features of the original house.

The proposal does not seek to alter the boundary lines, therefore will not affect the sense of spaciousness, views, boundary treatments nor the location of any existing trees.

The proposal seeks to utilise material palette matching the existing house and therefore will not impact on the architectural style of the original dwelling. A consistent palette of materials is proposed to ensure the new extension is read as complimentary to the existing house.

7.5 Conclusion

The proposed extension is a sensitive addition which seeks to enhance the features of the existing building. The proposed matching materials will create a visual connection with the main house, with the continuation of the roof line further strengthening its relationship with the original dwelling.

As such, it is in our view that the alterations to the property are not a departure from the characteristic materials and will not have a detrimental impact on the Conservation Area.

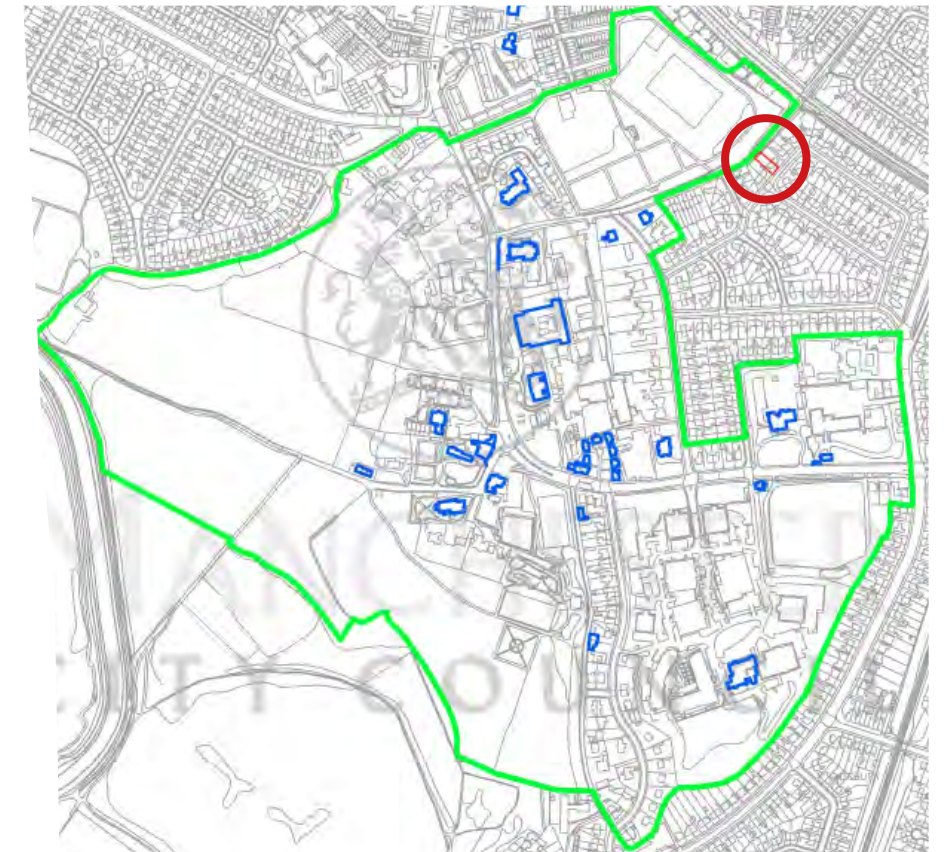


Fig. 7.1 35 Dalstone Drive - Location outside of the Conservation Area.

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