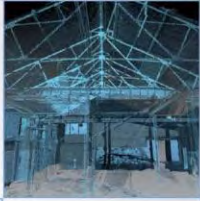
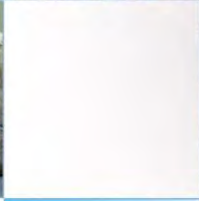
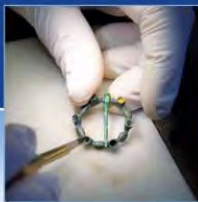


103 & 105 Henderson Street, Bridge of Allan, Stirling: Heritage Assessment

AOC Project Number: 25624

December 2020



ARCHAEOLOGY

HERITAGE

CONSERVATION

103 & 105 Henderson Street, Bridge of Allan, Stirling: Heritage Assessment

On Behalf of:	Simply UK
National Grid Reference (NGR):	NS 79504 97363
AOC Project No:	25624
Prepared by:	Lynn Fraser & Tom Bradley-Lovekin
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Date of Report:	December 2020

This document has been prepared in accordance with AOC standard operating procedures.

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1 NON-TECHNICAL SUMMARY

- 1.1 AOC Archaeology Group was commissioned by Yeoman McAllister, on behalf of Simply UK, to undertake a Heritage Assessment for a proposed purpose-built care home development at 103 and 105 Henderson Street, Bridge of Allan, Stirling (herein the 'Site'). The Site is currently occupied by two detached mid-19th century villas, Nos. 103 and 105 Henderson Street (Sites 32 & 90). No. 103 has been Category C Listed since the 3rd of August 1977 (LB22631), whilst No. 105 is not listed. Both buildings are now vacant and derelict and No. 105 is in notably poor condition and has been on Historic Environment Scotland's (HES) Buildings at Risk Register for Scotland (BARR) since its inception in 1990 (Ref. 2050)¹. The BARR currently classes No. 105's condition as poor and the category of risk as high. Although No. 105 was reported in 1990 to be in '*reasonable condition*' but with '*a need for general repairs throughout*', it is notable that it was the only one of the 19th century villas along this stretch of Henderson Street that was not Listed on the 3rd of August 1977. This omission may not have been on architectural grounds and could indicate that the building was in poor condition at that time. No. 103 Henderson Street was in use as a hotel until comparatively recently, although it is now also vacant and many of its external windows are broken with further evidence of vandalism evident within the interior. Comparison with Google Streetview imagery suggests that this damage has occurred since June 2018 and given its present condition the building could now also be considered as a candidate for inclusion on the BARR.
- 1.2 The applicant proposes to demolish both No.103 and No.105 Henderson Street and replace them with a single purpose-built care facility which will extend across both plots. The new building will be set back from the street front, with the greater proportion of the structure being placed towards the rear of the plot so as to allow for the retention and enhancement of the existing hedged boundary on the street frontage and this would potentially minimise the appearance of the building in longitudinal views along the axis of Henderson Street. The new building would be three storeys high, although the upper floor would be set within a pavilion roof which would break up the massing of the building. The lower two storeys of the front elevation of No. 103 would be reinstated in a new position to the east of its original location and would form the central entrance to the new care facility. However, the chimneys, the roofline with its distinctive dormer windows and the Regency style porch would not be relocated.
- 1.3 The application for Listed Building Consent for the demolition of No.103 should follow the steps that are set out in HES's published guidance for the Demolition of Listed Buildings (HES 2019b, 6-9). Although it is not Listed. No.105's position within the Bridge of Allan Conservation Area means that Conservation Area Consent (CAC) for its demolition will be required under Section 66(1) of the 1997 Act and the determination of any application would subject to the same tests as are required for the demolition of Listed Buildings under the terms of Policies 7.2 and 7.3 of the 2018 Stirling Local Development Plan. AOC would therefore recommend that the future of No. 105 should be included within any discussions that are held with HES and the planning authority regarding the Listed Building. Given its obviously poor condition AOC, would recommend that any application for Conservation Area Consent for its demolition also be accompanied by an independent condition assessment.
- 1.4 Should Listed Building Consent be obtained for the demolition of No.103 then HES will need to be given the opportunity to record it under the terms of Section 7(2)(c) of the 1997 Act. Given the age of both buildings it is likely that the planning authority will require that a programme of historic building recording (HBR) be undertaken prior to their demolition. This could take the form of a 'Detailed Survey' (as per ALGAO Guidance 2013) comprising a photographic, written and drawn record, the latter of which can be based on architects' existing drawings if in existence. The aim of this would be to record the fabric and remains of the structure to ensure 'preservation by

¹ <https://www.buildingsatrisk.org.uk/details/900303>
[Accessed 15th December 2020]

record' and to assess to what extent the structures retain any early fabric or features. Given the condition of both buildings it is likely that any survey will be constrained by health and safety considerations.

- 1.12 Although no archaeological remains or artefacts are recorded within 250m of the Site the potential for previously unrecorded remains or artefacts being encountered cannot be discounted and it is therefore possible that the planning authority may require an archaeological programme of works involving either trial trenching or a watching brief to be undertaken prior to or during construction works associated with the development. Should any significant remains be encountered then further mitigation works and post excavation analysis may be required. Any requirement for either historic building recording or archaeological fieldwork would be determined by Stirling Council Archaeology Service (SCAS). Given the need for both LNC and CAC HES and Stirling Council's Conservation staff would also advice on the historic building recording. AOC envisage that any mitigation works could reasonably be undertaken post-determination as a condition of planning consent.

2 INTRODUCTION

2.1 Proposed Development Site

2.1.1 AOC Archaeology Group was commissioned by Yeoman McAllister, on behalf of Simply UK, to undertake a Heritage Assessment for a proposed purpose-built care home development at 103 and 105 Henderson Street, Bridge of Allan, Stirling (herein the 'Site'). The Site is currently occupied by two detached mid-19th century villas, Nos. 103 and 105 Henderson Street. No 103 has been Category C Listed since the 3rd of August 1977 (LB22631), whilst No. 105 is not listed. Both buildings are now vacant, and derelict and No. 105 is in notably poor condition and has been on Historic Environment Scotland's (HES) Buildings at Risk Register for Scotland (BARR) since its inception in 1990 (Ref. 2050). The BARR currently classes No. 105's condition as poor and the category of risk as high. The Site lies within the Bridge of Allan Conservation Area, slightly to the east of the centre of the town which is located to the immediate east of the crossing of the Allan Water. The Site is centred on National Grid Reference (NGR) NS 79504 97363.

2.2 Topographical & Geological Conditions

2.2.1 The British Geological Survey GeoIndex (BGS 2020) records the bedrock on the Site as belonging to the Ochil Volcanic Group – Conglomerate. This is sedimentary bedrock formed approximately 393 to 419 million years ago in the Devonian Period in a local environment previously dominated by subaerial slopes. This is overlain, in the northern half of the Site, by raised marine deposits comprising clay, silt, sand and gravel formed up to 2 million years ago in the Quaternary Period in an environment previously dominated by shallow seas. The southern half of the Site is overlain by Holocene Age raised tidal flat deposits of silt and clay also formed up to 2 million years ago in the Quaternary Period in a local environment previously dominated by shorelines.

2.2.2 A review of the BGS Single Onshore Boreholes Index (SOBI) for records of boreholes, shafts and wells from all forms of drilling and site investigation work shows no such work to have been carried out within the Site. Made ground is recorded to a depth of 1.80m bgl in Coneyhill Road to the east of the Site (Boreholes NS79NE12538/1, 2 & 2A) and to a depth of 0.40m bgl at The Avenue to the west (Boreholes NS79NE32-33), which overlies alluvium and clay respectively.

2.2.3 The Site sits at 12m AOD.

2.3 Development proposal

2.3.1 The applicant proposes to demolish both No.103 and No.105 Henderson Street and replace them with a single 70 bed purpose-built care facility which will extend across both plots. The new building would be three storeys high, although the upper floor would be set within a pavilion roof which would break up the massing of the building. The lower two storeys of the front elevation of No. 103 would be reinstated in a new position to the east of its original location and would form the central entrance to the new care facility.

2.4 Government and local planning policies and guidance

2.4.1 The statutory framework for heritage in Scotland is outlined in the Town and Country Planning (Scotland) Act 1997, as amended in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and the Ancient Monuments and Archaeological Areas Act 1979. These Acts have been modified by the Historic Environment (Amendment) (Scotland) Act 2011.

2.4.2 The implications of these Acts with regard to local government planning policy are described within Scottish Planning Policy (SPP) (Scottish Government 2014), Historic Environment Policy for Scotland (HEPS) (Historic Environment Scotland (HES) 2019a) and Planning Advice Note 2/2011 (PAN2/2011) Scottish Government 2011 which provide specific planning policy in relation to heritage. The planning policy and guidance expresses a general

presumption in favour of preserving heritage assets in situ. Their “*preservation by record*” (i.e. through excavation and recording, followed by analysis and publication, by qualified archaeologists) is a less desirable alternative.

2.4.3 There are no Scheduled Monuments in the 500m Study Area. HEPS (HES 2019a) sets out the HES’s policy for the sustainable management of the historic environment and sits alongside the Scottish Government’s national policies for addressing land use matters and decisions. Key principles of the policy note that “*Changes to specific assets and their context should be managed in a way that protects the historic environment...If detrimental impact on the historic environment is unavoidable, it should be minimised. Steps should be taken to demonstrate that alternatives have been explored, and mitigation measures should be put in place*” (HEP4).

2.4.4 There are 21 Category B Listed Buildings and 58 Category C Listed Buildings within 250m of the Site. Section 14.2 of the Planning (Listed Buildings and Conservation Areas) Act 1997 states that when determining applications for development which could impact upon a Listed Building:

“...the planning authority or the Secretary of State, as the case may be, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

2.4.5 Paragraph 141 of SPP notes the importance of preserving Listed Buildings, stating that “*The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and its setting. Listed buildings should be protected from demolition or other work that would adversely affect it or its setting*”.

2.4.6 The Site lies within the Bridge of Allan Conservation Area. Paragraph 143 of SPP states ‘*Proposals for development within conservation areas and proposals outwith which will impact on its appearance, character or setting, should preserve or enhance the character and appearance of the conservation area.*’

2.4.7 National legislation, policy and guidance concerning the demolition of Listed Buildings or non-designated buildings located within Conservation Areas are set out within Section 2.5 of this assessment

Local Planning Policy – Stirling Council

2.4.8 The Site lies within the administrative area of Stirling Council whose planning policy is contained within the Stirling Local Development Plan 2018. The following policies (ibid, 62-68) are relevant to the proposed development:

‘Policy 7.1: Archaeology and Historic Building Recording (designated and undesignated buildings/sites)

(b) Where there is the possibility that archaeological remains may exist within a development site, but their extent and significance is unclear, the prospective developer should arrange for an evaluation prior to the determination of any planning application in order to establish the importance of the site, its sensitivity to development and the most appropriate means for preserving or recording surviving archaeological features.

(c) Approval of any proposal directly affecting historic environment features will be conditional upon satisfactory provision being made by the developer for the appropriate level of archaeological and / or standing building investigation and recording, assessment, analysis, publication and archiving.

Policy 7.2: Development within and outwith Conservation Areas

(a) Development within a Conservation Area and development outwith that will impact on the conservation area, shall preserve or enhance its character, appearance and setting. All new development should respect the architectural and visual qualities of the area, have regard to the character of the area as identified in the relevant Conservation Area Character Appraisal, and should:

(i) Relate well to the density and pattern of existing development; the design, massing, scale and materials used in surrounding buildings; means of access and boundary and landscape treatments such as walls, railings, trees and hedges...

- (ii) *Retain existing natural and built features which contribute to the character of the Conservation Area and/or its setting.*
- (c) *Where an existing building, Listed or not, contributes positively to the character of the Conservation Area, proposals involving demolition will be considered in terms of Part (a) (ii) and Policy 7.3. Proposals for demolition will only be considered if accompanied by a detailed planning application for a replacement development that enhances or preserves the character of the Conservation Area. If allowed, demolition should not commence until evidence is given of contracts let for the approved redevelopment.*

Policy 7.3: Development affecting Listed Buildings

(a) The layout, design, materials, scale, siting and use of any development must preserve the character of the Listed Building and its setting. Where this is not proposed, development will be refused. There is a presumption against demolition or other works that adversely affect the special interest of a building or its setting.

(b) Listed Buildings should not be demolished unless it can be clearly demonstrated that any of the following apply:

(i) The building is no longer of special interest.

(ii) The building is beyond repair.

(iii) The demolition of the building is essential to delivering significant benefits to economic growth or the wider community.

(iv) The repair of the building is not economically viable and it has been marketed at a price reflecting its location and condition to potential restoring purchasers for a reasonable period.

(c) Understanding the architectural and historic significance of a building or structure is an important pre-requisite to making informed decisions about its development. In some cases the preparation of a Conservation Plan in support of a development proposal will be required. In instances where significant alteration or demolition of a building is approved, measures will be required to ensure adequate recording of the building (see Policy 7.1 and SG: Historic Environment).

2.5 Planning considerations pertaining to the Site

- 2.5.1 The Listed status of No.103 Henderson Street, means that a separate application for Listed Building Consent for its demolition will need to be made under Section 7(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997. Although No.105 is not Listed its position within the Bridge of Allan Conservation Area means that Conservation Area Consent (CAC) for its demolition will be required under Section 66(1) of the same act.
- 2.5.2 Historic Environment Scotland (HES) has published guidance on the demolition of Listed Buildings which states that HES requires to be consulted by planning authorities before any LBC application for demolition is granted and notes that they should be involved at an early stage (HES 2019b, 3 & 5). HES also reference the statement within Scottish Planning Policy (SPP) that '*listed buildings should be protected from demolition or other work that would adversely affect it or its setting*' (Scottish Government 2014, Para 141). In this context HES define demolition as '*the total or substantial loss of a listed building*' (HES 2019b, 3), noting that '*because of the strong presumption in favour of retaining listed buildings, the decision to demolish a listed building is a last resort. It will almost always be made at the end of a process that has considered and discounted all other feasible options*' (Ibid. 2019b, 5). HES list four scenarios where the '*loss of a listed building is likely to be acceptable, as long as this is clearly demonstrated and justified*':

- **Is the building no longer of special interest?**

This could apply in instances *'where there has been a significant loss of fabric or features of interest, or where there have been later alterations which have affected the character of the building'*. In this scenario HES would recommend that an owner ask them to review the Listing prior to submitting an application for demolition. If HES agree to de-list a building the LBC would no longer be required, although in the case of No. 103 Henderson Street CAC would still be needed due to its position within the Bridge of Allan Conservation Area.

- **Is the building incapable of meaningful repair?**

This could occur when the condition of a building has deteriorated to the extent that any repair or reuse would lead to such extensive loss or replacement of fabric that the building's *'special interest'* could not be preserved. Alternatively, this situation could occur where a building has *'inherent design failures'* or has decayed, or developed structural damage *'that cannot be repaired without complete reconstruction'*. In these instances, HES would recommend that any LBC application for demolition be accompanied by a *'full condition assessment by appropriately qualified and experienced professionals'* supported by a *'statement placing the condition assessment in context [sic.] of the building's significance'*.

- **Is the demolition of the building essential to delivering significant benefits to economic growth or the wider community?**

This situation occurs where a development proposal is of *'such economic or public significance that their benefits may be seen to outweigh the strong presumption in favour of retaining a listed building.'* Examples of these types of development often include major public infrastructure projects or regeneration projects that are of national or regional significance.

- **Economic Viability**

This situation occurs where the repair and reuse of a building is not economically viable because *'the cost of retaining the listed building would be higher than its end value'*. In these instances, HES state the *'principle of demolition should only be accepted where it has been demonstrated that all reasonable efforts have been made to retain the listed building. The efforts made should take into consideration the special interest of the listed building.'* HES notes that these efforts should include marketing the Listed Building to *'potential restoring purchasers for a reasonable period, at a price reflecting its location and condition. This should normally be at least six months, although in some circumstances a longer or shorter time period may be appropriate. The price should be its current market value and should not take account of any historic purchase price.'* The price at which the building is marketed *'should not be defined by the value of the land without the building, even if this might be higher, because that would assume demolition will take place'* (HES 2019b, 6-9).

2.5.3 The national legislation, policy and guidance outlined above is reflected in Policy 7.3(a) of the Stirling Local Development Plan 2018 which notes that there is a *'presumption against demolition or other works that adversely affect the special interest of a [listed] building or its setting'* whilst part (b) of the policy goes on to state that *'Listed Buildings should not be demolished unless it can be clearly demonstrated that any of the following apply: (i) The building is no longer of special interest. (ii) The building is beyond repair. (iii) The demolition of the building is essential to delivering significant benefits to economic growth or the wider community'* or (iv) *The repair of the building is not economically viable and it has been marketed at a price reflecting its location and condition to potential restoring purchasers for a reasonable period'* (Stirling Council 2018, 65).

2.5.4 Although it is not Listed, No.105's position within the Bridge of Allan Conservation Area means that CAC for its demolition will be required under Section 66(1) of the 1997 and the determination of any application would subject to the same tests as are required for the demolition of Listed Buildings under the terms of Policies 7.2 and 7.3 of the 2018 Stirling Local Development Plan.

- 2.5.5 The local planning authority of Stirling Council, is advised on archaeological matters by Stirling Council Archaeology Service (SCAS). Any requirement for archaeological work either preceding or during development would be determined by SCAS as advisor to Stirling Council on archaeological matters.
- 2.5.6 No Scheduled Monuments, World Heritage Sites, Inventory Battlefields or Inventory Garden and Designed Landscapes are located within the Site or the 500m Study Area.

2.6 Limitations of Scope

- 2.6.1 This assessment is based upon data obtained from publicly accessible archives as described in *Data Sources* in Section 4.2. All Listed Buildings within 250m and all other assets within 500m of the Site have been identified and are detailed in the Site Gazetteer (Appendix 1) and located on Figure 2. Data from SCAS's Historic Environment Record was obtained in December 2020. Information on designated assets was downloaded from HES's GIS portal in December 2020. The information presented in the gazetteer regarding known heritage assets is current to this date.
- 2.6.2 It should be noted that the report has been prepared under the express instructions and solely for the use of Yeoman McAllister, Simply UK, and their partners. All the work carried out in this report is based upon AOC Archaeology Group's professional knowledge and understanding of current (December 2020) and relevant United Kingdom standards and codes, technology, and legislation.
- 2.6.3 Changes in these areas may occur in the future and cause changes to the conclusions, advice or recommendations given. AOC Archaeology Group does not accept responsibility for advising Yeoman McAllister, Simply UK or associated parties of the facts or implications of any such changes in the future.

3 OBJECTIVES

- 3.1 The main objective of this assessment is to identify the cultural heritage value of the Site proposed for development at 103 and 105 Henderson Street, Bridge of Allan. The evidence presented and the conclusions offered will provide a comprehensive basis for further discussion and decisions regarding heritage constraints on the future development of this Site. This will be done by examining a variety of evidence for upstanding and buried remains of heritage interest including all Listed Buildings within 250m and all other assets within 500m of the Site and by assessing the potential for impacts upon heritage assets within the Site and the setting of designated heritage assets within the Study Area.

4 METHODOLOGY

4.1 Standards

- 4.1.1 The scope of this assessment meets the requirements of current planning regulations set out in SPP (Scottish Government 2014), HEPS (Historic Environment Scotland 2019) and PAN 2/2011 (Scottish Government 2011), and local planning policy.
- 4.1.2 AOC Archaeology Group conforms to the standards of professional conduct outlined in the Chartered Institute for Archaeologists' (CIfA) Code of Conduct (CIfA, 2014a), the CIfA Standard and Guidance for Commissioning Work or Providing Consultancy Advice on the Historic Environment (CIfA 2014b), the CIfA Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (CIfA 2014c) and the Institute's Standard and Guidance for Historic Environment Desk-based Assessment (CIfA 2017).
- 4.1.3 AOC Archaeology Group is a Registered Organisation of the CIfA. This status ensures that there is regular monitoring and approval by external peers of our internal systems, standards and skills development.

4.1.4 AOC is ISO 9001:2015 accredited, in recognition of the Company's Quality Management System.

4.2 Data sources

4.2.1 The following data sources were consulted during preparation of this Heritage Impact Assessment:

- SCAS's Historic Environment Record
For Historic Environment Record data for Stirling Council area;
- National Record for the Historic Environment (NRHE) as held by HES;
For National Record of the Historic Environment data, designated and non-designated heritage asset data and photographs available on the Canmore Website;
- National Map Library online (National Library of Scotland, Causewayside, Edinburgh):
For old Ordnance Survey maps (1st & 2nd Edition, small- and large-scale) and pre-Ordnance Survey historical maps.
- National Collection of Aerial Photography (NCAP, online subscription version only given Covid-19 restrictions which closed the HES archives where NCAP is based):
For Aerial Photography for the Site.

4.3 Report structure

4.3.1 Each heritage asset referred to in the text is listed in the Gazetteer in Appendix 1. Each has been assigned a 'Site No.' unique to this assessment, and the Gazetteer includes information regarding the type, period, grid reference, HER number, protective designation, and other descriptive information, as derived from the consulted sources.

4.3.2 Each heritage asset referred to in the text is plotted on Figure 2 at the end of the report, using the assigned Site No. The Site is shown outlined in red.

4.3.3 All Listed Buildings within 250m and all other assets within 500m of the Site, have been included in the assessment. The aim of this is to identify the potential for direct impacts upon known heritage assets and, in terms of archaeological potential, to help predict whether any similar hitherto unknown archaeological remains may survive within the Site. No Scheduled Monuments, World Heritage Sites, Inventory Battlefields or Inventory Garden and Designed Landscapes are located within the Site or the 500m Study Area. Twenty-one Category B Listed Buildings and 58 Category C Listed Buildings are located within 250m of the Site.

4.3.4 All sources consulted during the assessment, including publications, archived records, photographic and cartographic evidence, are listed amongst the *References* in Section 7.

5 ARCHAEOLOGICAL AND HISTORICAL BASELINE

5.1 Prehistoric and Roman (8000 BC-AD 410)

- 5.1.1 No prehistoric or Roman remains or artefacts are recorded within 500m of the Site although it should be noted that a cist (Site 82) containing a skeleton and urn were found in the late 1800s immediately outwith the 500m Study Area to the east of the Site.
- 5.1.2 Given the current lack of evidence there is judged to be a Low potential for archaeological remains dating to the prehistoric and Roman periods to be present on the Site.

5.2 Early Historic and Medieval (AD 410-1500)

- 5.2.1 There are no finds or remains dating to the Early Historic or medieval periods within the Site, nor within the 500m Study Area, although Bridge of Allan's proximity to Stirling to the south and its position on the southern edge of the Highlands within an area where important communication routes historically passed should be noted. Nevertheless, given the absence of direct evidence for Early Historic or medieval occupation within the 500m Study Area there is judged to be a Low potential for archaeological remains dating to the Early Historic and medieval periods to be present on the Site.

5.3 Post-medieval (AD 1500-1900)

- 5.3.1 Bridge of Allan appears to have developed gradually from the 16th century onwards following the construction of a bridge across the Allan Water that was first recorded in 1520 (Groome 1883, cited Stirling Council 2015, 10), The initial settlement was small and supported the iron mines (Site 81) that had been established on the hillslope to the north of the later town by the early 17th century. These mines were comparatively wealthy as the seams included precious deposits of silver as well as ore, indeed records suggest that 12 tons of silver were extracted from a mine at Bridge of Allan between 1761 and 1764 (OSA-1, 1791-99, 289, cited *ibid.* 2015, 10). Bridge of Allan is first recorded in detail on William Roy's Military Survey of Scotland (Highland) of 1747-55 (Figure 3), which shows the settlement clustered on either side of the bridge, extending along the axis of the river in both directions and notably west of the subsequent planned 19th century town.
- 5.3.3 Mining at Bridge of Allan ceased at the turn of the 19th century and 1807 Airthrey Estate upon which the mines had operated was sold to Robert Abercromby, who was more interested in the properties of the water that flowed from the now abandoned seams than the rock itself. Believing this mine water to be '*beneficial to health*' Abercromby had samples analysed and the subsequent results concluded that '*the Airthrey springs must be placed in the very highest rank among the mineral springs of Great Britain*' (NSA 1834-45, 218). This discovery led to the conversion of the former mine infrastructure to a spa, which by 1821 included a pump room for '*taking [drinking] the waters*' and the commencement of the development of a fashionable mineral resort with the '*erection of a considerable number of very comfortable lodging-houses*' completed by 1834 (Stirling Council 2015, 12). The new town was laid out across two estates; the Airthrey Estate and the adjoining Westerton Estate, which was inherited by Major John Henderson in 1844, shortly before the Caledonian Railway reached the town in 1848. The new laird started his development by erecting lodging houses and spa villas for holiday letting along Henderson Street, which was originally named MacFarlane Street, taking a personal interest in both the Feuing and the '*elegant walks and promenades*' that were created (*ibid.* 2015, 12-13).
- 5.3.4 The Site is first recorded in detail on the 1864 Ordnance Survey map (OS) (Figure 4) which shows both Nos. 103 and 105 Henderson Street, suggesting that they were built between 1844 and 1860 when the surveying of the 1864 map took place. No. 103 (Site 32) is recorded by the OS as '*Oakbank*' perhaps reflecting the hillslope that it is terraced into. The name of No.105 (Site 90), '*Crystal Palace*' is curious suggesting as it does a reference to the Great Exhibition of 1851, and therefore potentially a construction date of the early 1850s. The OS map indicates that No. 103 was originally numbered as '*181*' and originally consisted of a rectangular WSW – ENE aligned block

with the two bays and possibly the central porch evident on the WSW facing elevation. The house was accessed via two drives which extended inwards from either end of the street frontage to create a horseshoe shaped approach. Extensive planting is shown to the front and sides of the house, suggesting that the main focus of the gardens lay to the south, rather than the steeper banks to the north. No. 105, originally numbered as '182' is shown on the higher ground to the east of No.103; it was set on the northern edge of a plot that was notably bigger than that of its neighbour. This house was accessed via a single drive which extended northwards along the eastern edge of the plot, with an outhouse that was possibly a small stable, or more probably coach-house, depicted at the northern end of the drive. The house itself was asymmetrical with three distinct bays visible in its WSW facing elevation. A large garden is depicted to the south of the house, its northern boundary being defined by a terrace, suggesting that the garden may have been cut into the hillside.

- 5.3.5 The 1864 Ordnance Survey map depicts Nos. 103 and 105 as forming part of a group detached or semi-detached villas that extended along both sides of Henderson Street by this time. A pair of semi-detached houses, Woodland House and Darnley House are shown to the immediate west of No.103. Nos. 95, 97 and 99 and 201 Henderson Street still stand today and are Category C Listed (Sites 30-31). A detached villa recorded by the OS as a 'Free Church Manse' is recorded to the immediate east of No. 105. This house, 107 and 109 Henderson Street also still stand and are now Listed together as Category B Listed (Site 33). A further two detached houses; 'Florence Villa' and 'Kelvingrove' face Nos. 103 and 105, fronting the opposite southern side of Henderson Street. Again, both these houses still stand as No. 108 and Nos. 110, 112 and 114 Henderson Street are both Category B Listed (Sites 44 & 45). Numerous other villas are shown lining both sides of the street to the east and west of Nos.103 & 105 which suggests that layout and arrangement of properties along this stretch of Henderson Street predates 1860.
- 5.3.6 Nos. 103 & 105 are recorded largely unchanged on the subsequent 1898 Ordnance Survey (Figure 5), although both have been extended to the rear, whilst a small greenhouse had been built in the extreme northwest corner of No.103's curtilage. An extra villa had been built on a gap site on the south side of Henderson Street directly opposite No. 105. This new property: 116 Henderson Street still stands and is now Category C Listed (Site 46).
- 5.3.7 The NRHE and HER record a range of post-medieval assets, including further Listed Buildings within the 250m and 500m Study Areas and these are located on Figure 2 and detailed within the Site Gazetteer (Appendix 1)

5.4 Modern (AD post 1900)

- 5.4.1 The Site is shown unchanged from 1896 on the subsequent 1900, 1918 and 1947 Ordnance Survey maps (Figures 6-8) although a single outbuilding had been added to the western edge of the curtilage of No. 103 by 1918, with a further outbuilding added to its eastern curtilage by 1947.
- 5.4.2 The National Record of the Historic Environment (NRHE) includes a photograph (SC 1631112²) of No.103 Henderson Street which is dated to 1975-6 and was apparently taken in advance of the building's Listing. The building is recorded as the Eagleton Hotel and the extension to the east had been constructed by that time, although not in its present form as it appears to have subsequently been re-fronted and re-roofed. No. 105's distinctive wrought iron porch is shown surmounted by a lattice balcony constructed from similar material. The first floor of the ENE facing elevation of No. 105 can be seen to the rear of the photograph, the roof was clearly still intact at that time and there appears to have still been glass in the bay windows and possibly the side windows as well as the frames can still be seen.

² <https://canmore.org.uk/collection/1631112>

- 5.4.3 The NRHE and the HER record two non-designated modern assets within 500m of the Site; Bridge of Allan's War Memorial (Site 84) and the site of a group of Second World War Nissen huts that may have been used to house Polish troops (Site 88).

5.5 Walkover Survey

- 5.5.1 The Site was visited on the 14th of December 2020 in dry clear weather with excellent visibility.
- 5.5.2 The site visit established that both buildings are now vacant, derelict and in the case of No.105 in extremely poor condition (Plate 1 & 2). Both buildings are partially fenced off and have large 'Danger Unsafe building KEEP OUT' signage attached prominently to their facades (Plate 3). Smaller signs have been attached to the fencing on both properties by Stirling Council's Building Standards Team, these notices read 'DANGEROUS BUILDING KEEP OUT' (Plate 4). For this reason, neither building could be entered during the site visit. Although the structural integrity of the buildings falls outwith the scope of this report, a large crack was observed immediately below the chimney stack in the upper level of the west elevation of No. 105 (Plate 5), whilst a significant collapse has torn a hole in the upper floor of the building's east elevation, leaving the chimney balancing precariously on the roof above (Plate 6). When seen from Henderson Street to the south, No.105 is largely concealed from view behind a wall of overgrown trees and vegetation all though the building's roofline, leaning chimneys and parts of the upper storeys can be glimpsed in places (Plate 7). Overall, the plot has the appearance of overgrown, unkempt wasteland partially concealing an undeniably dangerous structure.
- 5.5.3 The deterioration of No.103 is more recent and, at present, less severe than that of No.105. However, the building is a more conspicuous presence when seen from Henderson Street, as it is viewed from across an open car park (Plate 8). The smashed windows and decay to the timber work on the south elevation of No.103 are clearly visible although the rear and side elevations appear to be in poorer condition (Plates 9-11). The entrance porch retains its wrought iron pillars and roof (Plate 3), although the overlying lattice work balcony that was shown on the 1975-6 photograph and is referenced in the Listing Description has now been lost. The interior of No. 105 could not be visited on safety grounds although a glimpse through the windows suggests that at least some of the original panelling and fixtures survive (Plates 12), as do two external fixtures; the two wrought iron boot scrapers (Plates 13) that are positioned on either side of the main door and also appears to be original (Plate 2).
- 5.5.4 The mid-19th century villas and residences which stand within the surrounding Conservation Area are all in noticeably better condition than Nos. 103 and 105 and although some of them are now in commercial or institutional use they all remain clearly legible as comparatively affluent suburban homes set within the unusual context of a Victorian resort spa. Taken together the Category C Listed Woodland House and Darnley House (Sites 30-31) (Plate 14) which stand to the immediate west of No.103 form a particularly fine example of a pair of semi-detached villas with the façade of the eastern house (Darnley) being sufficiently similar to that of No. 103 to suggest that the two properties are likely to have been constructed as part of the same development programme. Kelvingrove (Site 45, Plate 15) which stands opposite No. 105 also bears a striking resemblance to No. 103 although its finer detailing, which is presumably reflected in its Category B Listing, could suggest that it was built for a more prosperous client, or if it was built as a boarding house, a more affluent clientele. Category B Listed, Florence Villa (Site 44, Plate 16) stands opposite No. 103 and at first glance appears different from No.103, lacking the distinctive dormers which No. 103 shares with Darnley and Kelvingrove; however, on closer inspection it can be seen that its bay windows are similar to those on No. 103

6 CONCLUSIONS

6.1 Proposed Development

6.1.1 The applicant proposes to demolish both No.103 and No.105 Henderson Street and replace them with a single 70 Bed purpose-built care facility which will extend across both plots. The new building will be set back from the street front, with the greater proportion of the structure being placed towards the rear of the plot so as to allow for the retention and enhancement of the existing hedged boundary on the street frontage and this would potentially minimise the appearance of the building in those longitudinal views along the axis of Henderson Street that contribute to the character of the Conservation Area. The new building would be three storeys high, although the upper floor would be set within a pavilion roof which would break up the massing of the building. The lower two storeys of the front elevation of No. 103 would be reinstated in a new position to the east of its original location and would form the central entrance to the new care facility. However, the chimneys, the roofline with its distinctive dormer windows, and the Regency style porch would not be relocated, exposing the door frame which without the porch is notably simpler than those of the neighbouring and broadly contemporary Listed Buildings.

6.2 Assessment of Importance

6.2.1 Category C Listed No.103 Henderson Street forms part of a coherent group of contemporary or near contemporary mid-19th century villas all of which appear to have been built either as part of the same development programme or to accord with a common design code. Although the design of each individual building varies, they possess sufficient shared qualities to add a degree of cohesion to this part of the Conservation Area. However, it is clear that a hierarchy exists within this group of buildings and that the two buildings on the southern side of the road *Kelvingrove* (Site 45) and *Florence Villa* (Site 44) are more elaborate and finely detailed, which is presumably reflected in their Category B Listing. HES regards Category C Listed Buildings as '*buildings of special architectural or historic interest which are representative examples of a period, style or building type*' whilst Category B Listed Buildings are considered to be '*major examples*' of the same and this difference in designation is considered to be a fair reflection of No. 103's slightly lower '*quality*' when compared to *Kelvingrove* and *Florence Villa* (HES 2019c, 13). The Listing Description for No. 103 describes it thus '*Early Victorian. Symmetrical 2-storey and attic rubble-built, centre door with Regency-style porch, wrought-iron balcony and 1st floor bipartite over between canted bays; 2 straight fronted dormers with bowed roofs. Gabled, slated roof. Partly reglazed. Unfortunate recent single-storey addition to right*' ³(HES LB22631). Despite the buildings poor condition and the loss of the balcony this description remains accurate.

6.2.2 No. 105 Henderson Street is by contrast an oddity, the only one of the mid-19th century villas along this stretch of the street not to be Listed, it was set higher up the hillslope than its neighbours, perhaps to take advantage of the 'prospect', and may be slightly earlier, although its first recorded name '*Crystal Palace*' could suggest that it is unlikely to pre-date the opening of the Great Exhibition in May 1851. Stylistically it appears to be very different to No. 103 and the similar buildings which stand to its south and west, suggesting that it is unlikely to have been built to the same design codes. Despite its poor condition the quality of the quoinwork which extend across one of the bays (Plate 2) remains apparent and is likely to have originally been extremely visible when viewed from the road to the south. It is therefore reasonable to conclude, that despite its condition, No.105 retains a degree of architectural interest, albeit one which has in places been much compromised by its condition. Although HES note that the '*present condition*' of a building's '*surviving fabric is not a factor when deciding whether it is of special architectural interest*' this is apparently contradicted by the preceding sentence which states that '*the extent to which a building or structure survives is a consideration when assessing it for listing*' (HES 2019c 12). In

³ <http://portal.historicenvironment.scot/designation/LB22631> [Accessed 17th December 2021]

this instance it is likely that the interior of the building has been severely impacted by its long-term decline, although this could not be verified as No. 105 is now too unsafe to enter. No. 105 is therefore best regarded as a once prosperous mid-19th century resort villa which retains some of its architectural quality, most notably on the principal south facing elevation, but as now decayed to the extent that the significance that it once derived from the detail of its design, including its fixtures and fittings, has now been lost.

- 6.2.3 Both Nos. 103 and 105 and all of Henderson Street, bar the extreme western end, lie within the Bridge of Allan Conservation Area which extends across the 19th century spa town. The Conservation Area Appraisal places Henderson Street within the '*Lower Town*' noting the presence of '*long vistas*' along its axis (Stirling Council 2015, 20). The eastern end of street is '*residential with some commercial use*', with '*the properties set back from the road behind front gardens enclosed by boundary walls*', the '*long broad vista*' are '*softened by mature trees, planting and hedging*' along the leading edge of the front gardens (ibid. 2015, 24). The appraisal goes on to describe the buildings which line the eastern part of Henderson Street, which includes the Site, as '*predominately mid-19th century, many built before 1860, with the majority of residences based on a 2-storey 3-bay symmetrical model*', which the appraisal considers to be '*characteristic*' of Bridge of Allan, noting that '*the canted double height bays have unusually tall window openings with a variety of glazing patterns, perhaps reflecting the high quality of new accommodation required for the Victorian spa town*' (ibid. 205, 26). No. 103 Henderson Street clearly conforms with this description although in its present condition it is starting to have a negative impact on the character of the Conservation Area and, as it is likely to deteriorate further, potentially quite rapidly, unless intervention takes place, the impact that its condition has on the character of the Conservation Area is predicted to worsen. Although its design is a little different from its neighbours, if No.105 were in good condition it would be authentic to the character of the Conservation Area and would therefore make a positive contribution to it. However, in their current state both the building and the overgrown land that surrounds it have a significant negative effect on the character of this part of the Bridge of Allan Conservation Area and a direct intervention to address this is clearly required in this instance.
- 6.2.4 It should also be recognised that in their current condition No.105, and to a lesser extent No.103 Henderson Road, are having a negative effect upon the surroundings of nearby Listed Buildings most notably *Woodland House* and *Darnley House* (Sites 30-31), *Kelvingrove* (Site 45) *Florence Villa* (Site 44) and the former '*Free Church Manse*' (Site 33).

6.3 Assessment of Impact

- 6.3.1 No. 103 Henderson Street is Category C Listed and forms a visible part of a coherent group of affluent mid-19th century villas which help define the identity of the eastern part of Henderson Street and therefore contributes to both the character of the Conservation Area and our understanding of the development of Bridge of Allan as a distinctive spa resort. Although it is not Listed, No.105 Henderson Street forms part of the same group of villas and, as it is set higher up the hill slope than No.103, it may originally have been more conspicuous when viewed from the street. If these two buildings were well maintained and in good condition, then it would be unlikely that their loss could be considered acceptable in planning terms and in all probability No.105 would be Listed as well.
- 6.3.2 In their current condition, however, both No.103 and No.105 are having a negative impact upon both the character of the Conservation Area and the setting of the closest Listed Buildings. Whilst their proposed removal and the return of the site to use through development would bring these negative impacts to a conclusion, care will need to be taken that these buildings and the significance that they retain is offset by a development design which has the potential to integrate well with the character of the Conservation Area within which it will sit. The decision by the applicants to site the core of the new care facility at the rear of the combined plot could minimise the appearance of the building in those longitudinal views along the axis of Henderson Street that contribute to the character of the Conservation Area. Similarly, the decision to retain the existing boundary and retain it with new planting will help protect the character of the townscape whilst the decision to sit the upper floor of the building within a pavilion roof could potentially help break up the form of the building. The decision to retain and

re-site, the original elevation of No.105 Henderson Road within the elevation of the new building, will provide a visible marker of the Site's past and preserve at least an element of the property's original collective relationship with the other listed villas which stand nearby.

- 6.3.3 Although no archaeological remains or artefacts are recorded within 250m of the Site the potential for previously unrecorded remains or artefacts being encountered cannot be discounted and it is therefore possible that the planning authority may require an archaeological mitigation programme to be undertaken.

6.4 Proposed Mitigation

- 6.3.1 The application for Listed Building Consent for the demolition of No.103 should follow the steps that are set out in HES's published guidance for the Demolition of Listed Buildings (HES 2019b, 6-9). Although it is not Listed. No.105's position within the Bridge of Allan Conservation Area means that Conservation Area Consent (CAC) for its demolition will be required under Section 66(1) of the 1997 Act and the determination of any application would be subject to the same tests as are required for the demolition of Listed Buildings under the terms of Policies 7.2 and 7.3 of the 2018 Stirling Local Development Plan. AOC would therefore recommend that the future of No. 105 should be included within any discussions that are held with HES and the planning authority regarding the Listed Building. Given its obviously poor condition AOC, would recommend that any application for Conservation Area Consent for its demolition also be accompanied by an independent condition assessment.

- 1.11 Should Listed Building Consent be obtained for the demolition of No.103, then HES will need to be given the opportunity to record it under the terms of Section 7(2)(c) of the 1997 Act. Given the age of both buildings it is likely that the planning authority will require that a programme of historic building recording (HBR) be undertaken prior to their demolition. This could take the form of a 'Detailed Survey' (as per ALGAO Guidance 2013) comprising a photographic, written and drawn record, the latter of which can be based on architects' existing drawings if in existence. The aim of this would be to record the fabric and remains of the structure to ensure 'preservation by record' and to assess to what extent the structures retain any early fabric or features. Given the condition of both buildings it is likely that any survey will be constrained by health and safety considerations.

- 1.12 Although no archaeological remains or artefacts are recorded within 250m of the Site the potential for previously unrecorded remains or artefacts being encountered cannot be discounted and it is therefore possible that the planning authority may require an archaeological programme of works involving either trial trenching or a watching brief to be undertaken. Should any significant remains be encountered then further mitigation works and post excavation analysis may be required. Any requirement for archaeological fieldwork would be determined by Stirling Council's Archaeological Officer, whilst requirements for historic building recording would be determined by the Archaeological Officer in consultation with the Council's Conservation Staff and, given that LBC will be required, HES. AOC envisage that any mitigation works could reasonably be undertaken post-determination as a condition of planning consent.

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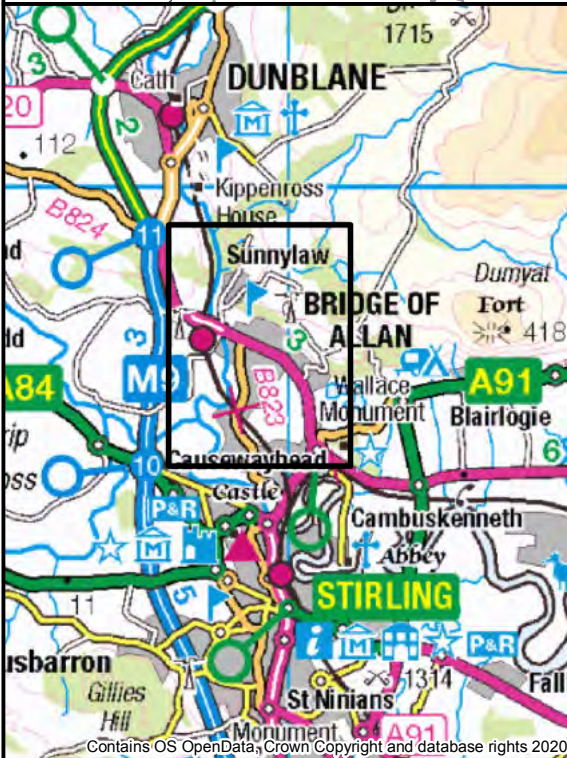
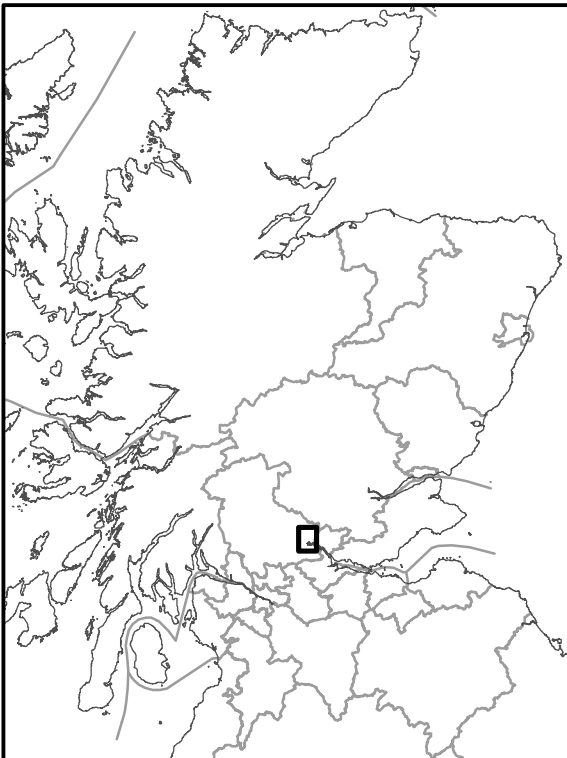
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Ordnance Survey, 1947, *Stirlingshire nXI.11 (Logie)* Surveyed: 1942, Published: 1947



Figure

1

Site Location Map

 Site Location

FOR
Simply UK

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AOC Project No.:	25624

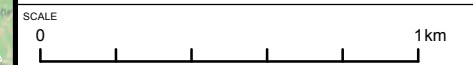


(C) AOC Archaeology Group 2020



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Coordinate System: British National Grid
Projection: Transverse Mercator
Datum: OSGB 1936

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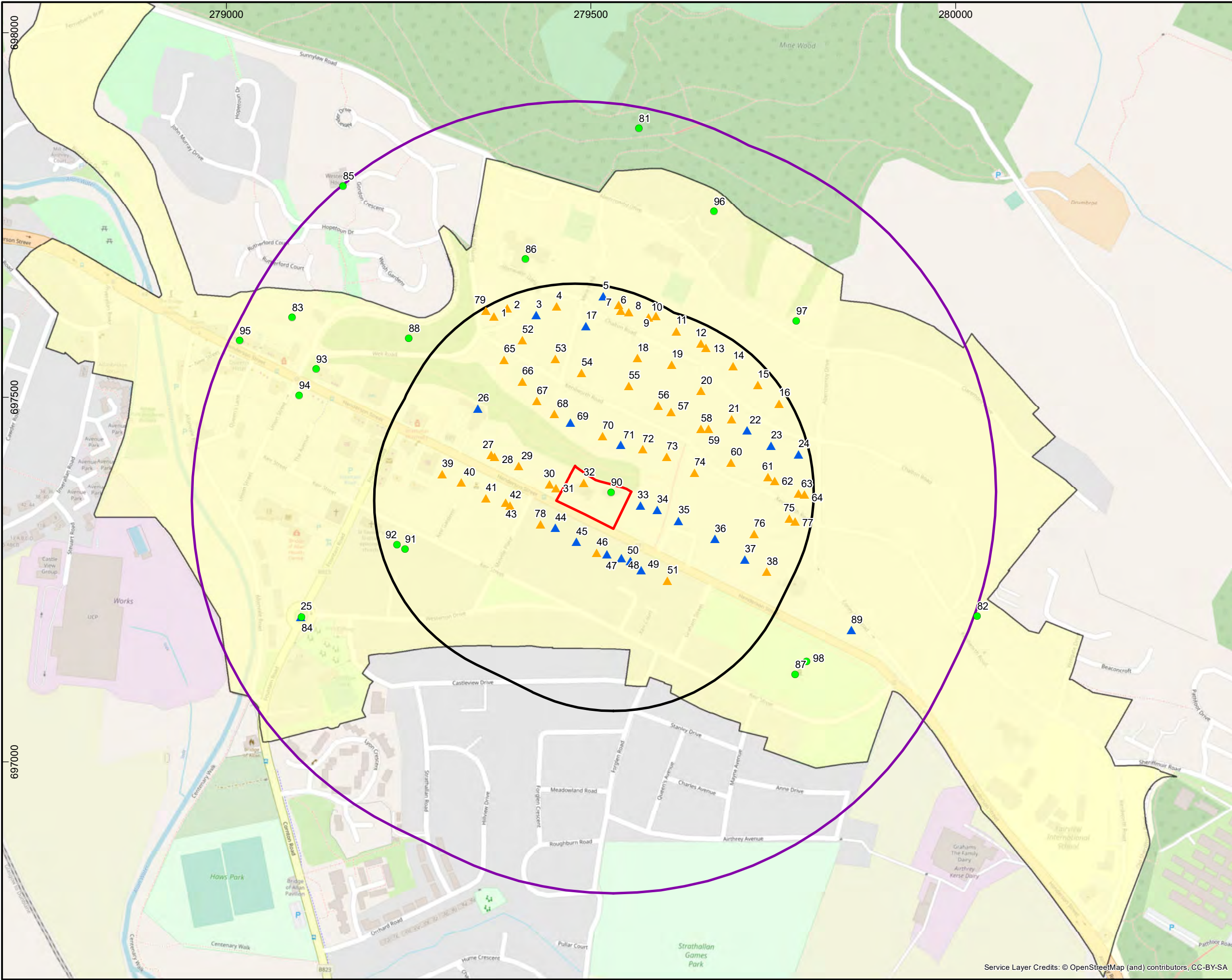



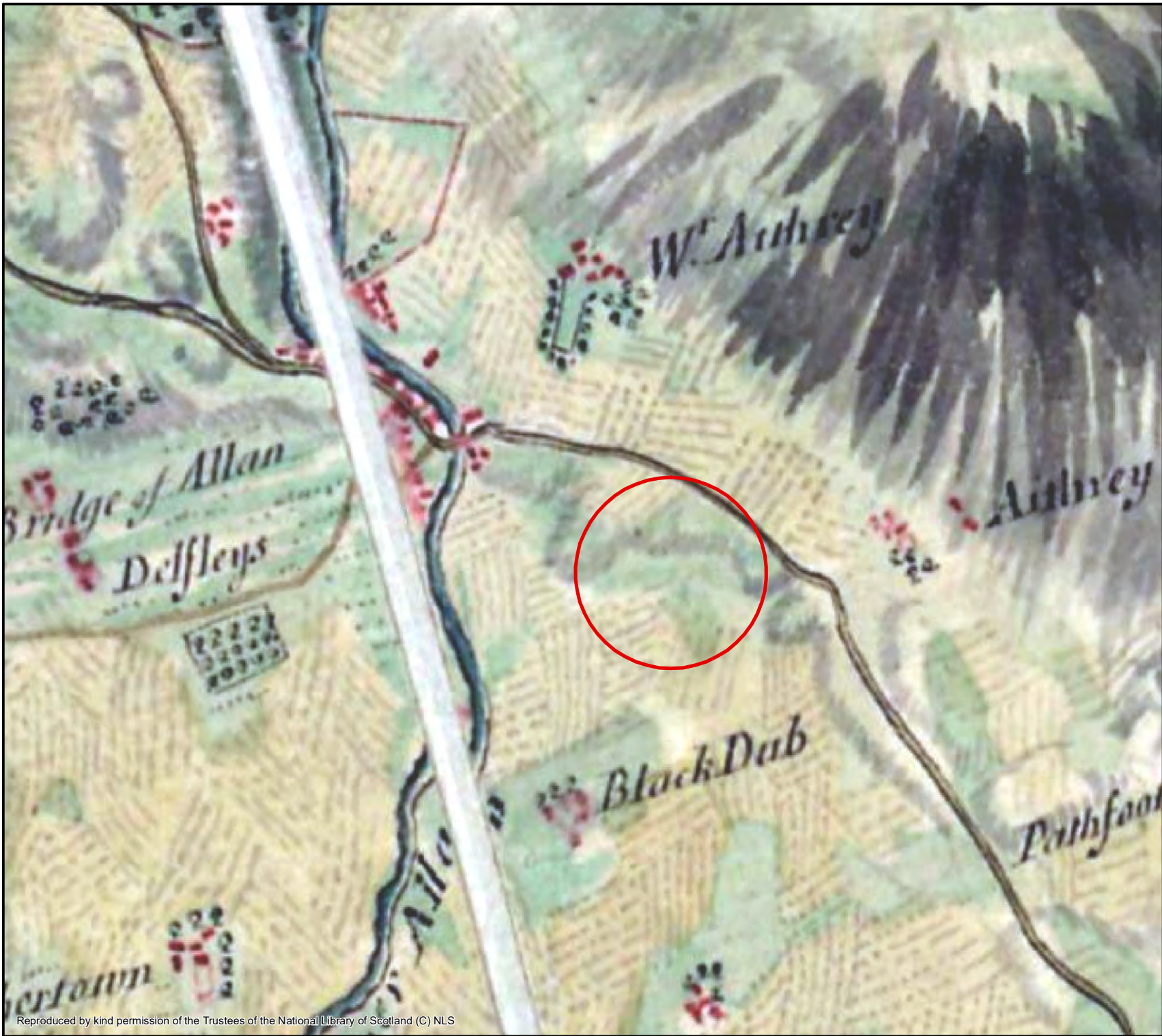


Figure		2
Heritage assets within the 500m study area		
Legend		
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FOR		
Simply UK		
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AOC Project No.:	25624	
 <p>(C) AOC Archaeology Group 2020</p>		
		
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Coordinate System: British National Grid Projection: Transverse Mercator Datum: OSGB 1936		
SCALE		
1:5,000 @ A3		
SCALE		
		
Service Layer Credits: © OpenStreetMap (and) contributors, CC-BY-SA		




Figure

3

Extract from Roy's Military Map 1747-52

Legend

 Approximate Site Boundary

FOR

Simply UK

Drawn/checked:	LB/SO
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AOC Project No.:	25624



(C) AOC Archaeology Group 2020



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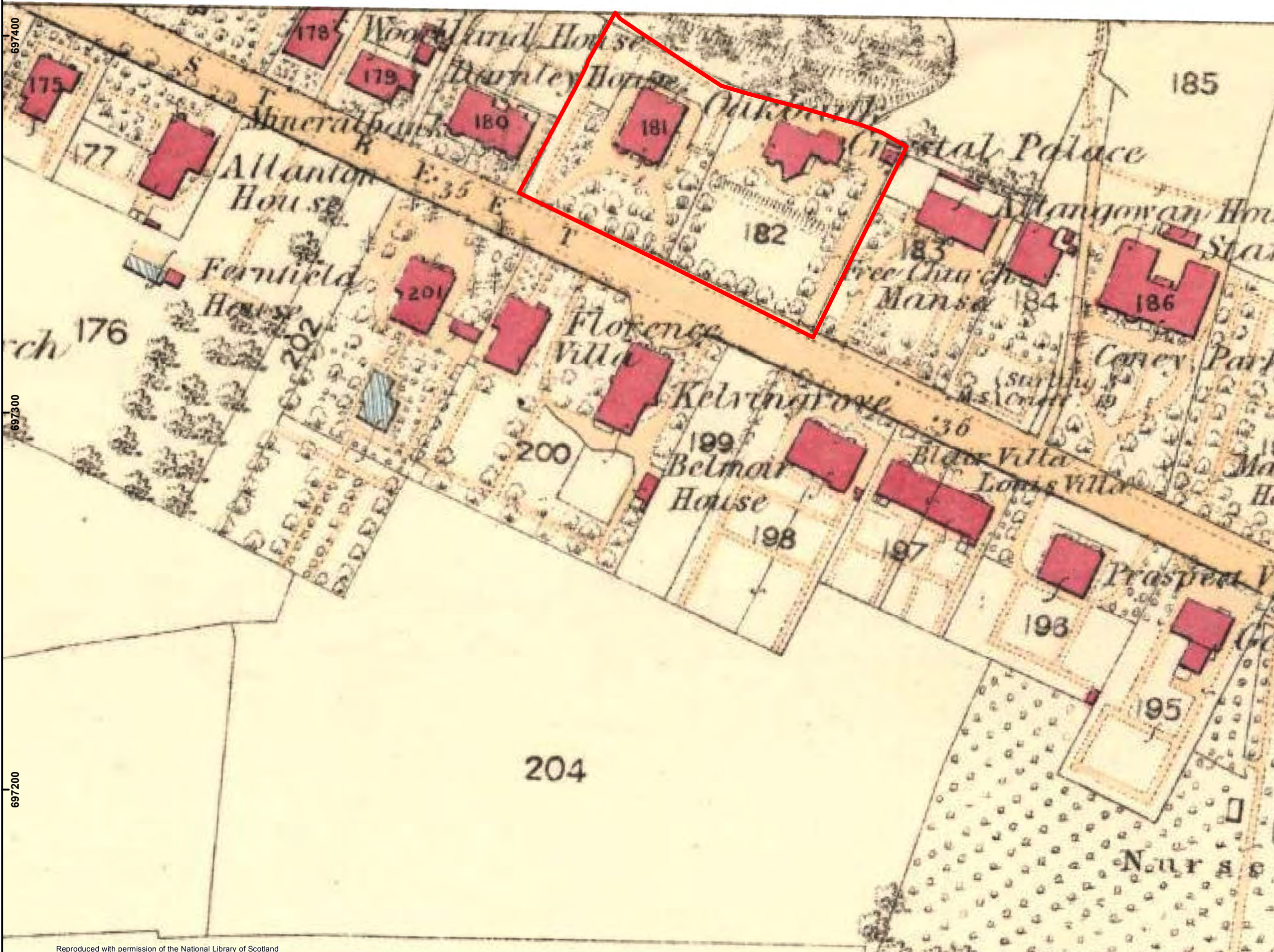
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Figure

4

Extract from Ordnance Survey Map 1864



Legend
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AOC Project No.:	25624

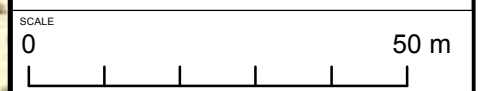


(C) AOC Archaeology Group 2020



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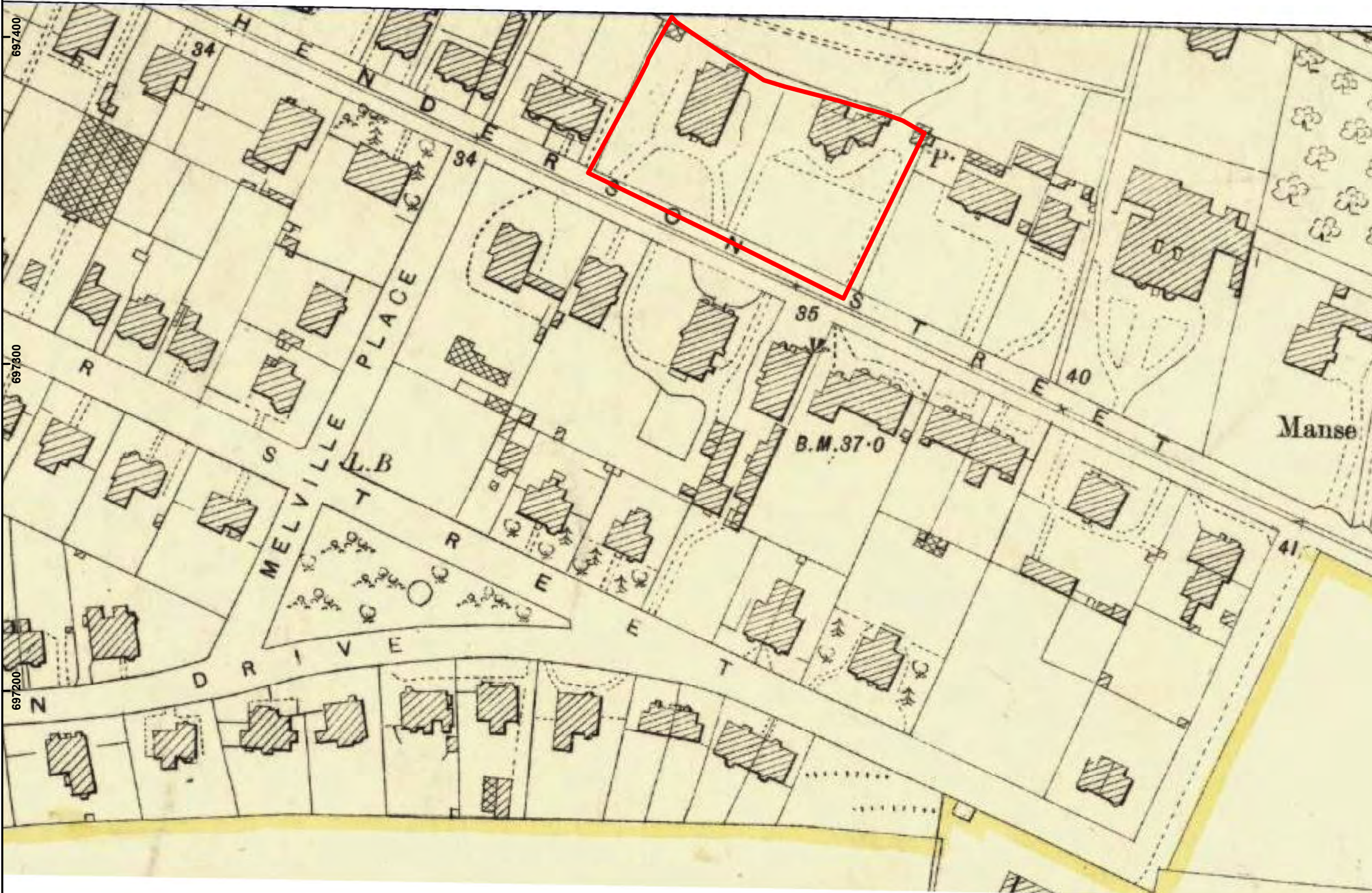
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Figure

5

Extract from Ordnance Survey Map 1898



Legend
■ Site Boundary

Simply UK

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AOC Project No.:	25624



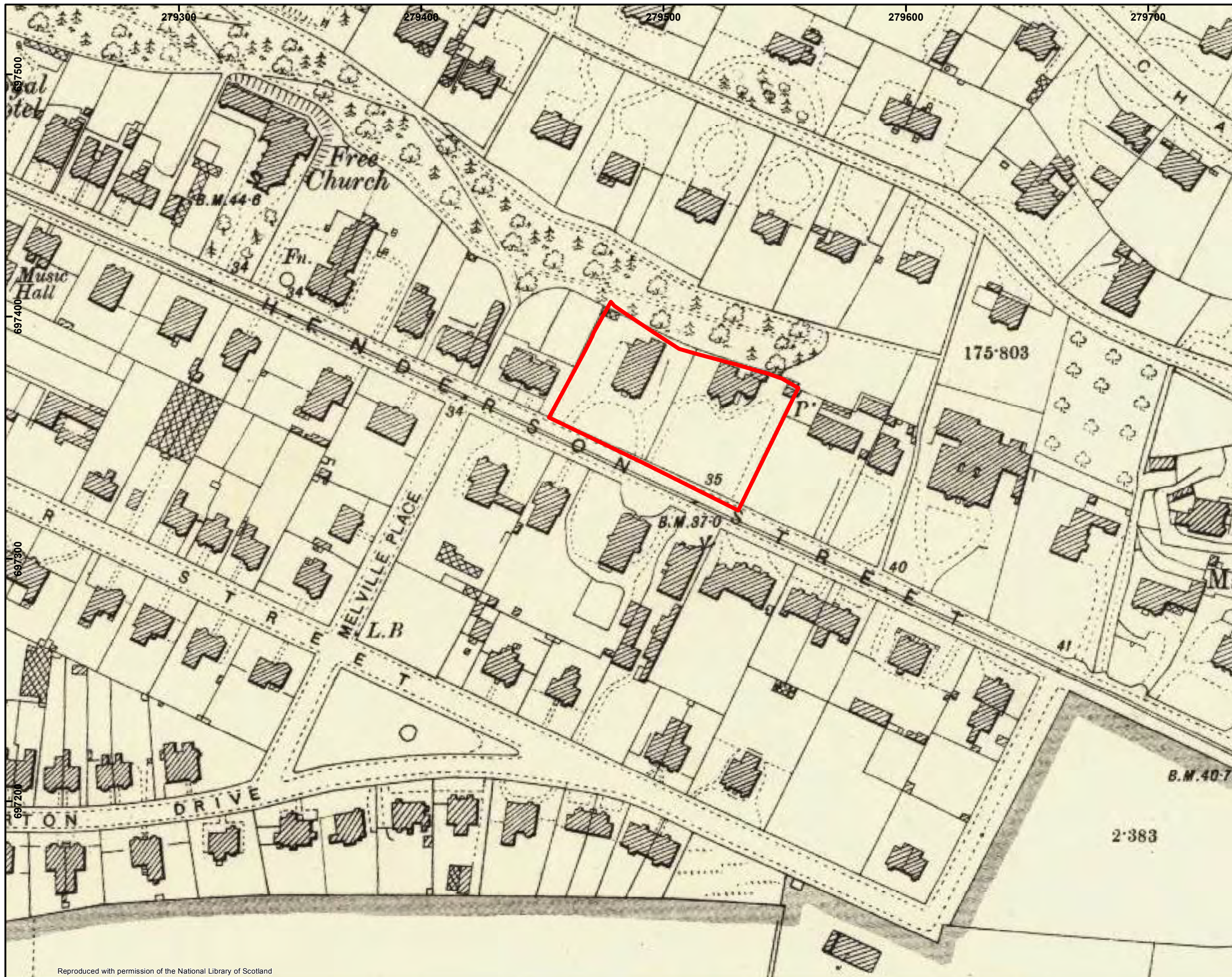
(C) AOC Archaeology Group 2020



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SCALE 1:1,250 @ A3





Figure

6

Extract from Ordnance Survey
Map 1900

Legend

■ Site Boundary

FOR

Simply UK

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AOC Project No.:	25624



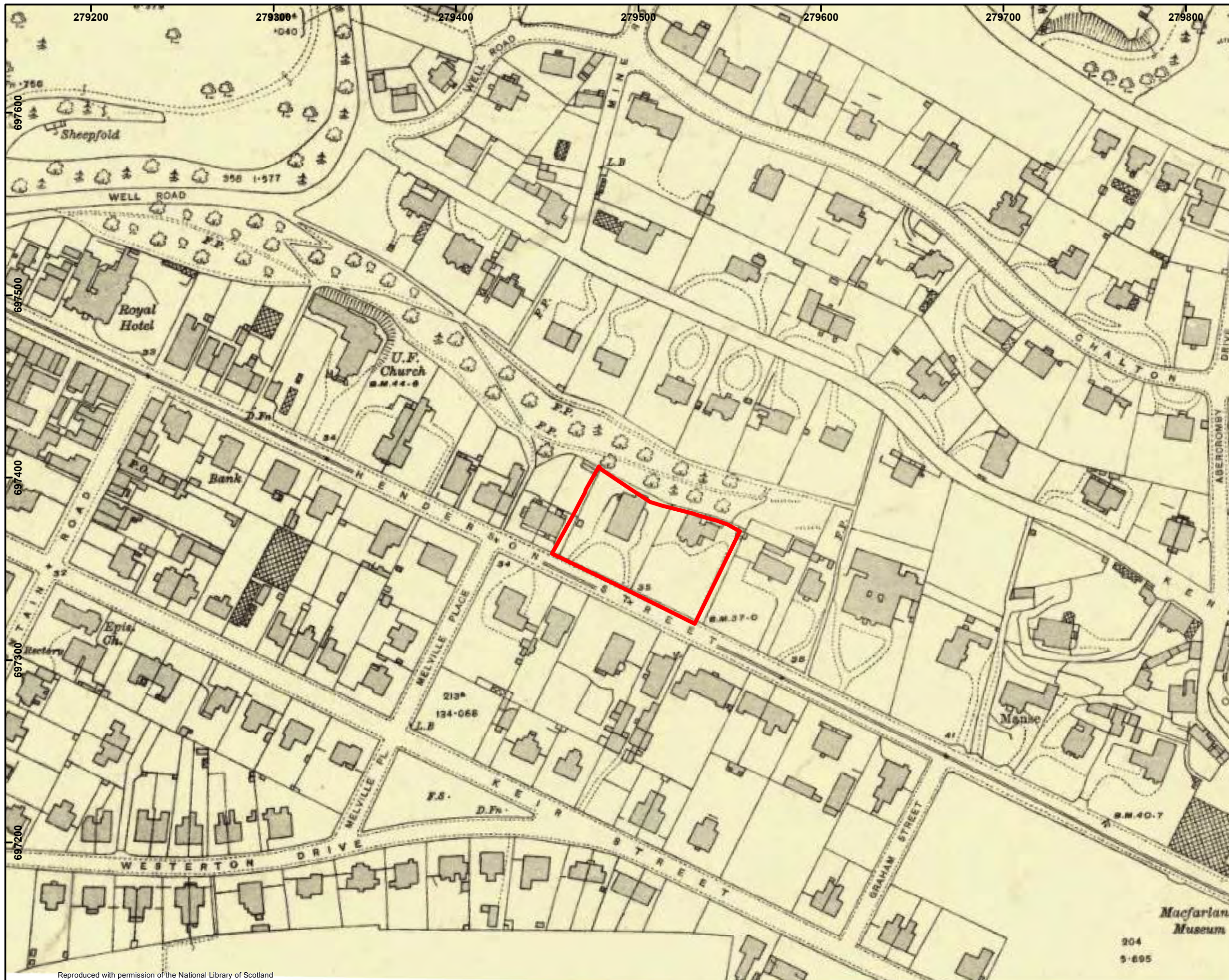
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SYSTEM
Coordinate System: British National Grid
Projection: Transverse Mercator
Datum: OSGB 1936

SCALE 1:1,500 @ A3





Figure

7

Extract from Ordnance Survey
Map 1918

Legend
■ Site Boundary

FOR
Simply UK

Drawn/checked:	LF/SO
DWG no:	01/25624/HIA/07/01
AOC Project No.:	25624



(C) AOC Archaeology Group 2020



SYSTEM
Coordinate System: British National Grid
Projection: Transverse Mercator
Datum: OSGB 1936

SCALE 1:2,000 @ A3



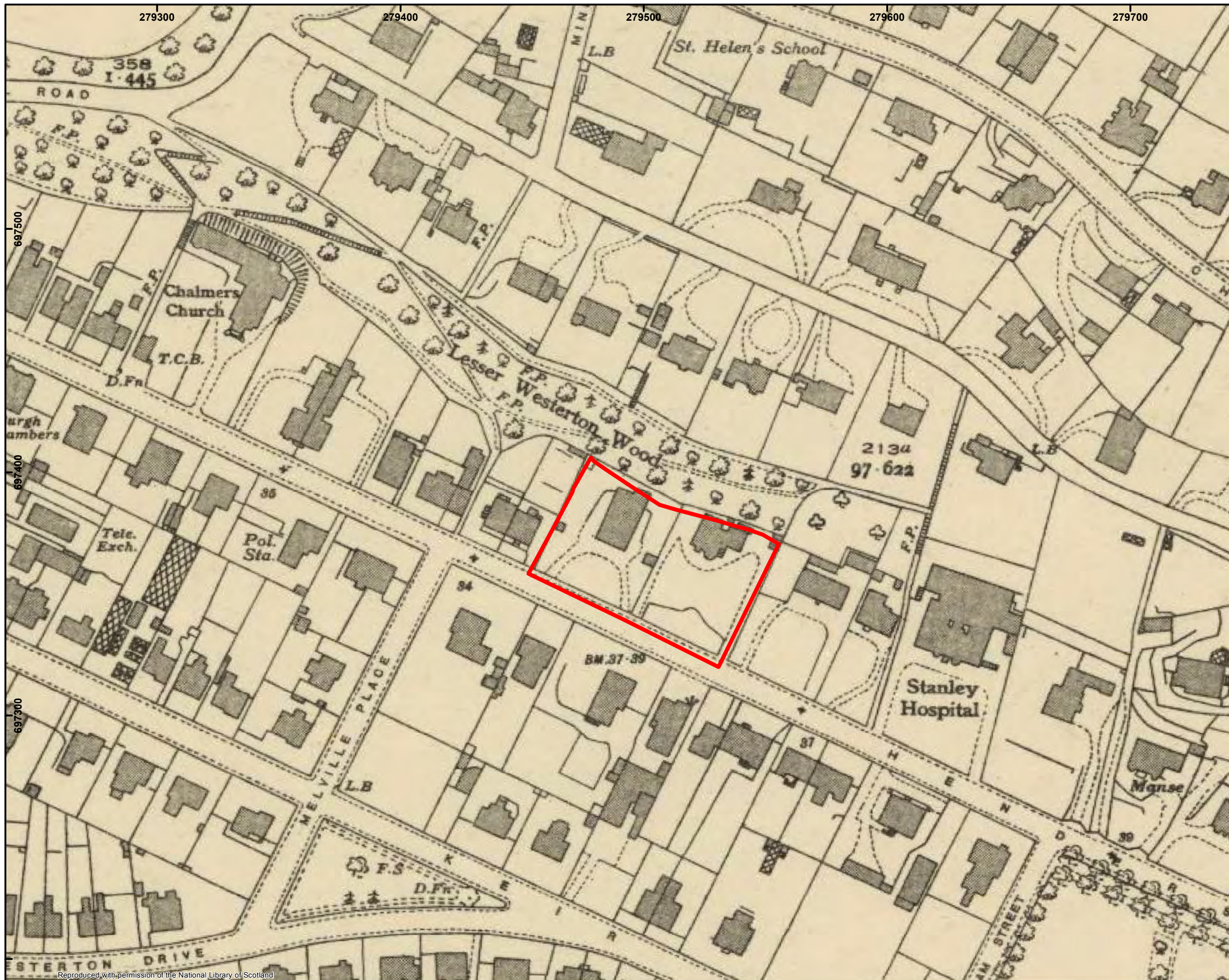


Figure 8

Extract from Ordnance Survey Map 1947

Legend
■ Site Boundary

FOR
 Simply UK

Drawn/checked:	LF/SO
DWG no:	01/25624/HIA/08/01
AOC Project No.:	25624



(C) AOC Archaeology Group 2020



SYSTEM
 Coordinate System: British National Grid
 Projection: Transverse Mercator
 Datum: OSGB 1936

SCALE 1:1,500 @ A3





Plate 1: ESE facing view of No.105 Henderson Street (Site 90)



Plate 2: NNW facing view of No.105 Henderson Street (Site 90)