

HENDERSON ST, BRIDGE OF ALLAN
 PROPOSED CARE DEVELOPMENT

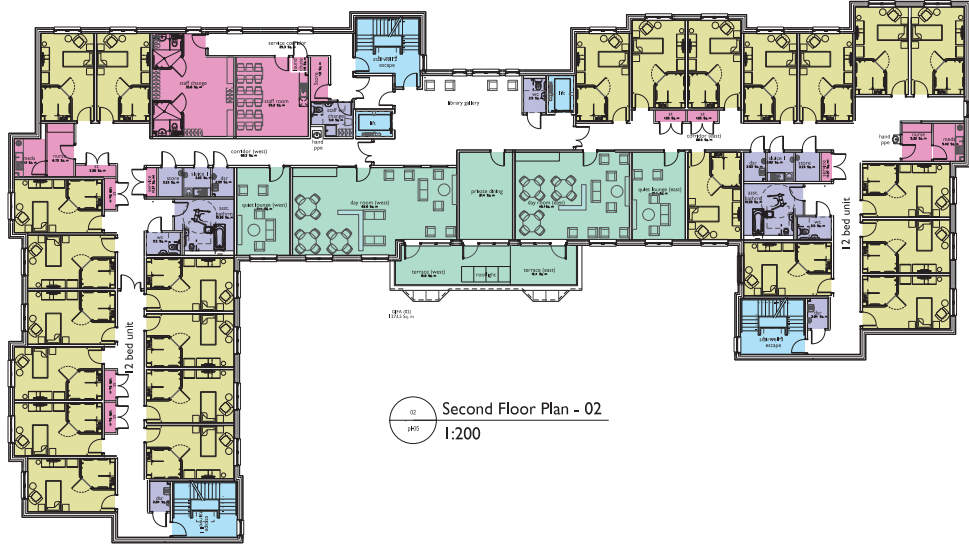


The massing of the building compliments the surrounding area, respecting the neighbouring properties, scale and character.

The third floor is articulated as a highly social area, with amenities such as: communal day rooms, lounges and private dining, together with the roof terrace taking advantage of the panoramic views to the south towards Stirling Castle.

Programme Key

- Service
- Communal
- Circulation
- Beds
- Stairs/Lifts



Second Floor Plan



Roof Plan

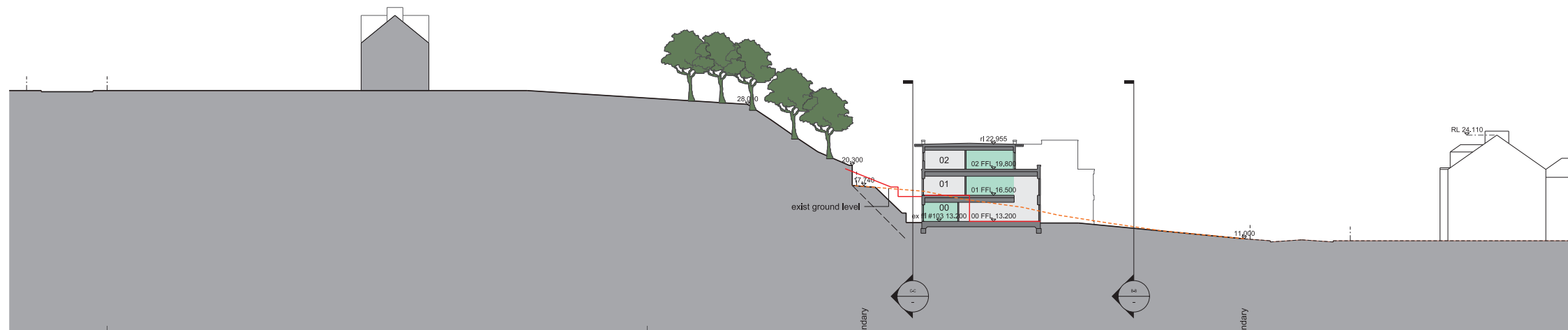


3.5 Scale and Massing

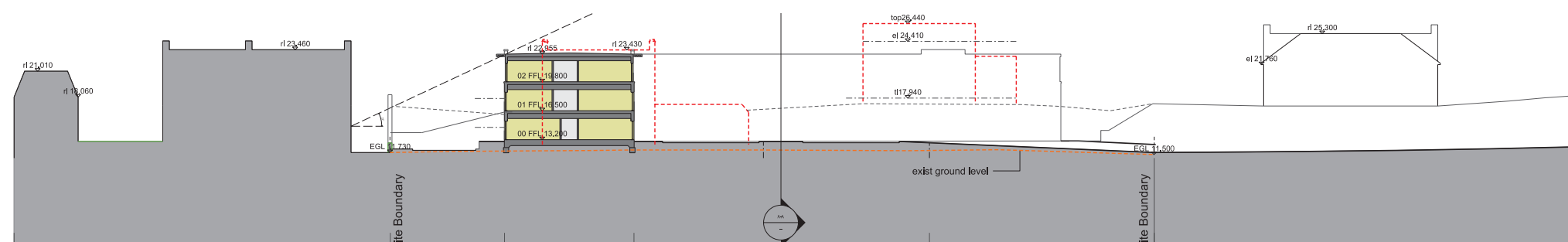
Site Sections

The proposed design is carefully thought-out to respect the height of neighbouring buildings and their topography, as shown in the sections below. The proposal extends to three storeys where it appropriately fits into the local context. The design has also taken into consideration privacy and is compliant with national policy on daylighting.

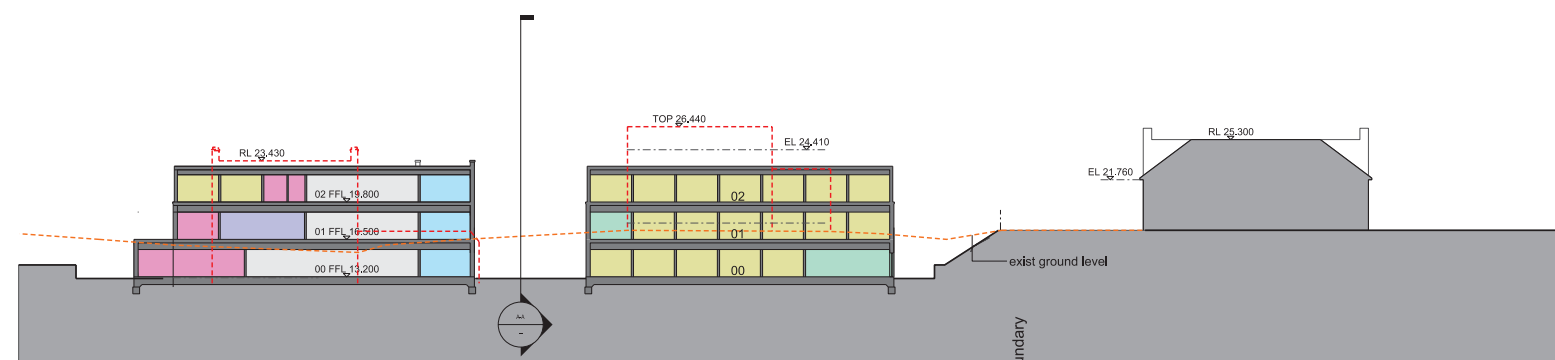
There is a minimum separating distance of minimum 18m between the proposed care home and the existing property to the west at 101 Henderson Street, with the nearest habitable room facing windows of minimum 18m from a proposed habitable room window. The houses on the east have a greater distance, at approximately 23m, and those properties are sheltered by the sites sloping topo, restricting any potential for mutual overlooking. A significant minimum distance of 34m lies between the proposed building and the nearest house to the south.



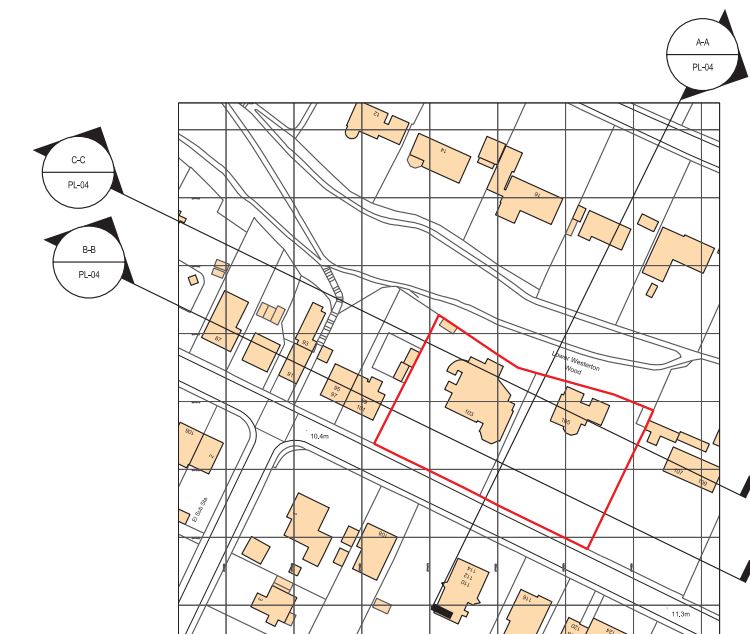
Section A-A



Section B-B



Section C-C



Key Plan



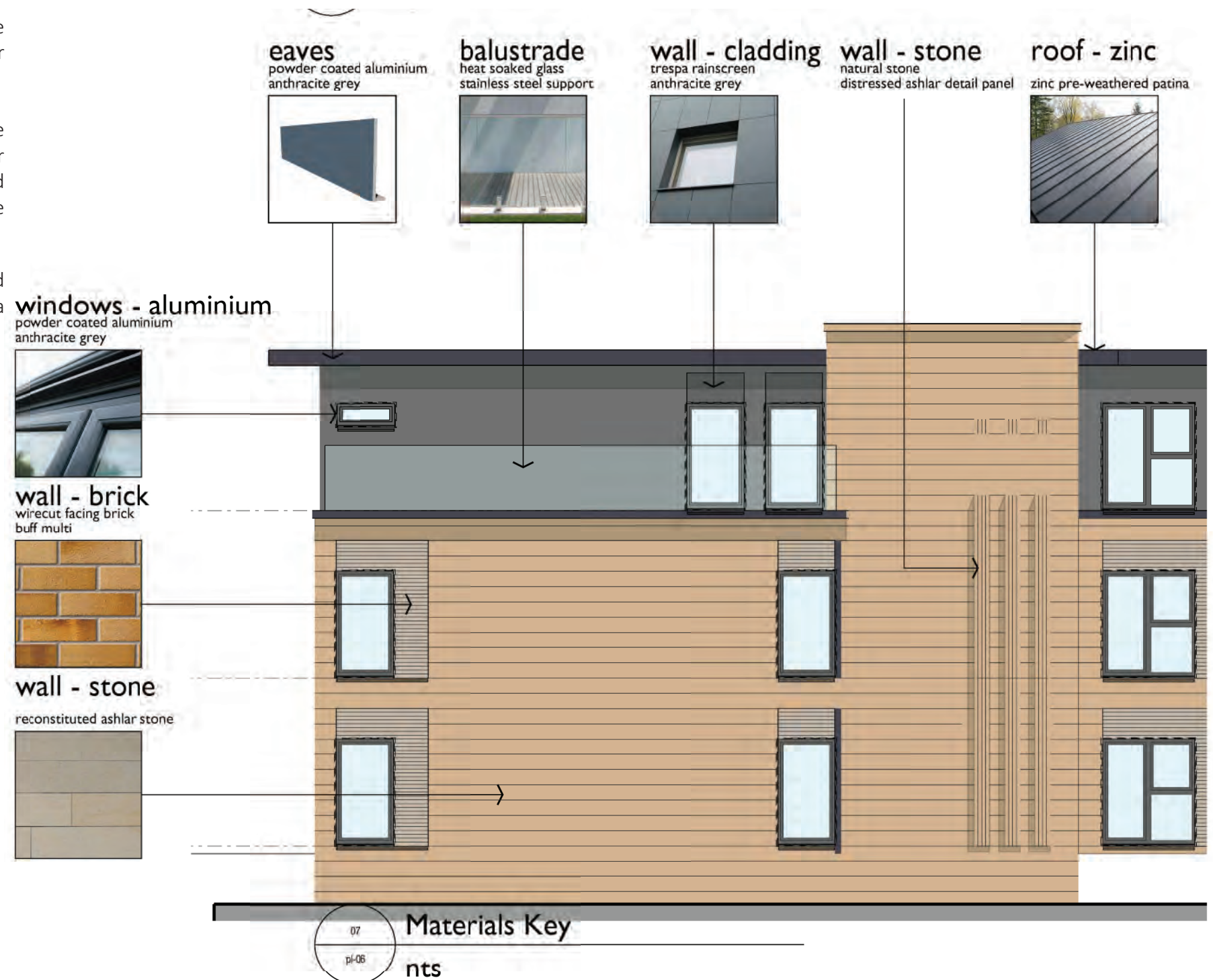
3.6 Appearance and Materiality

Materiality

Drawing upon the wider context of Bridge of Allan, a simple and limited palette of materials have been selected that reflect the historical and natural character of the site and its immediate surroundings.

Developing the architectural style and vernacular is essential to ensure that the development site becomes synonymous with quality design. Yeoman McAllister Architects have considerable experience in developing bespoke built forms and will bring this to the fore alongside the wider place making objectives for the site.

The materials palette shown is intended to provide a flavour of the intended material selection that draw on high quality design and materials to achieve a contemporary design solution to compliment to surrounding context.



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Visual Appearance

As the design evolved there were several key features that were adopted within the proposal:

- Reducing the overall massing into smaller sections.
- Enhancing links and views through the site.
- The predominant scale of the development is domestic.
- Providing a strong visual statement of place
- The external finishes of the proposed building will comprise of traditional materials; reconstituted ashlar stone and glass, but with a contemporary feel accentuated by trespa panel and zinc.
- With the addition of considered landscape design we will create vistas and private gardens throughout the scheme.
- As suggested in the Supplementary Guidance we position the building to the street on the existing building line and present a similar frontage to the surrounding neighbours.



South-Elevation



North-East Elevation



North-Elevation



South-West Elevation



3.7 Access and Movement

The site is bounded by an adopted carriageway to the south, Henderson Street, providing good access for both pedestrians and vehicles. The proposal provides a shared access relationship allowing for a pedestrian route to be created through the site via the central car park. Level access from the car park will be provided for residents which will form a route to the entrance. Given the location of the application site, the proposed development is unlikely to generate a significant amount of vehicle movements.

Accessibility

The proposed building is to be fully accessible by design. Access is barrier free, there are no barriers to movement along the site and there are no steps located at the entrance to the proposed ground floor.

Car Parking

The proposed care home layout includes 20 no. resident car parking bays, including 2no. disabled car parking bays. The diagram opposite illustrates the parking provision on site and the location of the disabled visitor parking bays and service/delivery areas. There is also a dedicated area set aside specifically for ambulance use.

Refuse and Service Access

It is anticipated that the development would attract the usual servicing requirements such as refuse collection, and emergency access. The development's design and layout allows for enhanced movement through the site. Refuse storage and collection for the facility will be integrated within the care home (refer to floor plans).



Proposed Site Plan Extract

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4.0 Precedent / Examples

The following page displays examples of buildings of similar scale, architecture and quality of materials to that which is envisaged for the proposed site. These examples are also located within a conservation area.



01. Kings Stables Road, Edinburgh- Accommodation (Edinburgh Old Town Conservation Area)



02. Pitsligo Road, Edinburgh- Private Apartments (Merchiston & Greenhill Conservation Area)



03. South Oswald Road, Edinburgh- Private Apartments (Grange Conservation Area)



04. Whitehouse Road, Edinburgh- Care Home (approved) (Cramond Conservation Area)



05. Kinnear Road, Edinburgh- Private Apartments (Inverleith Conservation Area)



06. Dovecot Road, Edinburgh- Private Apartments (Corstorphine Conservation Area)

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5.0 Sustainability

Our approach to sustainability focuses on a way of doing things better and maximising opportunities to create a sustainable development in the widest sense. The development has been formulated and conceived on the following principles:

- Accessible location
- High construction standards, increased insulation levels to reduce energy demand making the best of the available land
- Recycling strategy
- Ecologically biased landscape design which is aimed at providing a suitable environment to encourage indigenous species
- Provision of amenity space

Accessible Location

The proposed development is well located in order to take advantage of the range of services and facilities within Bridge of Allan. Local amenities including a post office, convenience stores, cafes, Health Centre and pharmacy are within close proximity of the site. Future occupiers and residents particularly those with limited mobility will benefit from the close proximity of these facilities.

Energy Strategy

The proposal will take a low carbon approach to energy in order to reduce carbon emission directly attributed to its development and operation. The projects developing energy strategy is based on an energy hierarchy that sets the broad principles for reducing carbon emissions from the site's buildings, these are:

- Local low carbon
- Minimise energy demand
- Positive user behaviour.
- Incorporating energy efficiency into the building fabric
- Recycling strategy

Local Low Carbon

This scheme will achieve a level of energy efficiency performance equivalent to the former Code for Sustainable Homes Level 4 and the emphasis on the building fabric will make for a highly effective 'base' to which other renewables can be added at a later stage. In addition to this the proposal will look to reuse existing materials within the construction of the building or landscaping.

Minimising Energy Demand

The building will be designed and built as inherently energy efficient employing effective construction techniques to maximise insulation and air tightness. Measures to maximise solar gain will be implemented but at the same time, overheating of buildings is avoided through passive measures, therefore minimising the need for mechanical cooling, as air conditioning can lead to high levels of energy consumption.

Positive User Behaviour

Measures will also be implemented to positively influence the energy consumption patterns of the site's residents. Residents will be provided with the material to make informed decisions and operate their rooms in the most efficient way.

Building Standards

The proposed scheme will meet the requirements of the current Building Standards by incorporating energy improvements into the fabric of the proposed buildings.

Recycling Strategy

Where possible, the development will aim to recycle waste and provide adequate provision for the storage and collection of refuse and recycling.

Water Strategy

Reducing the demand for all water Lower water-use sanitary ware and appliances will be specified. There are now a wide range of products that balance a positive user experience with the needs to reduce water consumption so there should be no loss of amenity where such products are used.

Economic benefit

The development will create construction labour jobs. The proposal will deliver growth in good quality living provision for the city, where there is a proven need for this type of residential provision and a current and an anticipated shortage of such accommodation.

SUDS Statement

The site will be designed in accordance with the requirements of Sewers for Scotland 2 and associated SUDS Guidance including information provided in the Aberdeenshire's own guidance.

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Section 6: Contact Details

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