

# HENDERSON ST, BRIDGE OF ALLAN PROPOSED CARE DEVELOPMENT



## 2.4 Townscape and Urban Design Analysis

### Townscape Analysis and Architectural Character

Located within The Bridge of Allan Conservation Area buildings are of a predominately Victorian architectural style and materials located in the immediate proximity with plots tending to be of a varied size, ranging from 1.5 to 2.5 storeys. Each side of the site has a consistent style of building, with some exceptions of modern style dwellings located between.

Figure 1 shows the typical Victorian style of property in this area, steep pitched slated roof, generous floor to ceiling heights, exposed sandstone with finely dressed stone margins and timber sash and case windows. However, the mix does vary slightly as displayed in Fig 2, displaying a modern 3 storey detached villa within close proximity of the site.

### Activities and Uses

The area is largely made up of residential developments with a mix of some commercial properties.



Figure 1.



Figure 2.



Figure 3.



Figure 4.



Figure 5.



Key Plan



Figure 6.



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## 2.5 Site Appraisal

### Aspect

The site extends to a length of approximately 87m along Henderson Street and 57m deep to the neighbouring residential buildings of Henderson Street.

### Topography

The site has quite substantial level changes to the northern boundary. Levels rise from 13m on the southern boundary to 17m in the northern edge of the site.

### Visual Assessment

The site contains two existing buildings, both in a state of disrepair. In their current delapidated condition, both No.103 and No.105 have a negative impact upon the character of the Conservation Area and also the setting of the adjacent Listed Buildings.



Rear of 103 (North Boundary)





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## 2.6 Constraints

The following text summarises the site constraints and opportunities that relate to the development, and these are illustrated on the adjacent diagram. These constraints and opportunities have been used to inform the form and design of the scheme:

1. Sun path from south.
2. Opportunities for site access restricted to Henderson Street.
3. Long views out of site restricted.
4. Long filtered views into site.
5. Existing Trees/Woodland
6. Topography- change in level embankment
7. Topography- change in level retaining wall
8. Existing Buildings





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## 2.7 Opportunities

1. Sun path from south.
2. Opportunities for site access/egress restricted to limited areas onto Henderson Street.
3. Long views out of site restricted.
4. Long filtered views into site.
5. Existing Trees/Woodland
6. Topography- change in level embankment
7. Topography- change in level retaining wall
8. Service Access- independant of public access
9. Public Access- focal point on arrival
10. Existing Facade- re-instated
11. Building line of new built form- responds to existing pattern
12. New Specimen Tree Planting- reinforces boundard
13. Generous garden setting in front of built form
14. Views towards Stirling Castle at First Floor Level and above



**Section 3: Proposed Design**



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## 3.1 Design principles

The site has been carefully analysed and options for new development fully considered. The following diagrams describe some of the key principles for the layout and design of the site.

The building footprint of the site uses 33% of the site area. The plot density diagram illustrates the local properties that are within +/- 10% density.

The proposed massing of the building is restricted to three storey to respect and relate to the streetscape and previous ridge levels of the current built form.

The principle facade is south facing benefitting with views towards Henderson Street and the Stirling Castle beyond.



Existing Street Pattern



Proposed Street Pattern



Plot Density

Plots with comparable density (+/- 10%)



Building Height Map

- 1 Storey
- 2 Storey
- 3 Storey
- 4 Storey

- Building Area
- Roads/Pedestrian Routes





## 3.2 Design Development

### Initial Design Consideration

The starting point for the design was to consider the site, its setting and the surrounding context. The built form has been positioned to acknowledge the pattern of the surrounding context. Once all constraints were established, the design layout was developed within the 'build zone' through a series of layout options. The design was refined and amended in order to determine a suitable design.

#### Option A

We looked to utilise as much of the site as possible by creating a three storey U-shaped building which filled the potential 'build zone' as identified by the site constraints.

Although this option created an efficient footprint, it did not allow for dedicated back of house cores, resulting in contrived relationships between service areas and bedrooms.

This in turn added additional mass to the third floor (significantly more when compared to option B) to accommodate spaces appropriately. Ultimately, this design option fails to meet the building's operational needs due to emerging Care Inspectorate guidance with particular responses to COVID-19 and infectious control.

#### Option B

Following an extensive concept design phase, it was decided that Option B, a three storey U-shaped building would be the preferred design to develop and was considered further in terms of the overall massing and elevational treatment and ease of internal planning.

Adopting a clear architectural language and pavilion form for the upper storey. Providing unique amenity within the context.

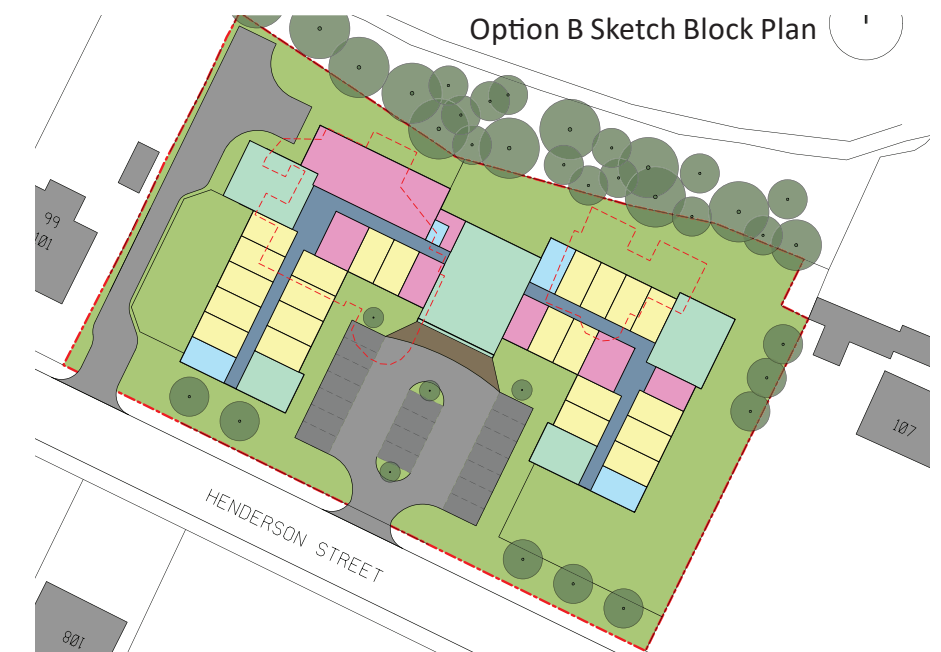
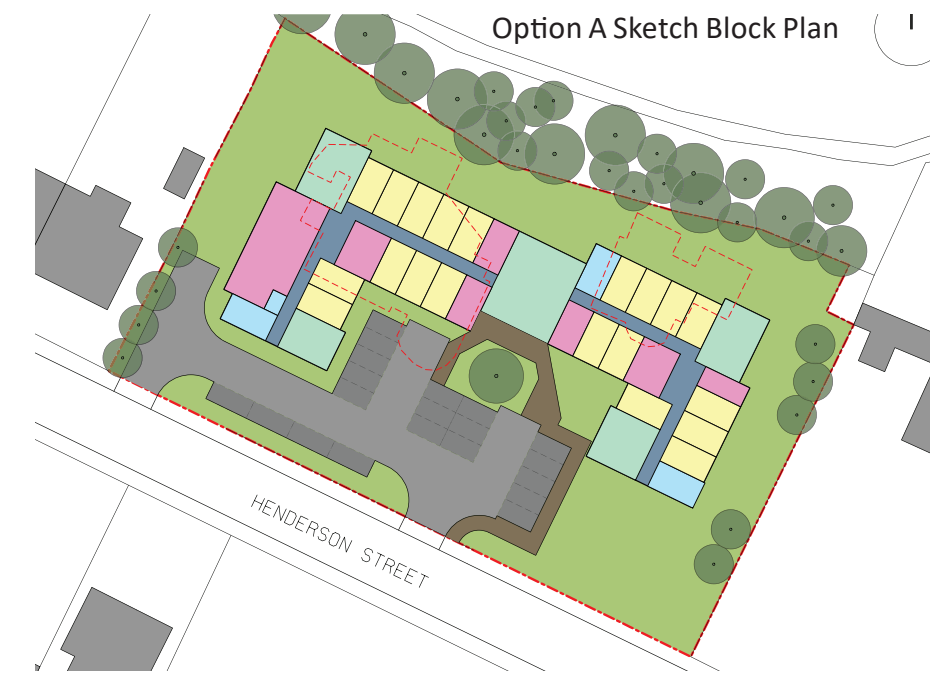
Advantages of option B:

- Minimize the amount of built form
- More respectful of the building lines
- The service access is narrower and diverted to allow the retention of trees, which contributes significantly towards the character and appearance of the surrounding area
- The design benefits significantly with the service zones located at the rear, working well with the sites topography.

#### Option C - Application

Further refinement of the design has resulted in the current design offering the following advantages:

- Retain the copse of existing trees to the sw corner
- Minimize the amount of hardstanding
- Minimize the amount of built form
- More respectful of the building lines





### 3.3 Proposed Layout

The resultant care home design is proposed over 3 storeys, with 70 beds and ancillary accommodation. It is proposed as a state of the art facility with high quality accommodation, communal areas and leisure opportunities.

The design respects the character and amenity of the surrounding residential area whilst responding to the site topography.

Given the strong heritage within the locality, and the site being set within the Lower Town Conservation Area the proposals seek to embrace and reutilise the existing principle facade of the Category C Listed Building at No 103. The proposal seeks to carefully duntake the existing building and reutilise the retained stonework and features of the facade to incorporate within the proposed carehome thus retaining and celebrating our cultural history.

The proposals presented for the site are consistent with relevant planning and design guidance and comply with the adopted Local Plan policy and accords with the Scottish Government's vision for sustainable economic growth.



Proposed Site Plan



# HENDERSON ST, BRIDGE OF ALLAN PROPOSED CARE DEVELOPMENT



## 3.4 Proposed Floor Plans

### Building Strategy

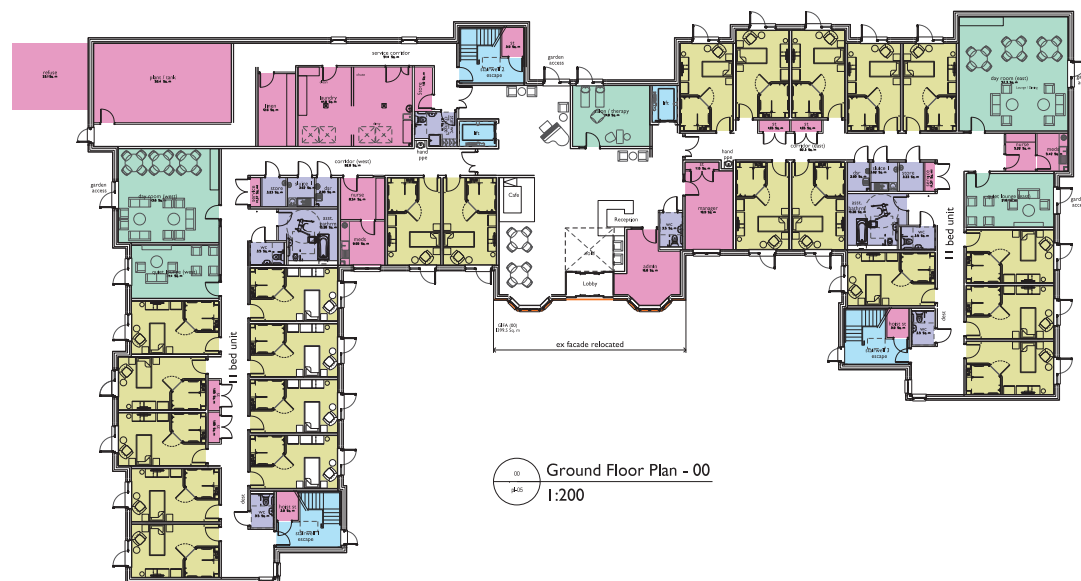
The design seeks to respect and engage with the surrounding context with attention paid to massing, eaves and ridge heights from surrounding buildings, and building lines to adjacent properties..

The proposed floor plan is centralised around the principle core which utilises the retained and rebuilt facade of the Category C Listed Building as a homage to the former property. Two accommodation wings running north to south envelope the central core. The central core accomodates the key communal facilities taking advantage of the southerly aspect towards Stirling Castle.

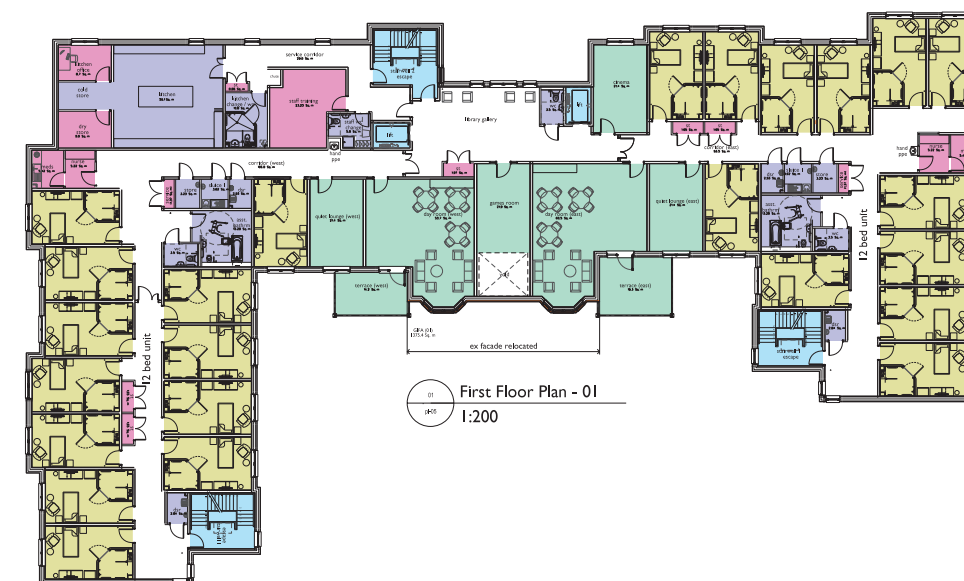
Back of house and staff facilities are retained to the rear of the building to maximise the outlook for the residents amenity to the south, east and west.

#### Programme Key

- Service
- Communal
- Circulation
- Beds
- Stairs/Lifts



Ground Floor Plan



First Floor Plan