

Existing architectural fabric schedule

**26 Lower Belgrave Street
January 2021**

R A I N S F O R D
L O N D O N

1.1 Overview

The property at 26 Lower Belgrave Street is a Grade II asset (listed in 1987), comprising 5 levels of historic building fabric.

The dwelling has been subject to various permitted alterations and upgrades:

87/06395/FULL & 88/02061/LBC,
Granted 14.03.1989

Proposal: Alterations & extension to existing single family residential dwelling. Including construction of infill conservatory at rear basement level, rebuilding of first floor rear extension and erection of second floor extension on top with roof terrace above for continued use as a single family dwelling.

96/00349/FULL & 96/00069/LBC,
Granted: 24.04.1996

Proposed: Internal and external alterations and repairs, including the removal of load-bearing partition at ground floor level & installation of air conditioning units and flue at rear on 3rd floor terrace.

96/06997/ADFULL & 96/06998/ADLBC
Granted: 16.09.1996

Proposal: Approval of details pursuant to planning permission TP-1982, condition 2: details of sash windows.
Sash windows to front and rear elevations.

Current proposals (20/06868/FULL & 20/06869/LBC), seek to sensitively upgrade fabric and infrastructure of the property to improve its impact of the environment, tailor its layout to contemporary family life needs, whilst protecting heritage value of this impressive terrace.

Key aspects of the works consist of replacement of glazing, new MEP infrastructure and internal select load-bearing and non-structural partition amendments.

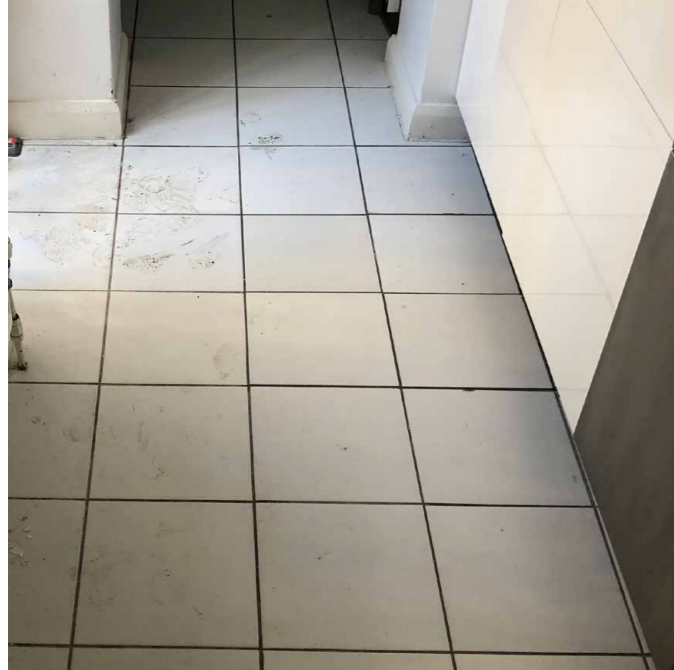
1.2 Purpose of the report

Implementation of upgrade works to the services' infrastructure, necessitates removal of existing floor finishes and deck.

To satisfy requirements of London Borough of Westminster pertaining to listed building consent, we were asked to investigate existing floor build-ups. Careful, localised exploratory opening up was undertaken on 24th November 2020 and 13th January 2021.

The findings are captured herein.

Lower Ground floor
Utility room, FB.01



existing floor finish

Substrate:
concrete- presumed

Specification description:
ceramic tile

Condition:
chipped and raked in places

Age:
modern, estimated c.20 years

Proposed intervention:
strip out existing finish

Proposed specification:
rubber (sheet/ tile format)



existing skirting board

Substrate:
masonry wall

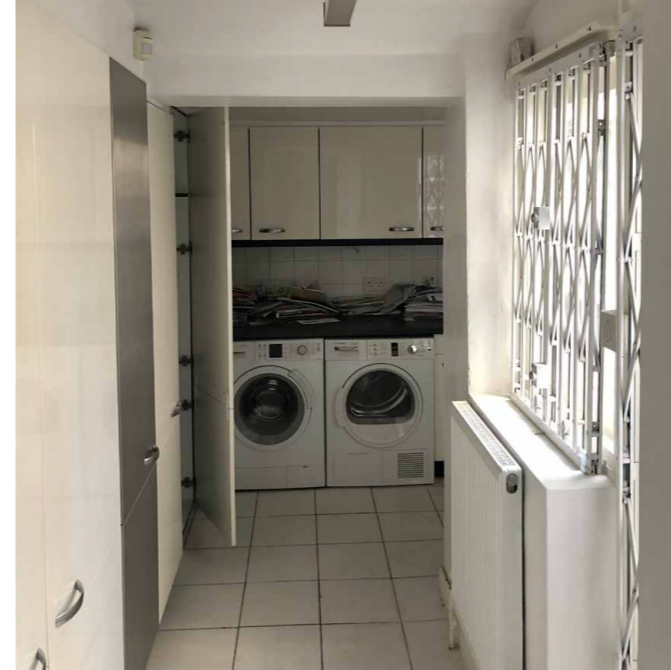
Specification description:
appears to be timber particle

Condition:
very poor- warped, cracked and splitting

Age:
modern, estimated c.20 years

Proposed intervention:
strip out

Proposed specification:
straight profile MRMDF, painted



existing dado rail

Specification description:
None present.

Proposed intervention:
none



existing cornice

Specification description:
None present.

Proposed intervention:
none



existing radiator and case ((RB.01)

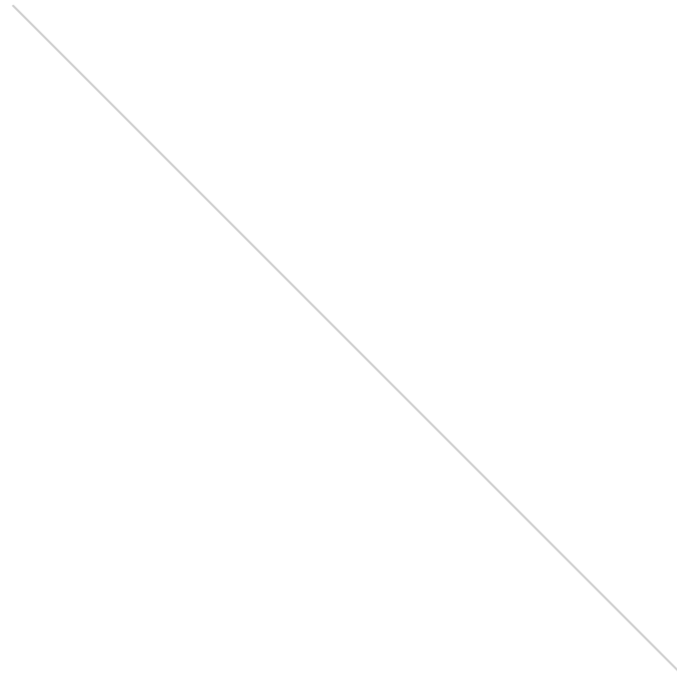
Specification description:
modern, ribbed steel panel

Condition:
externally- fair
performance- could not be tested

Age:
modern, estimated c.20 years

Proposed intervention:
strip-out radiator; retain pipework

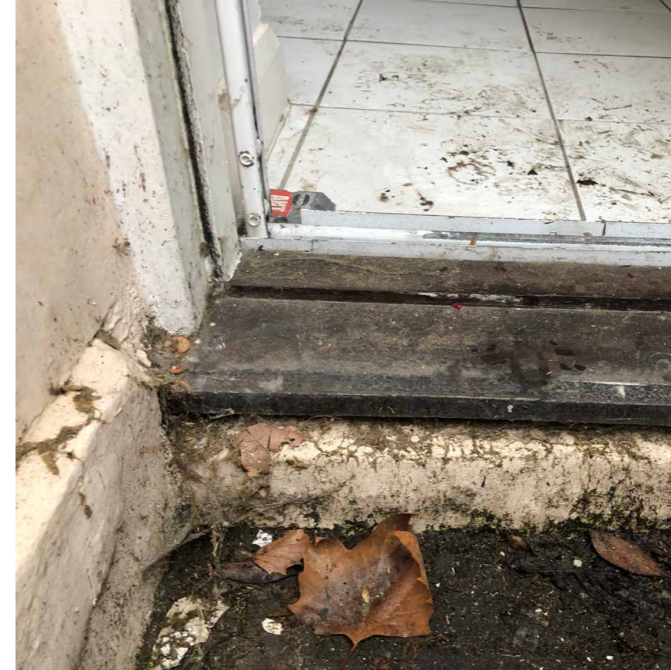
Proposed specification:
flat panel steel radiator



existing fireplace

Specification description:
None present.

Proposed intervention:
none



existing door (DB.02)

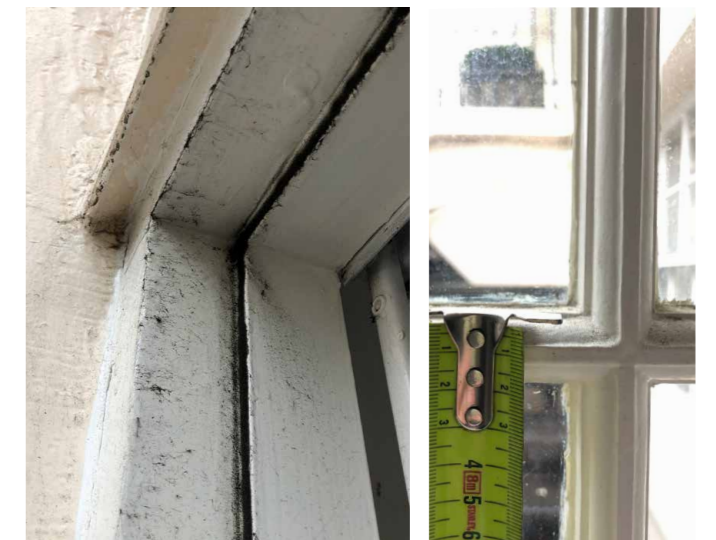
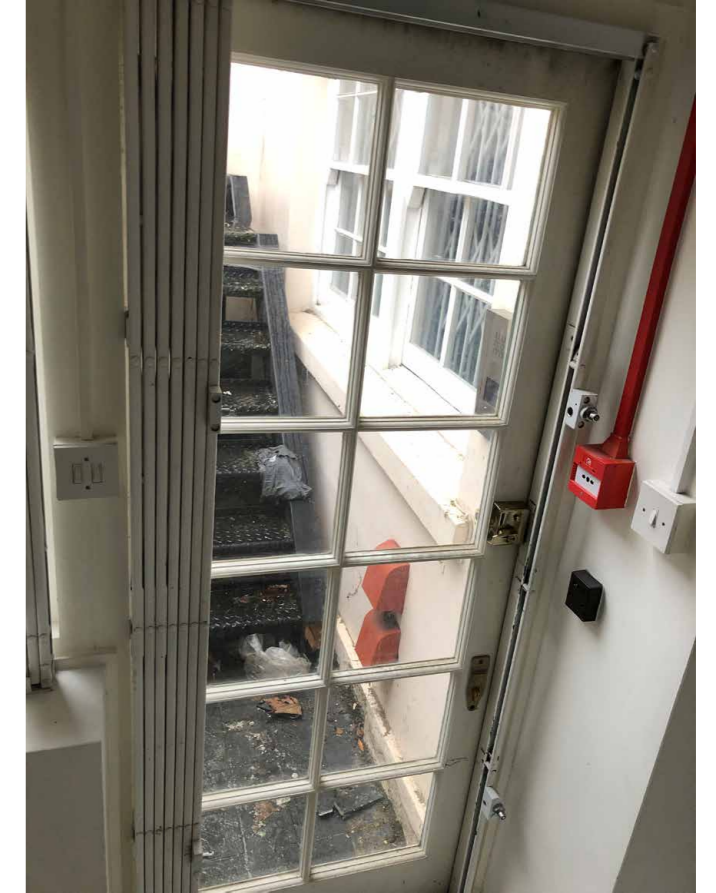
Specification description:
timber frame, single glazed

Condition:
damaged to base of the door, due to water ingress

Age:
unknown (not original- likely to be installed as part of enclosure below the entryway bridge, and subsequently replaced in modern times)

Proposed intervention:
remove door leaf and frame

Proposed specification:
hardwood, 4-panelled to match style of DG.01 to increase security;
new ironmongery and hardware





existing window (WB.01)



Specification description:
timber frame, single glazed, fixed

Condition:
frame rotten due to dampness in the masonry wall;
window vent in lieu of 1no pane

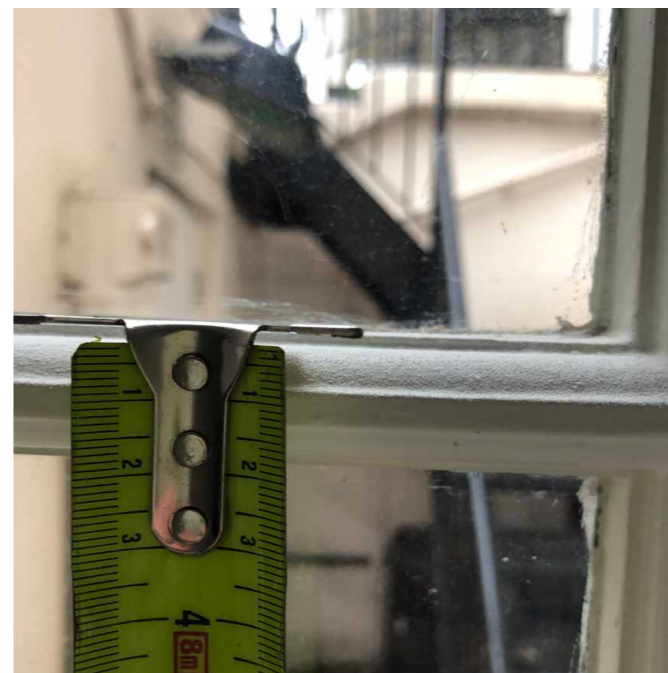
Age:
unknown (not original- likely to be installed as part of
enclosure below the entryway bridge, and subsequently
replaced in modern times)

Proposed intervention:
remove casement and frame

Proposed specification:
Red Grandis, 6.4mm laminated single glazed, mullion
detail to match existing, fixed lower casement with fan-
light above to provide ventilation;
wedi skirt & wedi bar;
new ironmongery and hardware



existing window (WB.02)



Specification description:
timber frame, single glazed, fixed

Condition:
frame damaged due to dampness in the masonry wall;
frame splitting and warping

Age:
unknown (not original- likely to be installed as part of
enclosure below the entryway bridge, and subsequently
replaced in modern times)

Proposed intervention:
remove casement and frame

Proposed specification:
Red Grandis, 6.4mm laminated single glazed, mullion
detail to match existing, fixed casement
wedi skirt & wedi bar

Lower Ground floor

Kitchen, FB.02



existing floor finish

Substrate:
suspended timber joists, ply over, no insulation visible, no signs of original finish

Specification description:
ceramic tile

Condition:
chipped and racked in places
There is a disjunction between Kitchen & rear bedroom substrates and damp issue affecting the kitchen.

Age:
Based on site evidence, we have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Proposed intervention:
strip out existing finish & deck

Proposed specification:
As part of the works, the suspended system is proposed to be insulated and waterproofed to remedy existing building issues within this area.
finish: rubber (sheet/ tile format)



existing skirting board

Substrate:
masonry wall

Specification description:
appears to be timber particle

Condition:
very poor- warped, cracked and splitting

Age:
modern, estimated c.20 years

Proposed intervention:
strip out

Proposed specification:
straight profile MRMDF, painted



existing dado rail

Specification description:
None present.

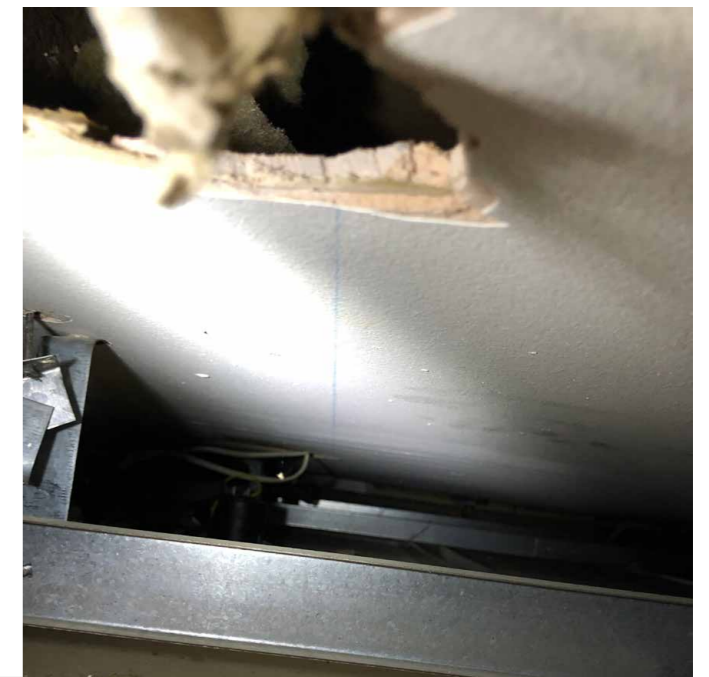
Proposed intervention:
none

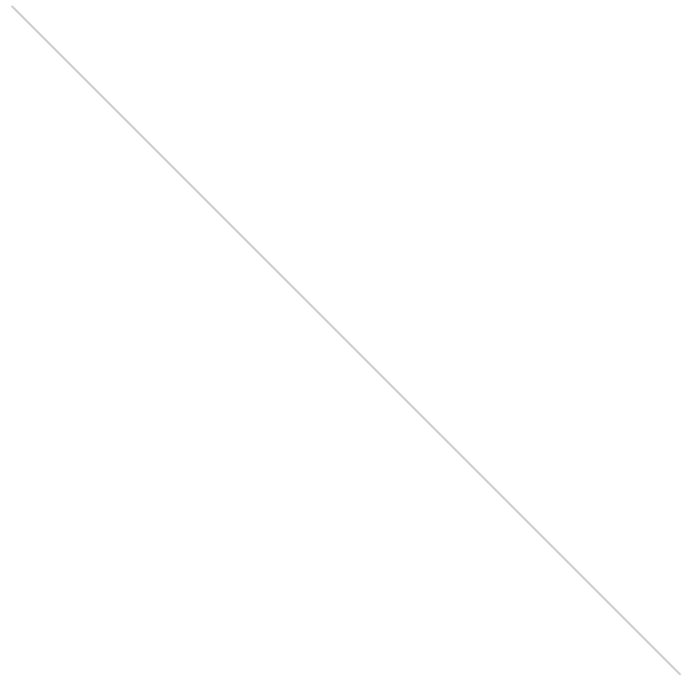


existing cornice

Specification description:
None visible below or within ceiling void.

Proposed intervention:
none

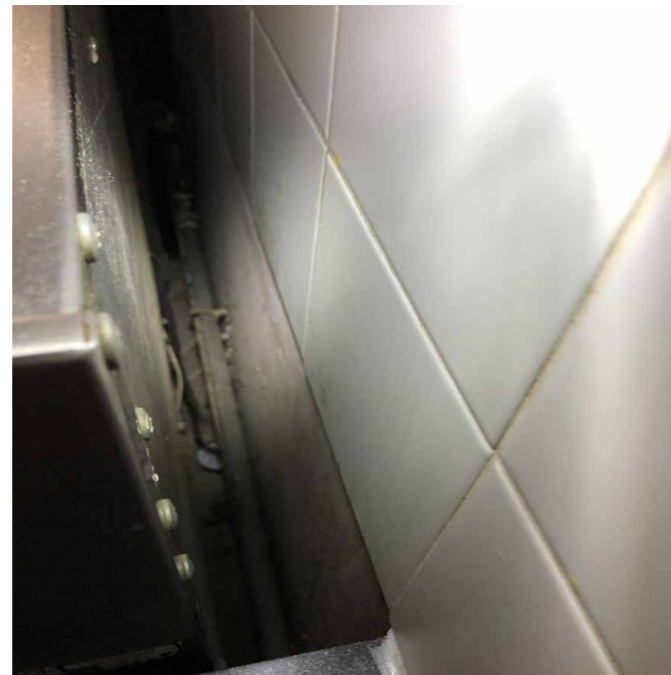




existing radiator and case

Specification description:
None present.

Proposed intervention:
flat panel steel radiator



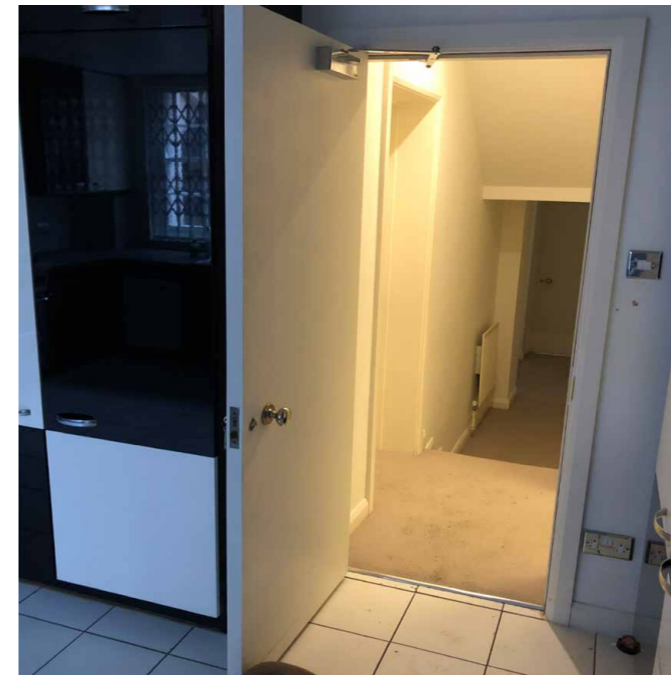
existing fireplace

Specification description:
None present.

Condition:
blocked-up

Age:
unknown (likely to be formed part of alterations c.20 years ago)

Proposed intervention:
lightweight structure infill to right hand side alcove to form plumb, continuous wall surface



existing door (DB.03)

Specification description:
plain blank

Condition:
fair

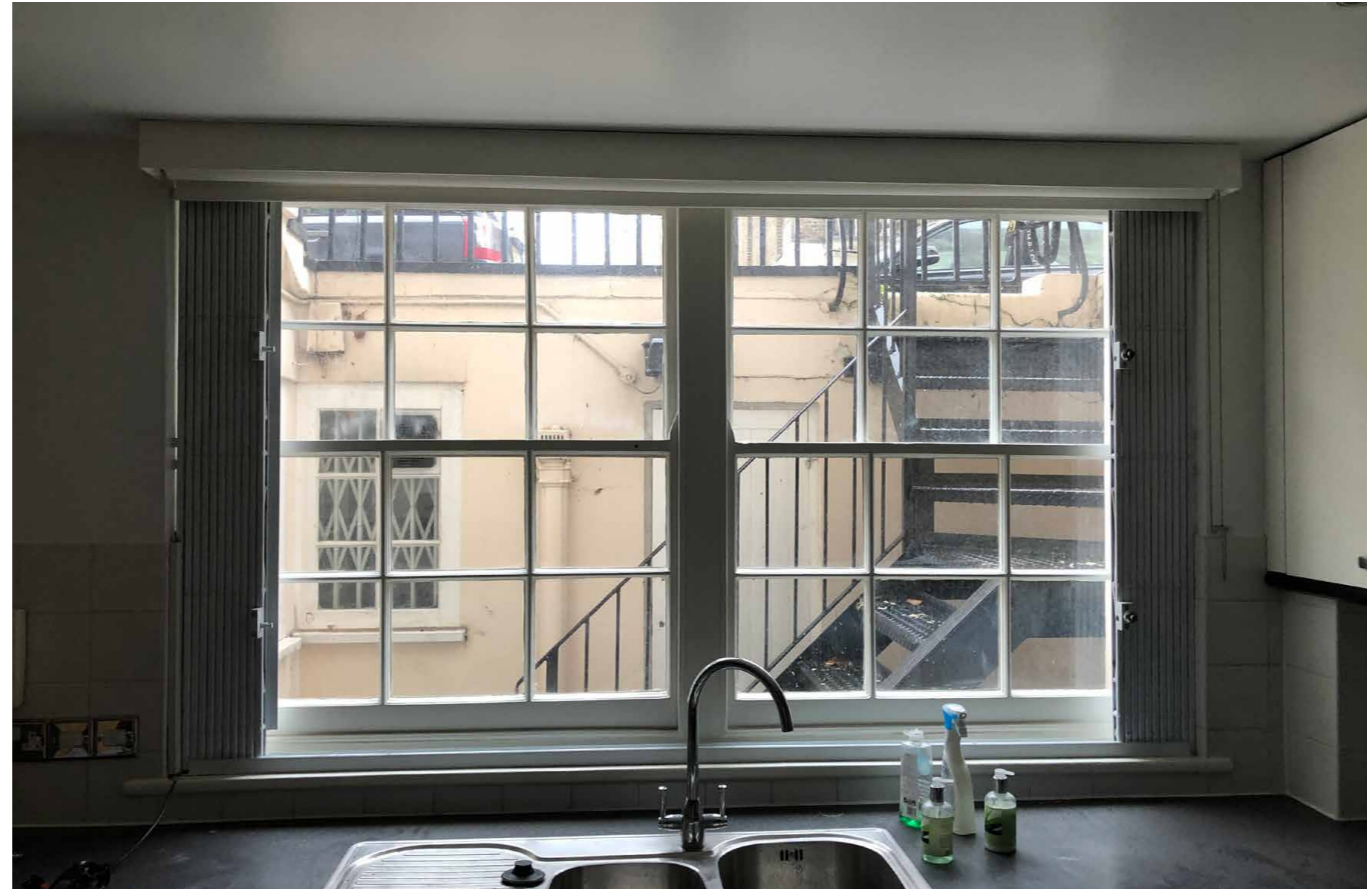
Age:
modern

Proposed intervention:
remove door leaf and frame

Proposed specification:
frameless opening



existing window (WB.03)



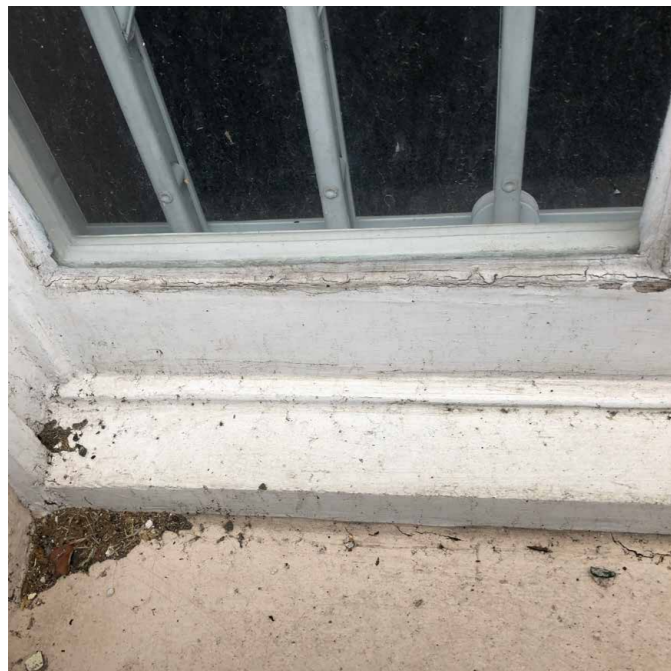
Specification description:
timber frame, single glazed, sashes

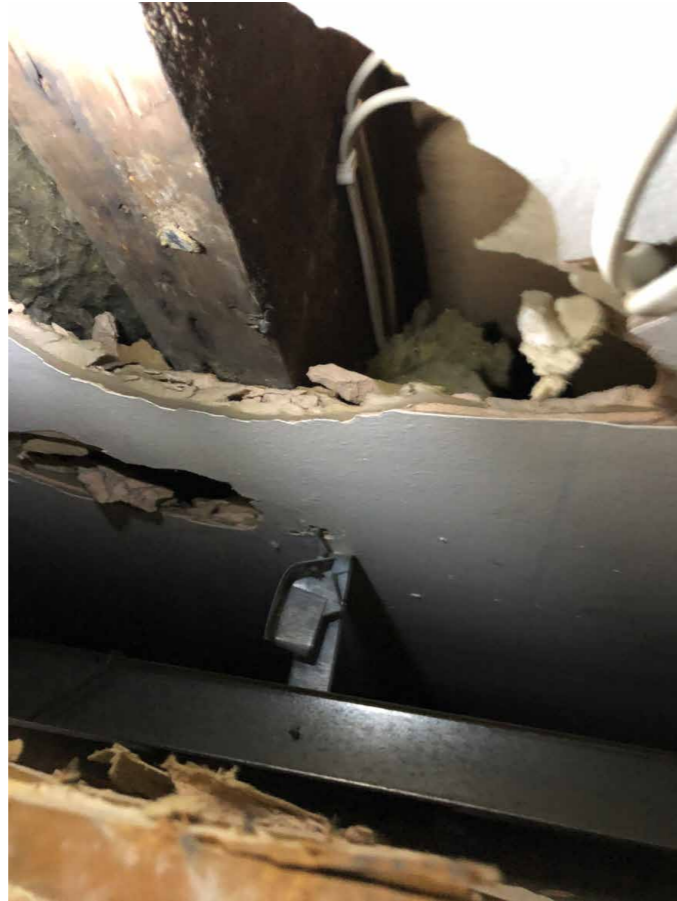
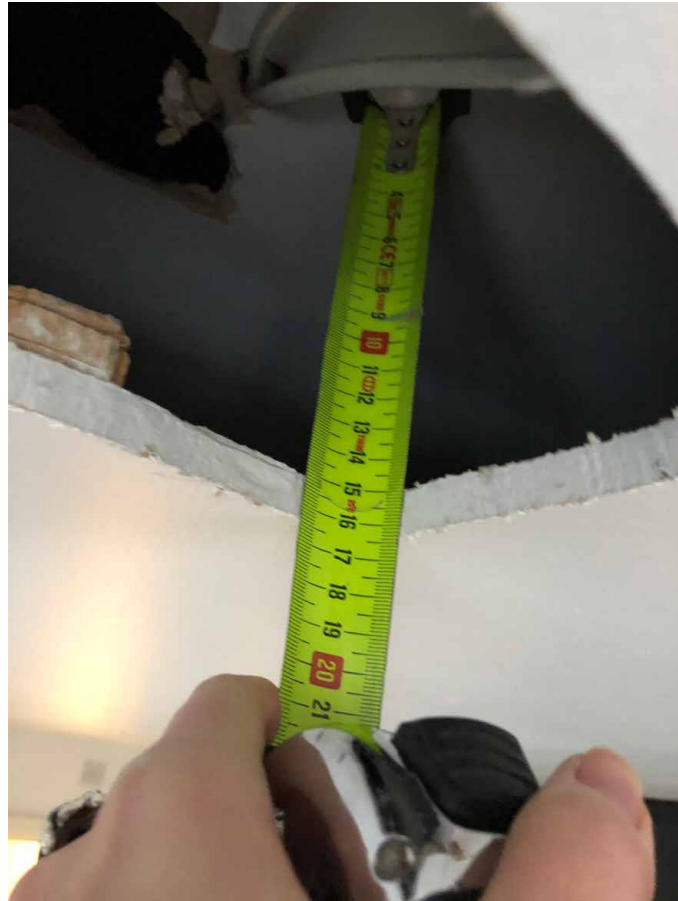
Condition:
acceptable;
some warping and paint peeling externally; both sashes are sealed and are currently unopenable

Age:
unknown

Proposed intervention:
release caulking/paint to reinstate sliding of the sashes;
new draft proofing- staff & parting beads; new pully & cord;
new ironmongery

Proposed specification:
redecorate to match





Substrate:
timber joists

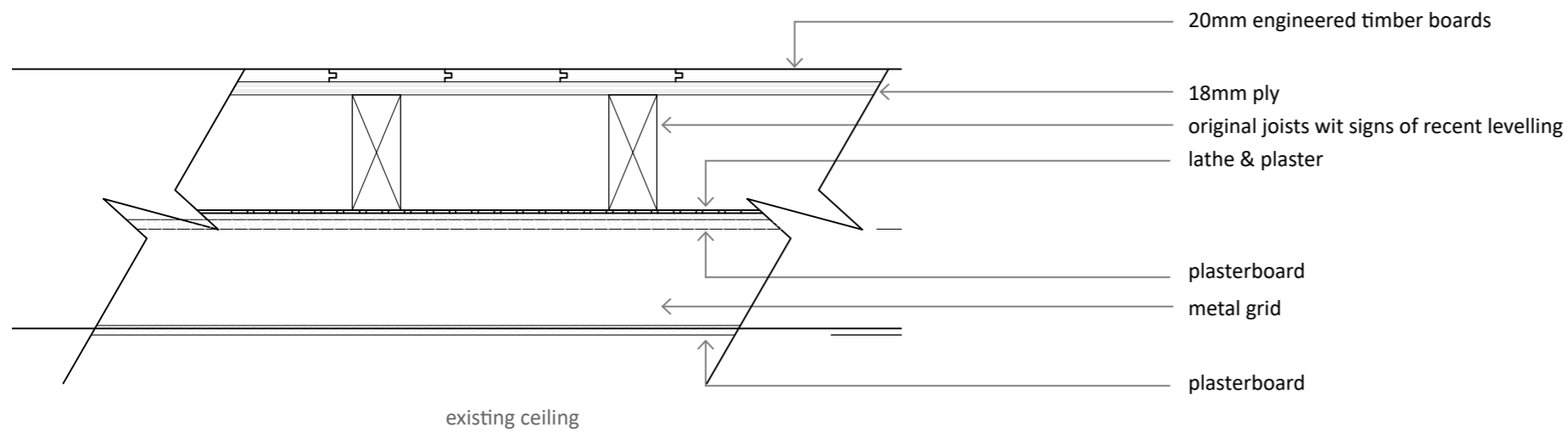
Specification description:
appears to be lathe & plaster over boarded with modern plasterboard, and subsequent modern plasterboard suspended on metal grid below

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years (suspended ceiling))

Proposed intervention:
retain as is; patch-in suspended plasterboard as required to suit new lighting layout

Proposed specification:
plasterboard and skim



Lower Ground floor

Den, FB.03



existing floor finish

Substrate:
anticipated suspended timber floor- as in Kitchen

Specification description:
carpet over laminate and hardboard

Condition:
acceptable

Age:
modern (c.5-10 years)

Proposed intervention:
strip out

Proposed specification:
As part of the works, the suspended system is proposed to be insulated and waterproofed to remedy existing building issues within this area.
finish: rubber (sheet/ tile format)



existing skirting board

Substrate:
masonry wall

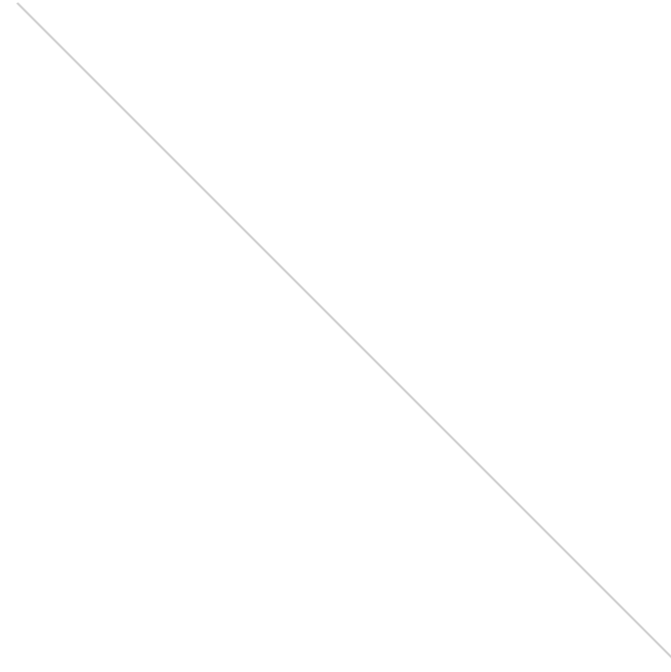
Specification description:
timber

Condition:
fair

Age:
modern, estimated c.5-10 years

Proposed intervention:
strip out

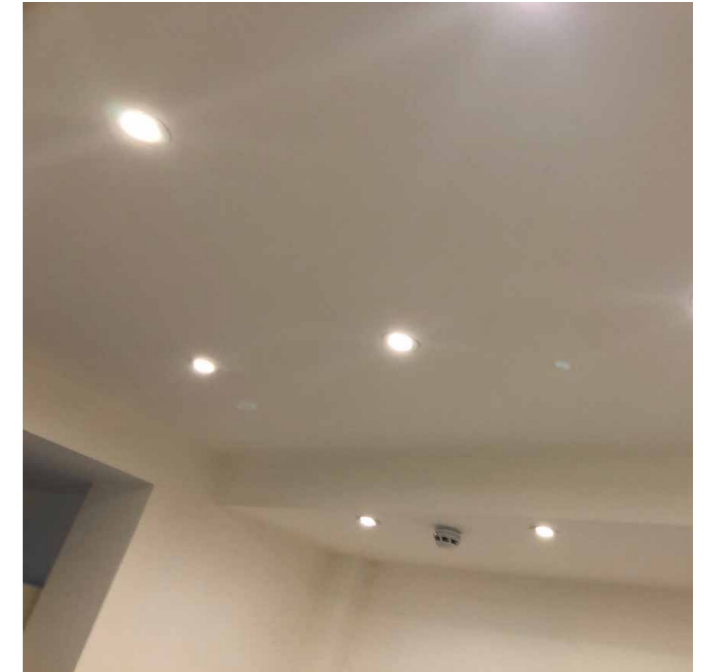
Proposed specification:
straight profile to match existing, painted



existing dado rail

Specification description:
None present.

Proposed intervention:
none



existing cornice

Specification description:
None visible below or within ceiling void.

Proposed intervention:
none



existing radiator and case (RB.02)

Specification description:
ribbed steel panel radiator, within timber case

Condition:
could not be tested

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
new flat panel steel radiator enclosed within timber case in vicinity



existing radiator and case (RB.03)

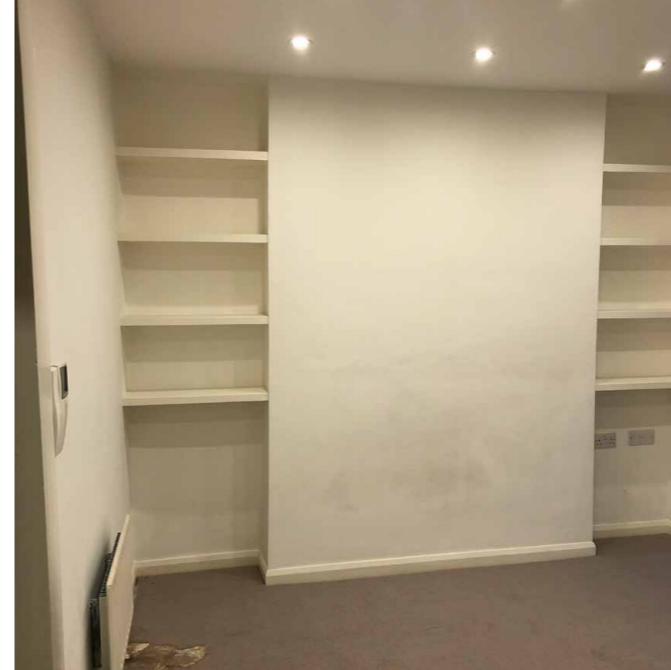
Specification description:
ribbed steel panel radiator

Condition:
poor- could not be tested, appears to have leaked

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
none



existing fireplace (FP.B1)

Specification description:
None present.

Condition:
blocked-up

Age:
unknown (likely to be formed part of alterations c.20 years ago)

Proposed intervention:
install small power outlets to service wall-mtd TV



existing door (DB.05)

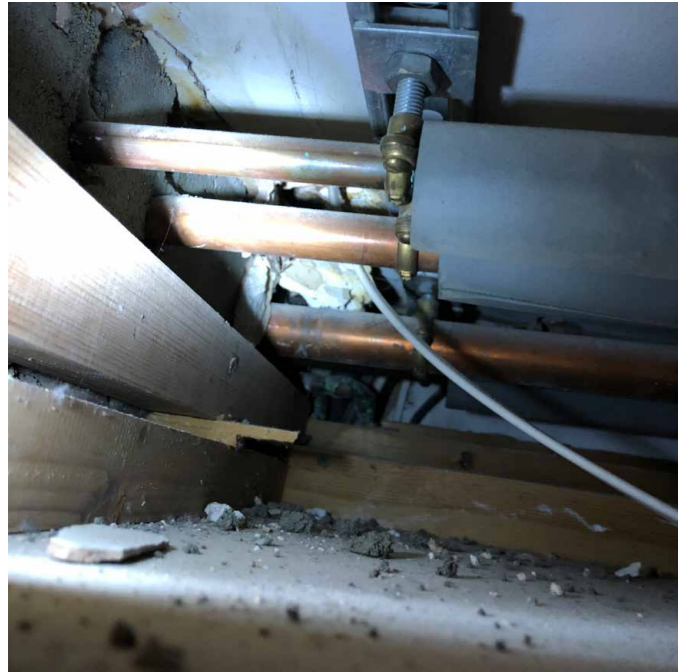
Specification description:
plain blank

Condition:
acceptable

Age:
c. 20 years

Proposed intervention:
retain

Proposed specification:
new hardware & ironmongery



existing ceiling

Substrate:
timber joists, with secondary suspended timber and plasterboard

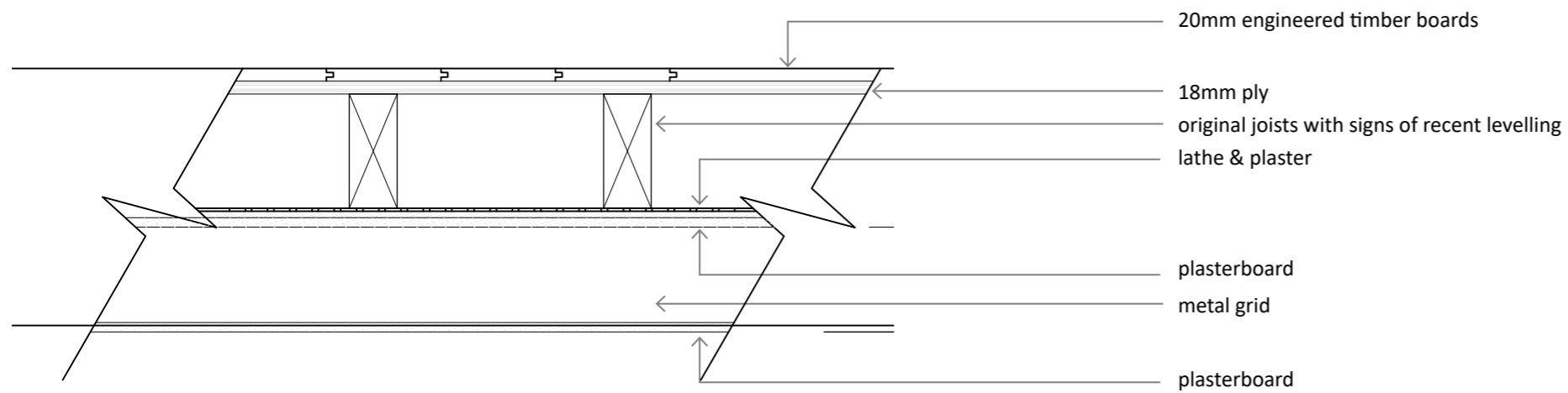
Specification description:
appears to be lathe & plaster over boarded with modern plasterboard, and subsequent modern plasterboard suspended on timber grid below (in bulkhead area)

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years (suspended ceiling))

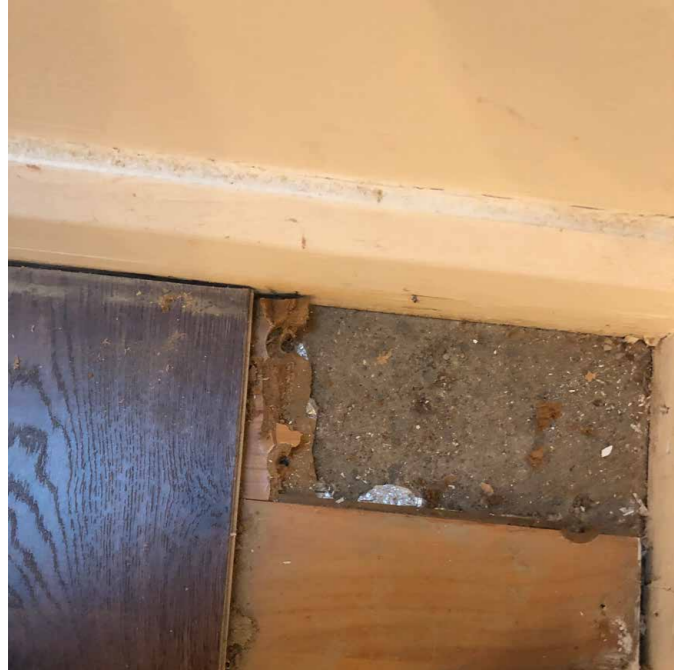
Proposed intervention:
retain as is; patch-in suspended plasterboard as required to suit new lighting layout

Proposed specification:
plasterboard and skim



Lower Ground floor

FB.05 and FB.06



existing floor finish

Substrate:
concrete

Specification description:
laminate and hardboard

Condition:
acceptable

Age:
modern (c.5-10 years)

Proposed intervention:
strip out

Proposed specification:
self levelling screed, hardboard, rubber (sheet/ tile format)



existing skirting board

Substrate:
masonry wall

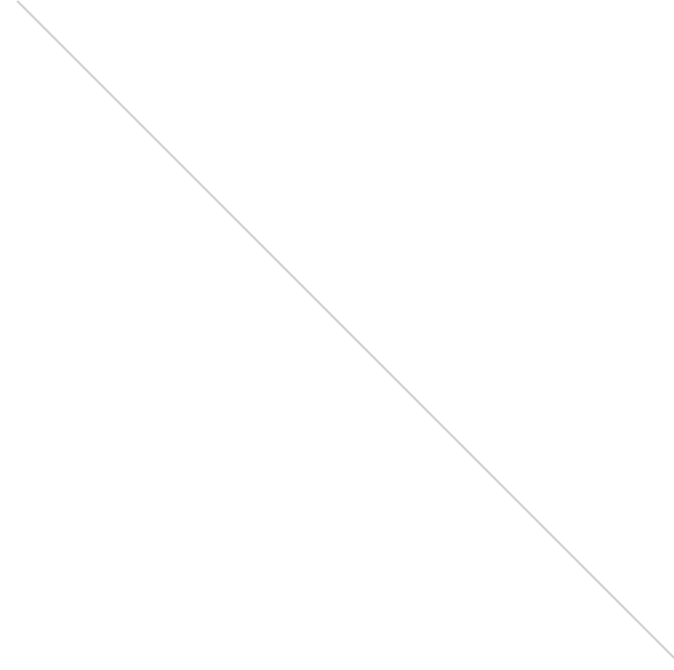
Specification description:
timber

Condition:
fair

Age:
modern, estimated c.5-10 years

Proposed intervention:
strip out

Proposed specification:
straight profile to match existing, painted



existing dado rail

Specification description:
None present.

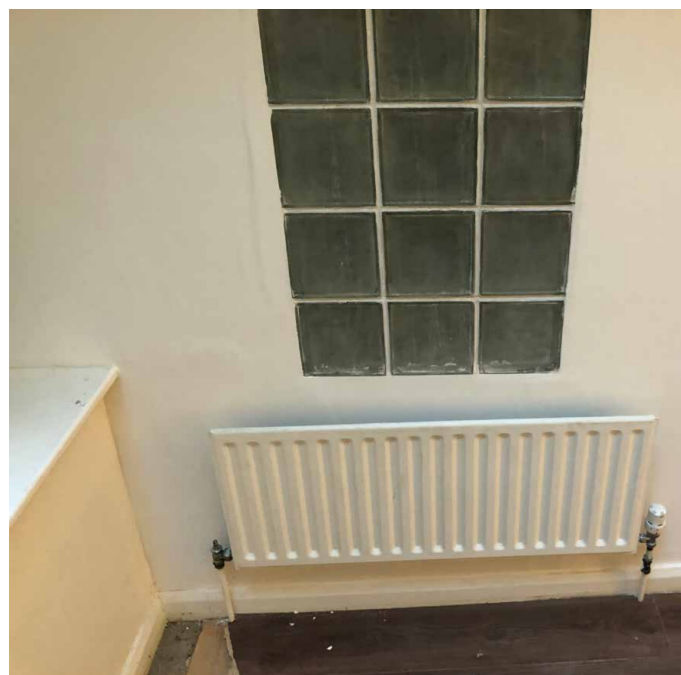
Proposed intervention:
none



existing cornice

Specification description:
None visible below

Proposed intervention:
none



existing radiator and case (RB.02)

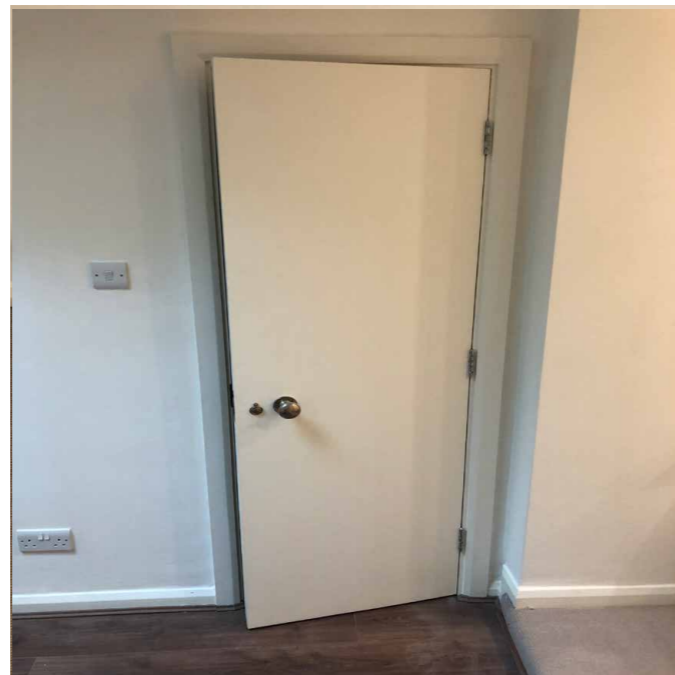
Specification description:
ribbed steel panel radiator

Condition:
could not be tested

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
new flat panel steel radiator enclosed within timber case



existing door (DB.06)

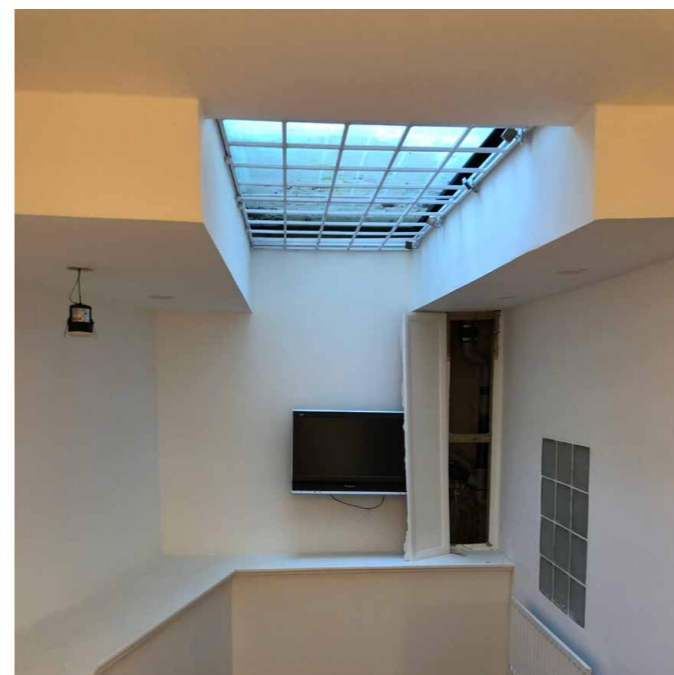
Specification description:
plain blank

Condition:
acceptable

Age:
c. 20 years

Proposed intervention:
retain

Proposed specification:
new ironmongery and hardware



existing ceiling

Substrate:
concrete podium forming Patio;
presumed suspended timber joists locally below (forming bulkheads)

Specification description:
modern plasterboard

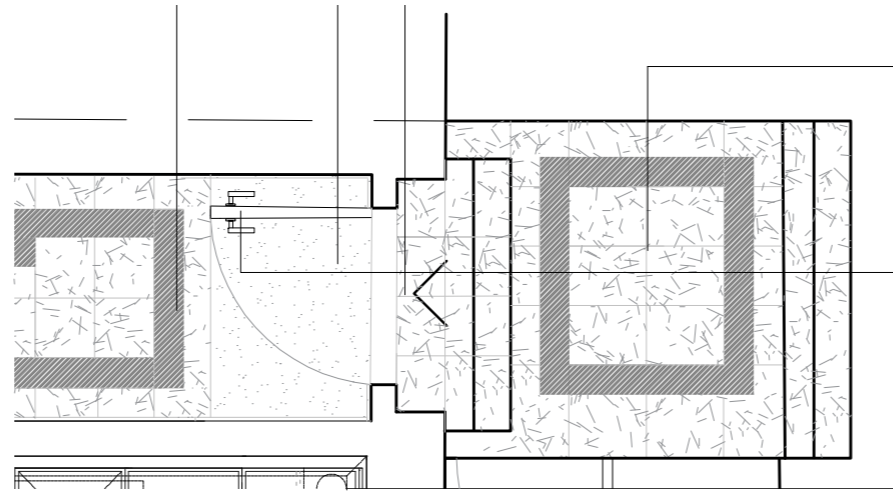
Condition:
good

Age:
estimated c.20 years (suspended ceiling)

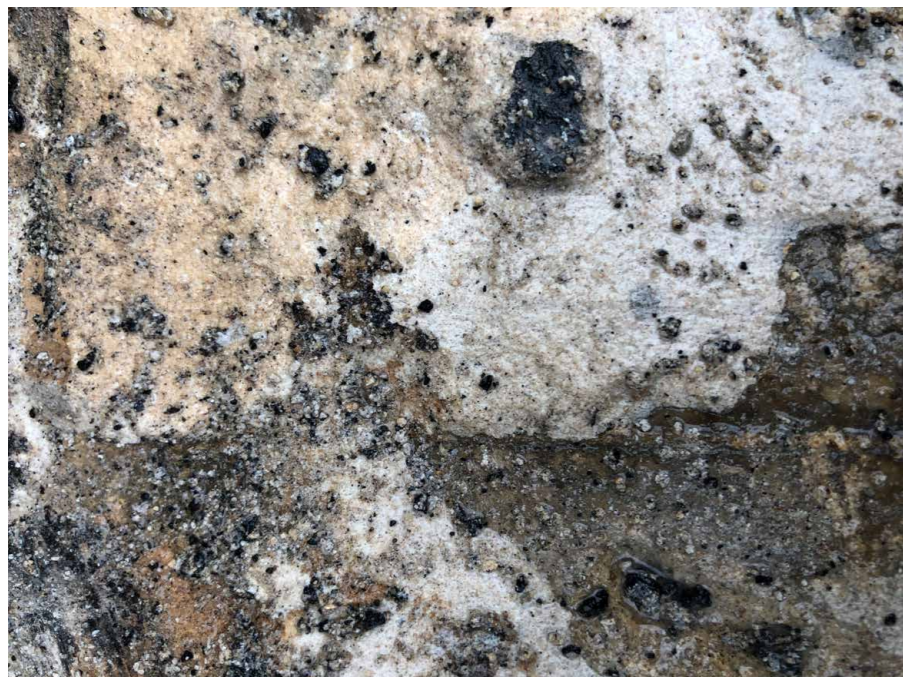
Proposed intervention:
retain as is; patch-in suspended plasterboard as required to suit new lighting layout and removal of bulkheads

Proposed specification:
plasterboard and skim;
new roller black-out blind to skylight.

Ground floor
Entryway, FG.E01



existing floor finish



Substrate:
based on limited investigative works, appears to be brick construction (to risers), although concrete is anticipated further down the build-up

Specification description:
c.150x150mm tiles on screed, over ashfelt, over stone (type TBC)

Condition:
fair

Age:
unknown

Proposed intervention:
strip out finish build-up down to waterproofing

Proposed specification:
repair waterproofing, lay new Portland stone with bullnose treads; contrast black inlay board to landing in granite
(ref. to drawing RAI055_PL_DT.02 for further details)



existing door (DG.01)



Specification description:
panelled timber, painted
brass ironmongery

Condition:
good

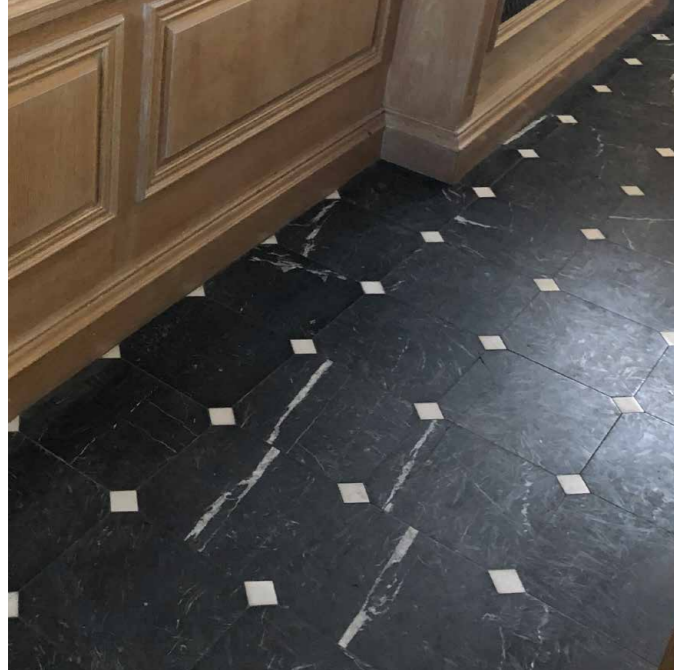
Age:
unknown

Proposed intervention:
retain;
minor amendments: relocate spy hole; install new
letterbox, internal new ironmongery, incl. surface fixed
bolt internally; new weather strip and hardware.

Proposed specification:
refurbish, redecorate (paint inside & out)

Ground floor

Hallway, FG.01



existing floor finish

Substrate:
suspended timber joists, below ply

Specification description:
marble tiles

Condition:
good

Age:
unknown

Proposed intervention:
strip out floor finish and deck

Proposed specification:
level floor as required, lay new deck and marble tiles
with contrast inlay;
recessed coir mat to door area



existing skirting board

Specification description:
timber ogee profile, varnished

Condition:
good

Age:
unknown, appears modern

Proposed intervention:
retain

Proposed specification:
infill section on either side of radiator case and where
DG.02 is to be moved; profile to match existing;
paint over



existing wainscoting

Specification description:
timber fielded and raised

Condition:
good

Age:
unknown, appears modern

Proposed intervention:
retain

Proposed specification:
infill section on either side of radiator case and where
DG.02 is to be moved; profile to match existing;
paint over



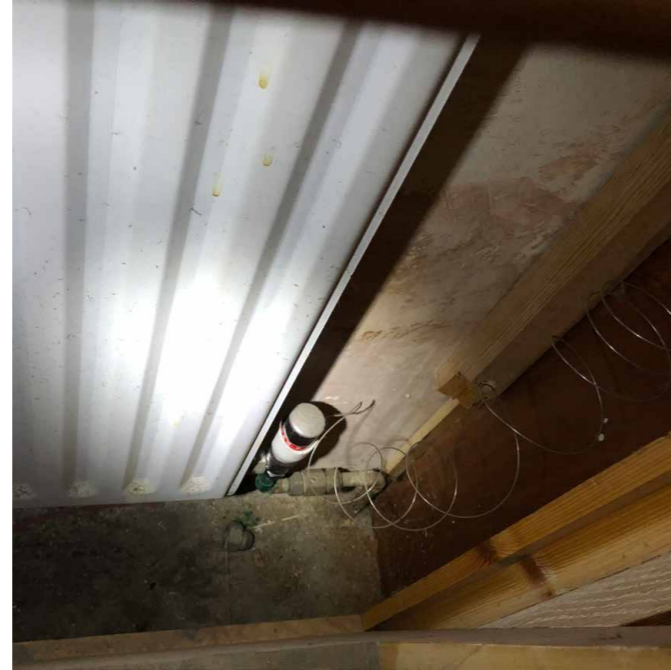
existing cornice

Proposed intervention:
no works

Proposed specification:
redecorate



existing radiator and case



Specification description:
timber case with metal mesh to top and front panels

Condition:
good

Age:
unknown, however appears modern

Proposed intervention:
remove

Proposed specification:
new case to reduced size; style to match existing, metal mesh replaced with timber slats and top panel formed in marble;
paint over



existing ceiling

Substrate:
timber joists

Specification description:
ceiling in FG.02 suggests lathe & plaster over boarded with modern plasterboard

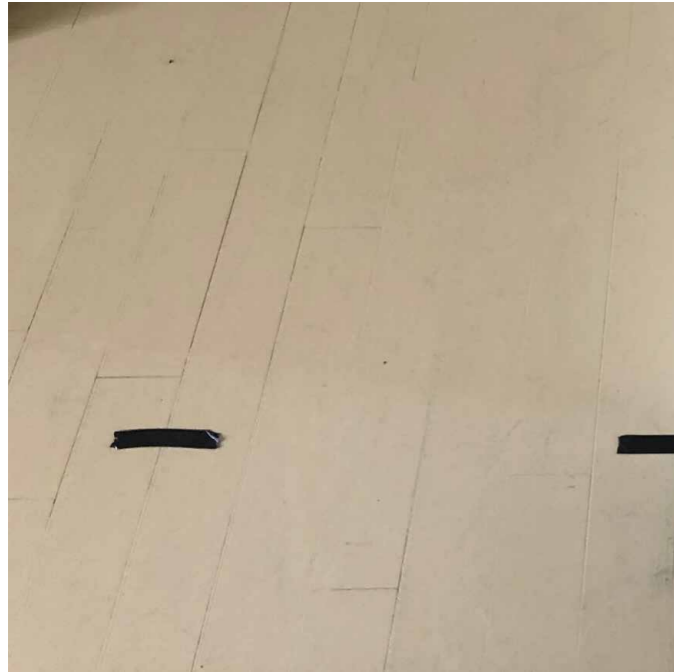
Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting layout

Proposed specification:
plasterboard and skim

Ground floor Reception, FG.02



existing floor finish



existing skirting board



existing cornice

Substrate:
Presumed original joists (c. h180mm) appear to have been strengthened/levelled with new timber joists. Modern plywood deck over, with some local ply pattressing between joists visible within the exploratory aperture.

Specification description:
painted timber T&G floorboards;
No signs of original floor finish was observed. Based on site evidence, we have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Condition:
fair; warping in places

Age:
c. 20-30 years

Proposed intervention:
strip out floorboards and deck

Proposed specification:
level as required; new ply deck, acoustic underlay and Grade A engineered timber boards

Specification description:
timber ogee profile; painted;
Secondary 'bead' over skirting board appears to have been installed to conceal retrofit flooring junction along the perimeter.

Condition:
fair

Age:
c. 20-30 years

Proposed intervention:
remove where joinery proposed, retain elsewhere; infill with re-used section where door opening amended

Proposed specification:
re-decorate

Specification description:
ornate, traditional

Condition:
fair

Age:
unknown

Proposed intervention:
no works

Proposed specification:
re-decorate



existing radiator and case



Specification description:
timber case with metal mesh to top and front panels;
ribbed steel panel radiator

Condition:
good

Age:
unknown, however front panel appears modern

Proposed intervention:
retain amended

Proposed specification:
metal mesh replaced with timber slats and top pane;
paint over
new steel radiator



existing fireplace



Specification description:
marble and metal surround; stone hearth

Condition:
good

Age:
unknown, however appears modern (mostly dates back
to alterations undertaken in 1996)

Proposed intervention:
remove surround, basket and gather; retain hearth

Proposed specification:
block up aperture with lightweight construction to facili-
tate functional family kitchen; vented



existing door (DG.02)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf; relocate opening by c.100mm;
amend retained jamb; infill retained architrave holes,
brush filler

Proposed specification:
hinged, glazed timber frame, fire-rated, Georgian style
door leaf; new ironmongery and hardware
painted



existing door (DG.02) and wall panelling

Specification description:
panelled timber, pocket

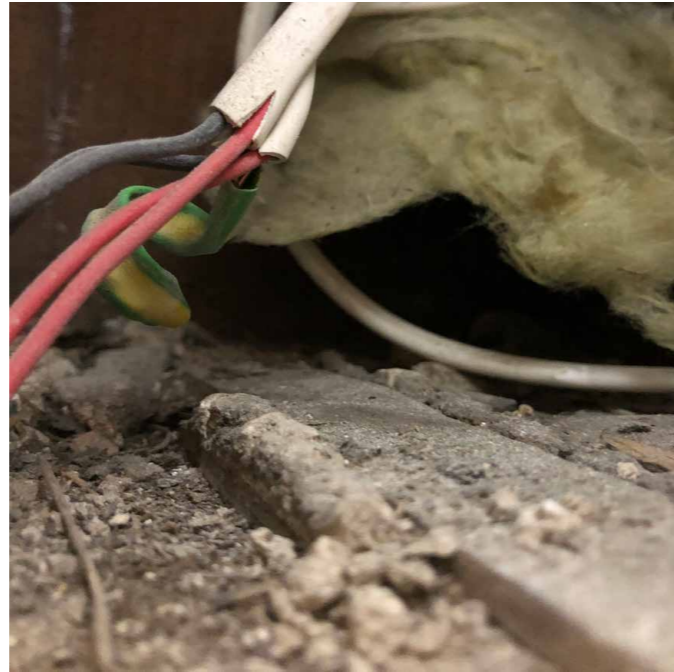
Condition:
fair

Age:
c.20-30 years

Proposed intervention:
remove door leaf & hardware; remove modern panel-
ling to 1no aspect and architrave to 1no aspect; make
good

Proposed specification:
redecorate frameless reveal lining and architraves





existing ceiling

Substrate:
timber joists

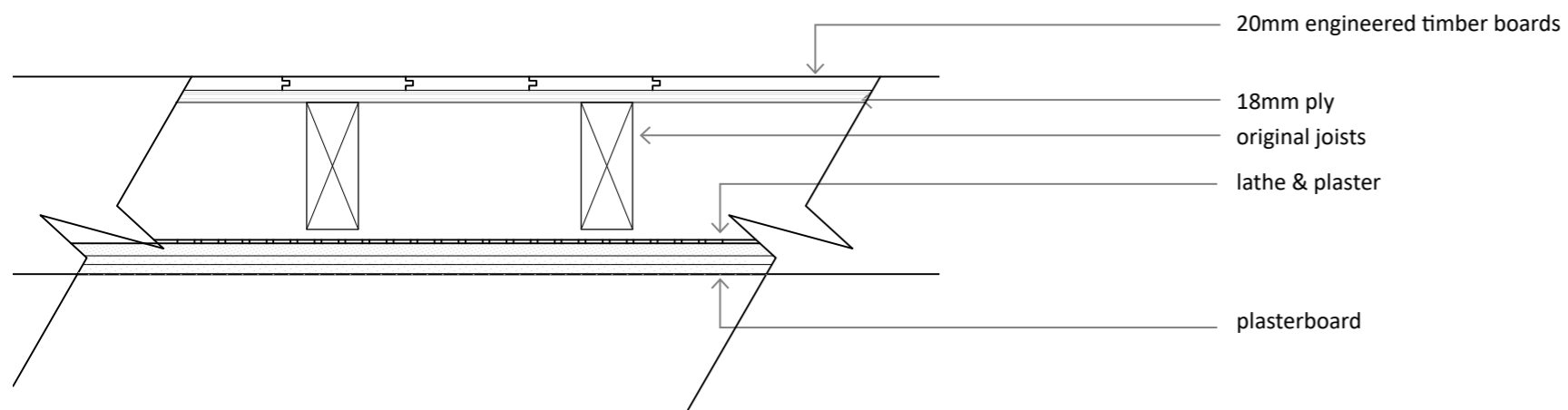
Specification description:
lathe & plaster over boarded with modern plasterboard

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting layout

Proposed specification:
plasterboard and skim



Ground floor
Drawing room, FG.03



existing floor finish



existing skirting board



existing ceiling



existing cornice

Substrate:
Presumed original joists (c. h180mm) appear to have been strengthened/levelled with new timber joists. Modern plywood deck over, with some local ply patting between joists visible within the exploratory aperture.

Specification description:
painted timber T&G floorboards;
No signs of original floor finish was observed. Based on site evidence, we have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Condition:
fair; warping in places

Age:
c. 20-30 years

Proposed intervention:
strip out floorboards and deck

Proposed specification:
level as required; new ply deck, acoustic underlay and Grade A engineered timber boards

Specification description:
timber ogee profile; painted;
Secondary 'bead' over skirting board appears to have been installed to conceal retrofit flooring junction along the perimeter.

Condition:
fair

Age:
c. 20-30 years

Proposed intervention:
retain; infill with re-used or made to match sections

Proposed specification:
re-decorate

Substrate:
timber joists

Specification description:
lathe & plaster over boarded with modern plasterboard

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting layout

Proposed specification:
plasterboard and skim

Specification description:
ornate, traditional

Condition:
fair

Age:
unknown

Proposed intervention:
no works

Proposed specification:
re-decorate

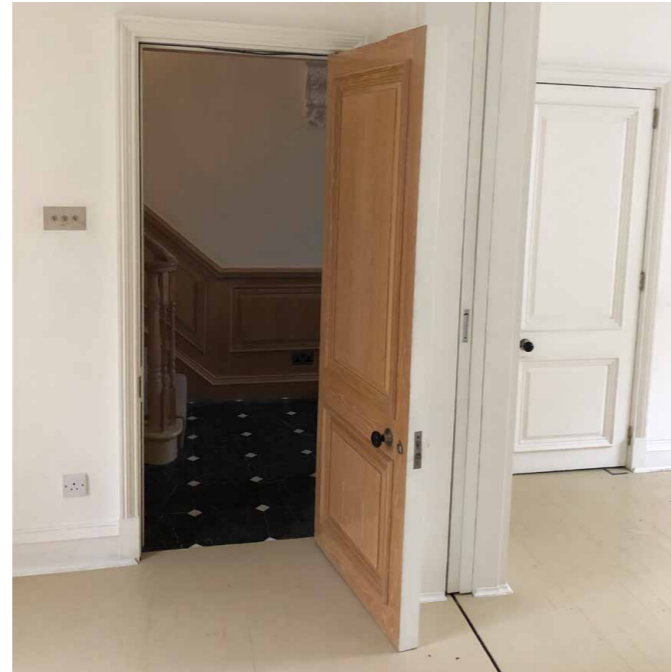


existing fireplace (FP.G2)

Specification description:
blocked up

Proposed intervention:
install wall lights

Proposed specification:
make good, decorate



existing door (DG.04)

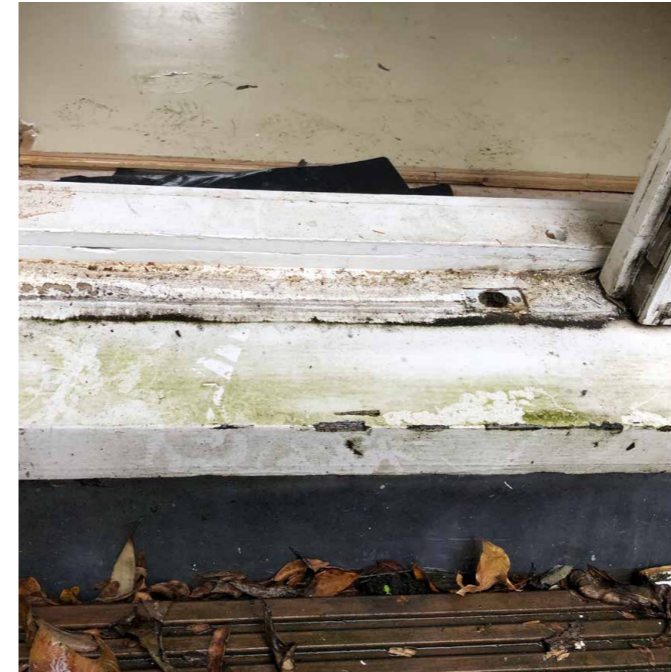
Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
amend jamb; infill retained architrave holes, brush filler

Proposed specification:
hinged, glazed timber frame, fire-rated, Georgian style
door leaf; new ironmongery and hardware
painted



existing door (DG.05)

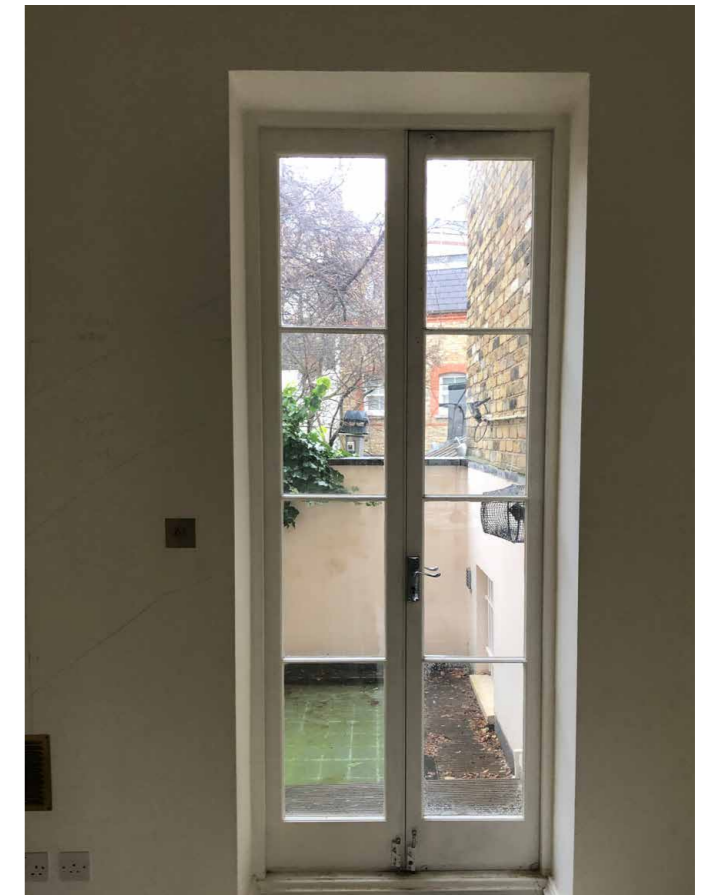
Specification description:
single glazed, timber frame French door

Condition:
fair; some warping and splitting due to water damage;
very difficult to open, shut and lock

Age:
unknown

Proposed intervention:
remove bottom rail to door leafs, sill and threshold

Proposed specification:
new hardwood replacement parts to match existing;
redecorate entire doorset; new draft proofing
new ironmongery and hardware



Ground floor
Reception, FG.02



existing window (WG.02)

Specification description:
timber frame, single glazed, sashes;

Condition:
good

Age:
unknown

Proposed intervention:

Proposed specification:
new draft proofing- staff & parting beads; new pully & cord; new ironmongery;
redecorate to match;
new wooden slatted blinds and privacy fabric blind to internal reveal to provide privacy from inward streets-cape views.

Ground floor
Powder room, FG.05



existing window (WG.03)

Specification description:
timber frame, single glazed, sashes;
metal security bars externally

Condition:
acceptable;

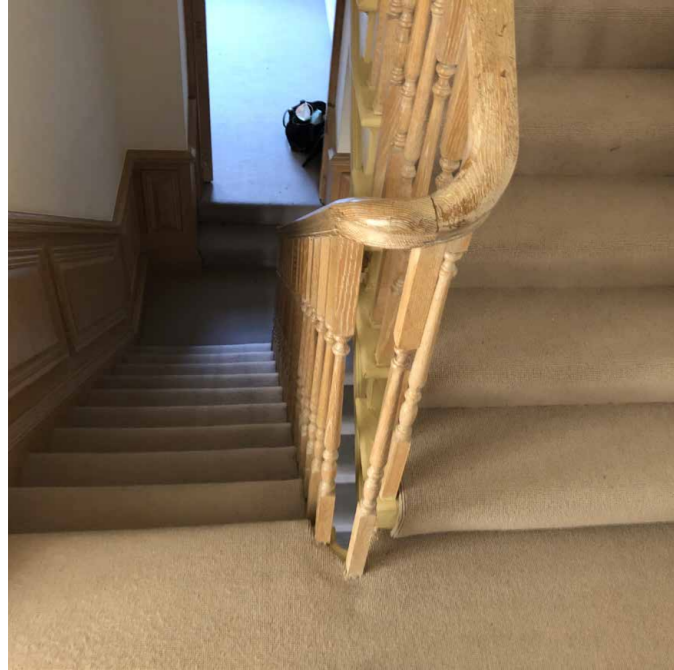
Age:
unknown

Proposed intervention:

Proposed specification:
new draft proofing- staff & parting beads; new pully & cord;
new ironmongery
redecorate to match

First floor

Landing, FF.01 and FF.03



existing floor finish

Substrate:
Presumed original joists

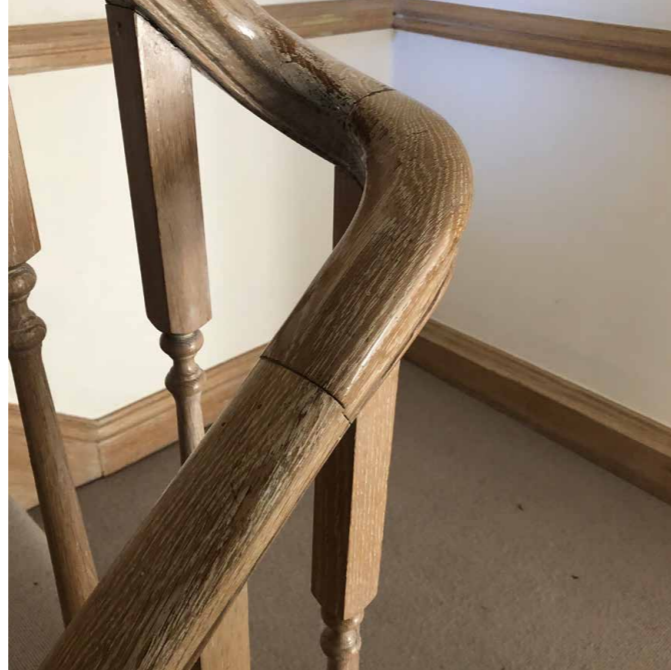
Specification description:
carpet

Condition:
acceptable

Age:
c. 5-10 years

Proposed intervention:
strip out floor finish

Proposed specification:
new ply deck (if required), acoustic underlay and Grade A engineered timber boards



existing skirting board

Specification description:
timber ogee profile; varnished;

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain; paint

Proposed specification:
re-decorate



existing dado rail

Specification description:
timber ogee profile; varnished;

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain; paint

Proposed specification:
re-decorate



existing cornice

Specification description:
ornate, traditional

Condition:
good

Age:
unknown

Proposed intervention:
no works

Proposed specification:
re-decorate

First floor

Study, FF02



existing window (WG.03)

Specification description:
timber frame, single glazed, sashes;

Condition:
good;

Age:
unknown- appear modern (c. 20 years)

Proposed intervention:
remove security shutter; retain window as is

Proposed specification:
new draft proofing- staff & parting beads; new pulley & cord;
new ironmongery
redecorate to match



existing door (DF.01)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
amend jamb; infill retained architrave holes, brush filler

Proposed specification:
hinged, glazed timber frame, fire-rated, Georgian style
door leaf; new ironmongery and hardware
painted

First floor
TV Room, FF04



existing floor finish

Substrate:
Presumed original joists with modern mineral wool between, and herringbone struts. No signs of new timber joists or levelling observed. Modern plywood deck is installed over the aged joists structure, which is visibly unlevel- leaning towards front East corner.

Specification description:
painted timber T&G floorboards;
No signs of original floor finish was observed. Based on site evidence, we have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Condition:
unlevel

Proposed intervention:
strip out floorboards and deck

Proposed specification:
level as required; new ply deck, acoustic underlay and Grade A engineered timber boards



existing skirting board

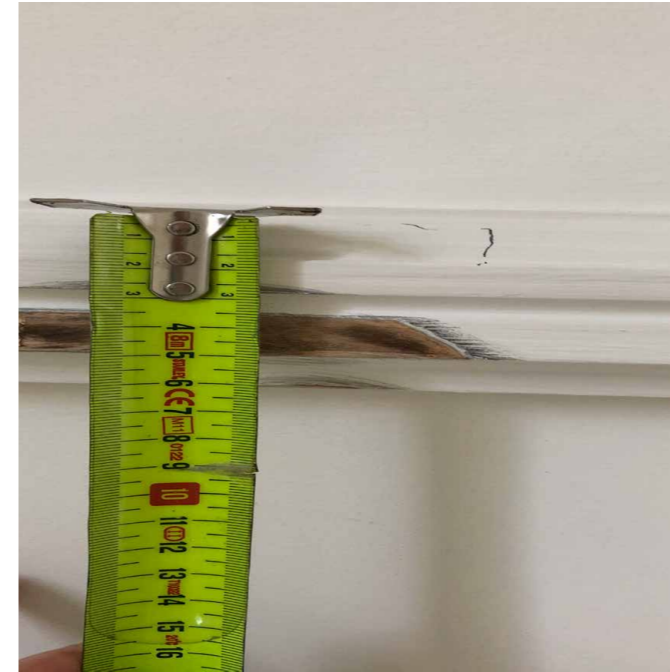
Specification description:
timber ogee profile, painted.
Secondary 'bead' over skirting board appears to have been installed to conceal retrofit flooring junction along the perimeter.

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain; infill with sections to match where required

Proposed specification:
re-decorate



existing dado rail

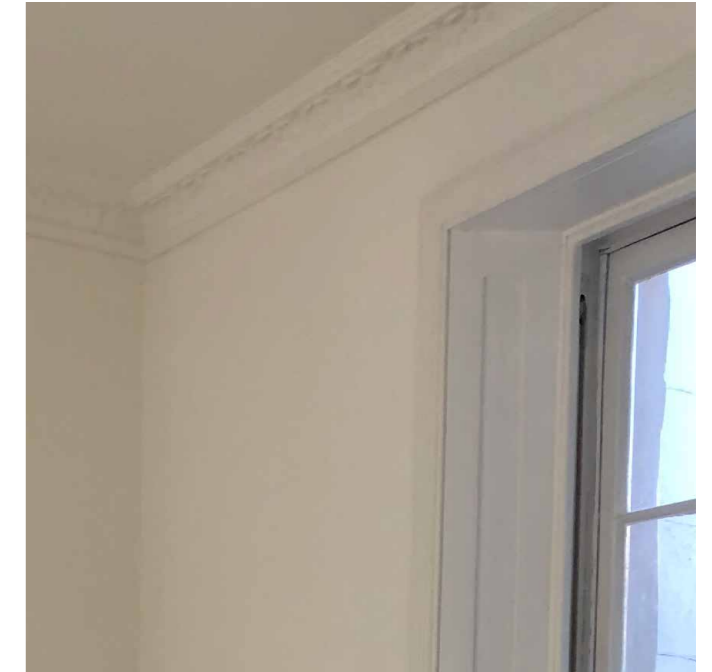
Specification description:
timber ogee profile; varnished;

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain (except where new doorway opening is formed);

Proposed specification:
re-decorate



existing cornice

Specification description:
ornate, traditional

Condition:
good

Age:
unknown

Proposed intervention:
no works

Proposed specification:
re-decorate



existing radiator and case (RF.02)

Specification description:
timber case with metal mesh to top and front panels;
ribbed steel panel radiator

Condition:
good

Age:
unknown, however front panel appears modern

Proposed intervention:
retain amended

Proposed specification:
metal mesh replaced with timber slats and top pane;
paint over
new steel radiator



existing fireplace (FP.F1)

Specification description:
marble and metal surround; stone hearth

Condition:
good; flue sealed- the fireplace is decorative only

Age:
unknown, however appears modern (mostly dates back to alterations undertaken in 1996)

Proposed intervention:
remove surround, gather, hearth- make good

Proposed specification:
block up aperture with lightweight construction to facilitate functional family living area; vented



existing door (DF.02)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
retain as is- lock shut (or replaced with new panel design- to match other new throughout the property)

Proposed specification:
new ironmongery and hardware
painted



existing window (WF.02)

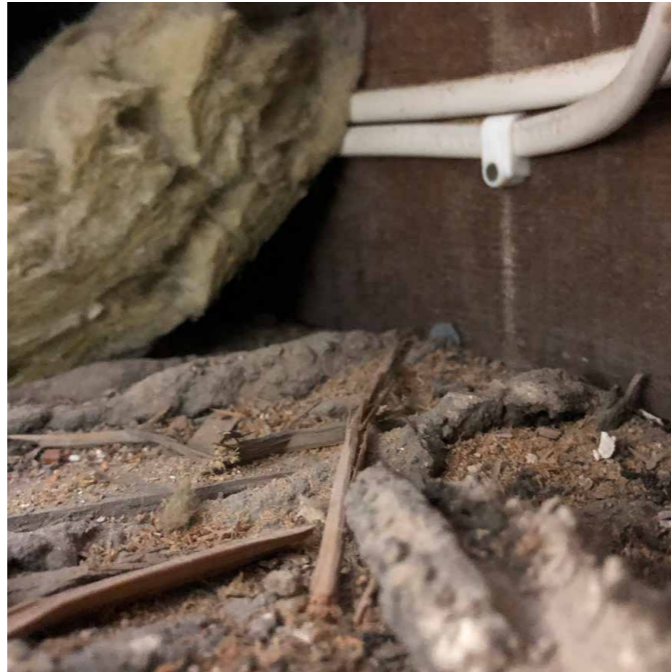
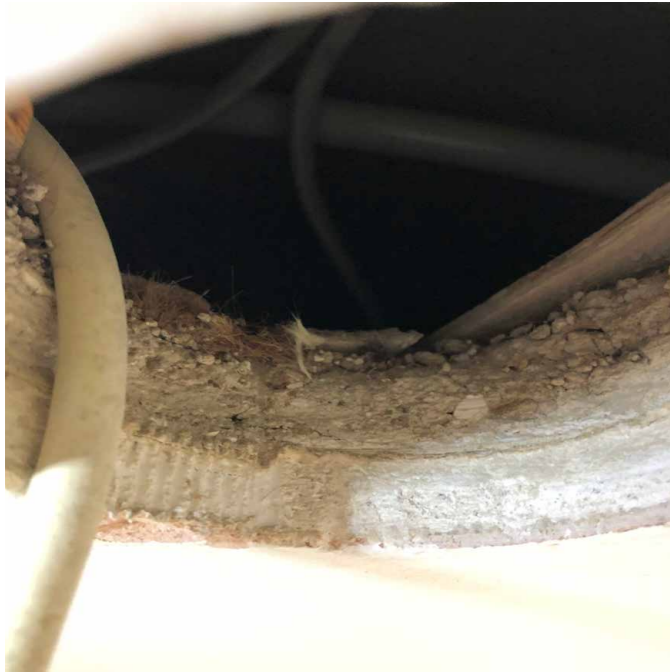
Specification description:
timber frame, single glazed, sashes;

Condition:
good

Age:
unknown

Proposed intervention:
new draft proofing- staff & parting beads; new pully & cord;
new ironmongery

Proposed specification:
redecorate to match



Substrate:
timber joists

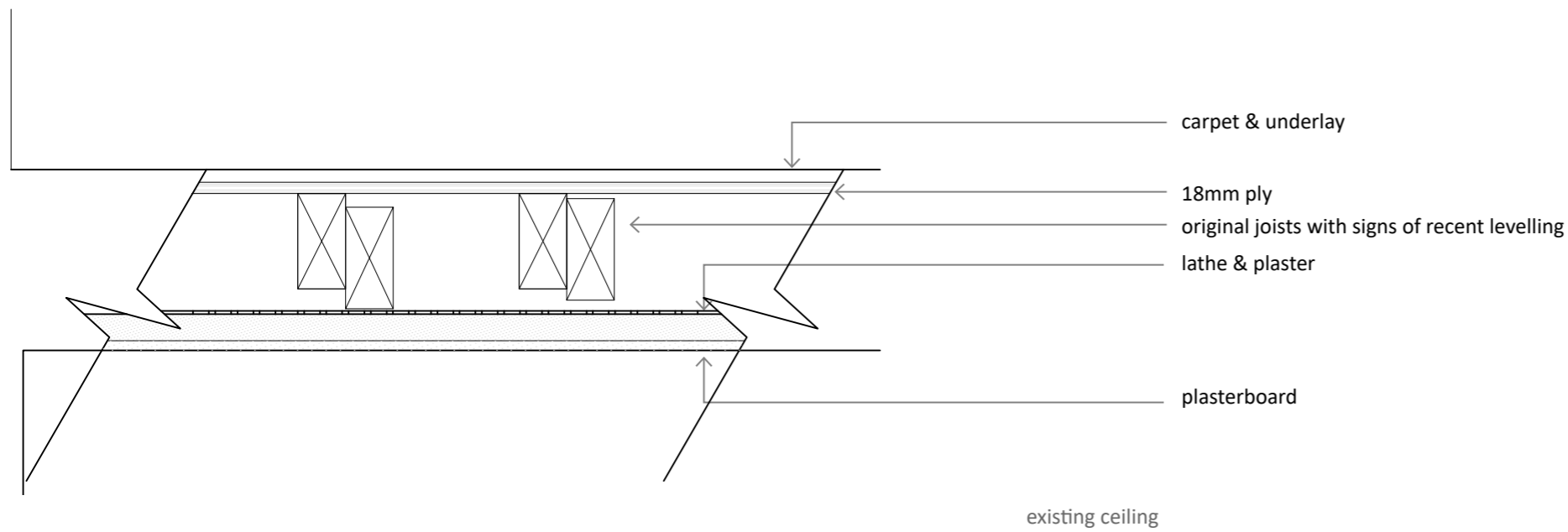
Specification description:
lathe & plaster over boarded with modern plasterboard

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting layout

Proposed specification:
plasterboard and skim



First floor

Living room, FF05



existing floor finish

Substrate:

Presumed original joists with modern mineral wool between, and herringbone struts. No signs of new timber joists or levelling observed. Modern plywood deck is installed over the aged joists structure, which is visibly unlevel- leaning towards front East corner.

Specification description:

painted timber T&G floorboards;
No signs of original floor finish was observed. Based on site evidence, we have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Condition:

unlevel

Proposed intervention:

strip out floorboards and deck

Proposed specification:

level as required; new ply deck, acoustic underlay and Grade A engineered timber boards



existing skirting board

Specification description:

timber ogee profile, painted.
Secondary 'bead' over skirting board appears to have been installed to conceal retrofit flooring junction along the perimeter.

Condition:

good

Age:

c. 20-30 years

Proposed intervention:

retain; infill with sections to match where required

Proposed specification:

re-decorate



existing dado rail

Specification description:

timber ogee profile; painted

Condition:

good

Age:

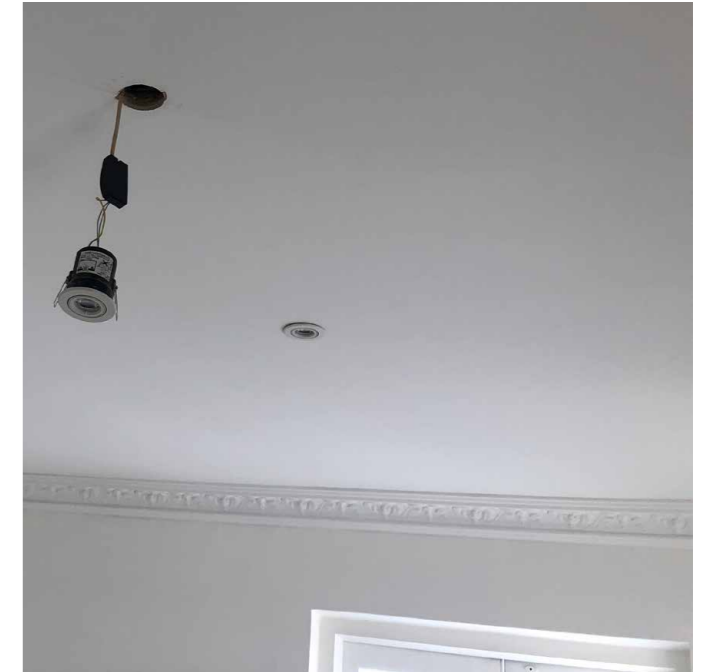
c. 20-30 years

Proposed intervention:

retain (except where new doorway opening is formed);

Proposed specification:

re-decorate



existing cornice

Specification description:

ornate, traditional

Condition:

good

Age:

unknown

Proposed intervention:

no works

Proposed specification:

re-decorate



existing radiator and case (RF.03)

Specification description:
 timber case with metal mesh to top and front panels;
 ribbed steel panel radiator

Condition:
 good

Age:
 unknown, however front panel appears modern

Proposed intervention:
 retain amended

Proposed specification:
 increase height to line top pane through with dado rail;
 metal mesh replaced with timber slats and top panel;
 paint over
 new steel radiator



existing fireplace (FP.F2)

Specification description:
 marble and metal surround; stone hearth

Condition:
 good

Age:
 unknown, however appears modern (mostly dates back to alterations undertaken in 1996)

Proposed intervention:
 retain all but the basket; renewed gas supply

Proposed specification:
 new basket



existing door (DF.03, DF.04)

Specification description:
 single glazed, timber frame French door

Condition:
 fair; some warping and rot due to water damage; very difficult to open, shut and lock

Age:
 unknown

Proposed intervention:
 remove bottom rail to door leafs, sill and threshold

Proposed specification:
 new hardwood replacement parts to match existing;
 local repairs to mullions redecorate entire doorset;
 new draft proofing; new ironmongery and hardware;
 new privacy blind (fabric) to internal reveals to provide privacy from streetscape views and surrounding properties





Substrate:
timber joists

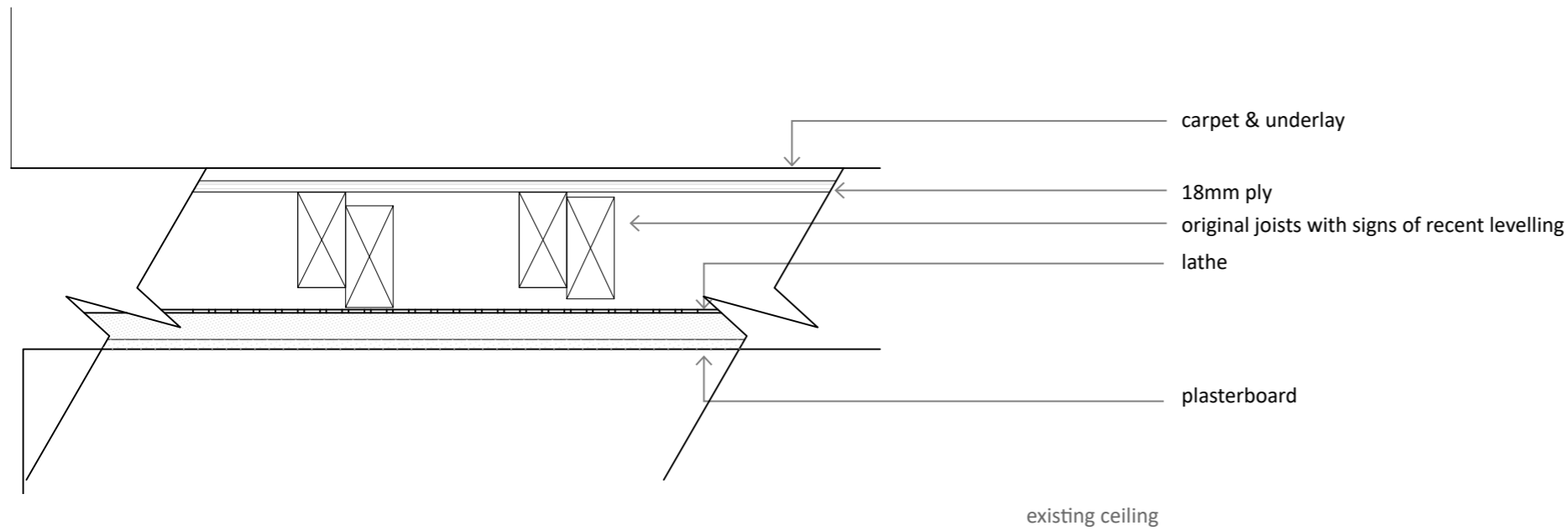
Specification description:
lathe (some plaster) over boarded with modern
plasterboard

Condition:
good

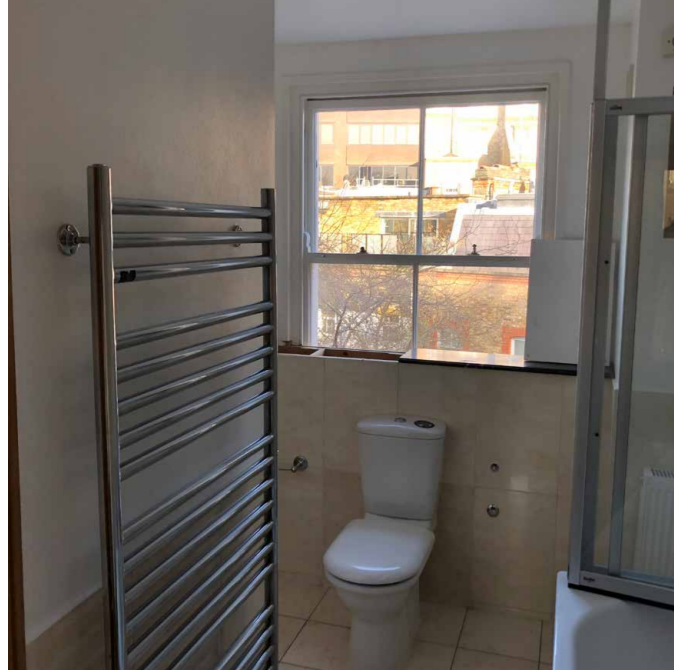
Age:
late 19th century with subsequent modern over
boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting
layout

Proposed specification:
plasterboard and skim



Second floor
Bathroom 1, FS.02



existing window (WS.04)

Specification description:
timber frame, single glazed, sashes;

Condition:
damage to architrave (internally)

Age:
unknown- appear modern (c. 20 years)

Proposed intervention:
retain window

Proposed specification:
repair architrave to match;
new draft proofing- staff & parting beads; new pulley & cord;
new ironmongery
redecorate to match;
new roller black-out blind (fabric) to internal reveal.



existing door (DS.01)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
amend jamb; infill retained architrave holes, brush filler

Proposed specification:
hinged, panelled door leaf; new ironmongery and hardware
painted



existing window (WS.05)

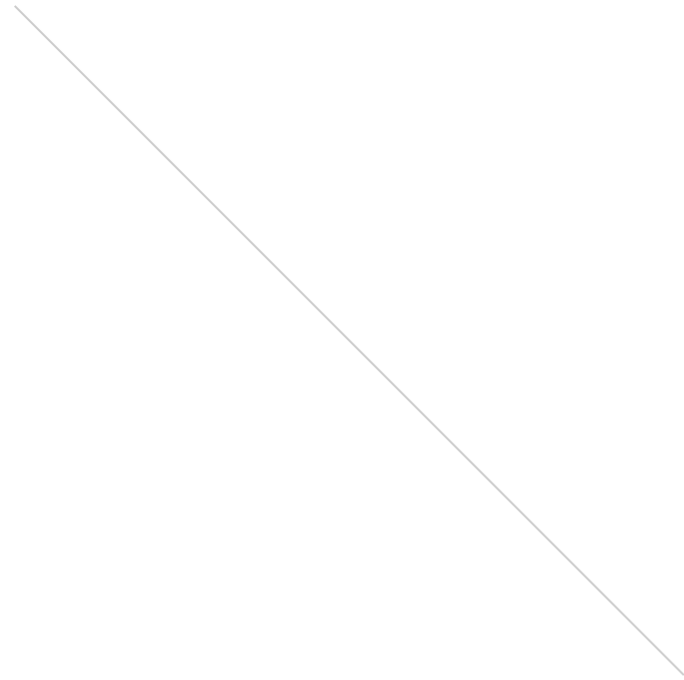
Specification description:
rooflight

Condition:
poor

Age:
modern (c. 20 years)

Proposed intervention:
remove

Proposed specification:
infill roof



existing cornice

Specification description:
none present

Proposed intervention:
install new ornate cornice in keeping with the building's
heritage



existing radiator

Specification description:
towel rail present

Condition:
could not be tested

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
new flat panel steel radiator enclosed within timber
case

Second floor
Bedroom 1, FS.04



existing floor finish

Substrate:
Presumed original timber joists (c. h170mm) appear to have been strengthened/levelled with new timber joists (c.h145mm). Modern plywood deck is installed over the modernised joists structure. Mineral wool insulation within void. No signs of original floor finish was observed.

Specification description:
carpet over underlay, over ply deck

Condition:
good

Age:
c. 5-10 years

Proposed intervention:
strip out floor finish

Proposed specification:
new ply deck (if required), acoustic underlay and new carpet



existing skirting board

Specification description:
timber ogee profile, painted.

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain, except along proposed new bathroom partition-
remove and set aside for re-use;

Proposed specification:
fit-back salvaged sections, infill with new to match
where required;
re-decorate



existing dado rail

Specification description:
timber ogee profile; painted;

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain, except along proposed new bathroom partition-
remove and set aside for re-use;

Proposed specification:
fit-back salvaged sections, infill with new to match
where required;
re-decorate



existing cornice

Specification description:
none present

Proposed intervention:
install new ornate cornice in keeping with the building's
heritage



existing radiator (RS.02, RS.03)

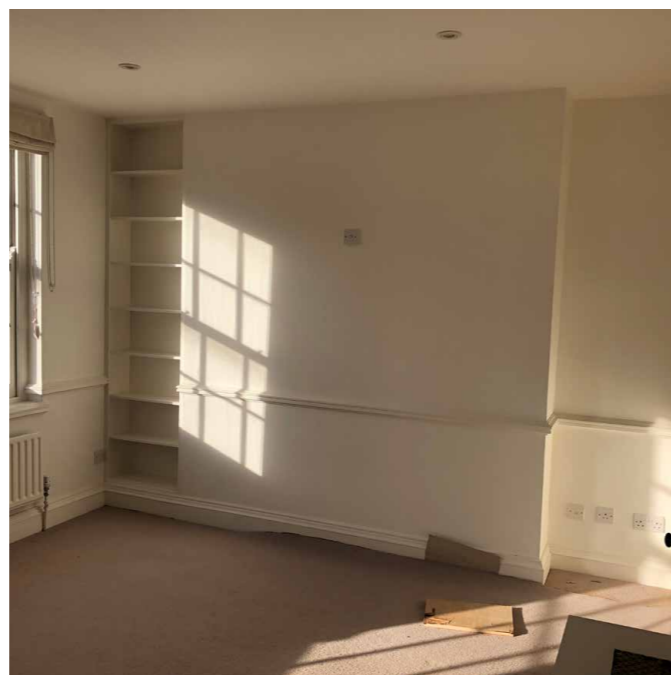
Specification description:
ribbed steel panel radiator

Condition:
could not be tested

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
new flat panel steel radiator enclosed within timber case, height to match retained window sills in adjusted location

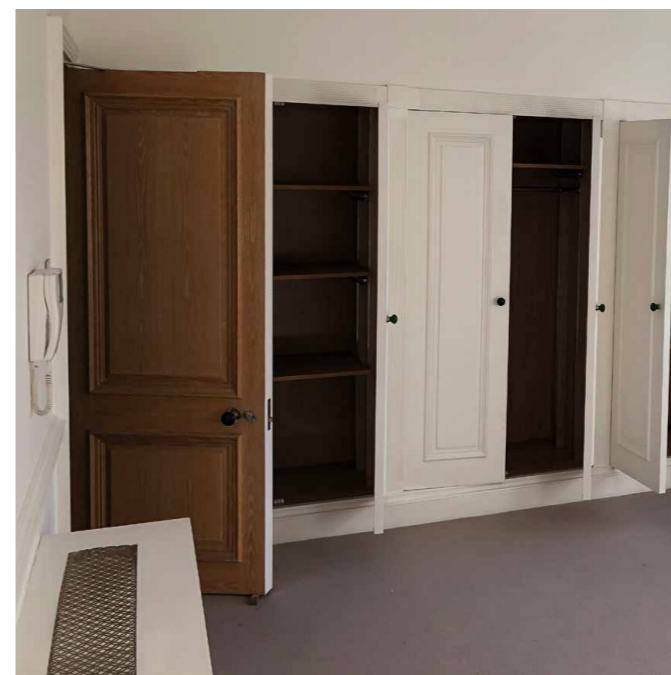


existing fireplace (FPS1)

Specification description:
blocked up

Proposed intervention:
none

Proposed specification:
n/a



existing door (DS.04)

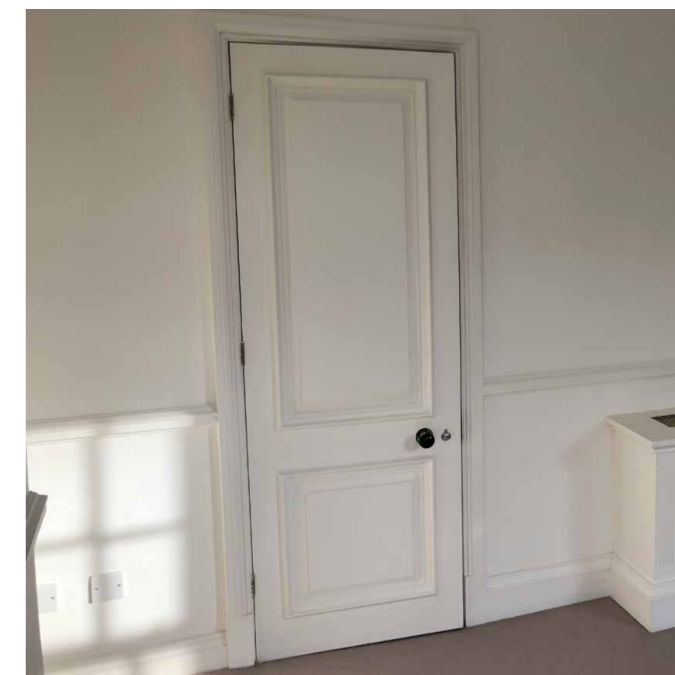
Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
amend jamb; infill retained architrave holes, brush filler

Proposed specification:
hinged, panelled door leaf; new ironmongery and hardware painted



existing door (DS.05)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
remove and set aside for re-use frame and architrave in new location; infill retained architrave holes, brush filler

Proposed specification:
hinged, panelled door leaf; new ironmongery and hardware painted
(re-use as door DS.05 to room FS.06)



existing window (WS.01, WS.02)



Specification description:
timber frame, single glazed, sashes;

Condition:
very poor- glass delaminated at corners/top rail

Age:
unknown

Proposed intervention:
retain frame and sash box

Proposed specification:
new sashes, single glazed- laminated 8.8mm acoustic;
new staff & parting beads; new draft proofing, pully & cord;
new ironmongery; repair & re-decorate external sill where damaged;
redecorate to match;
new roller black-out blind (fabric) to internal reveal.



existing ceiling



Substrate:
timber joists with some insulation between

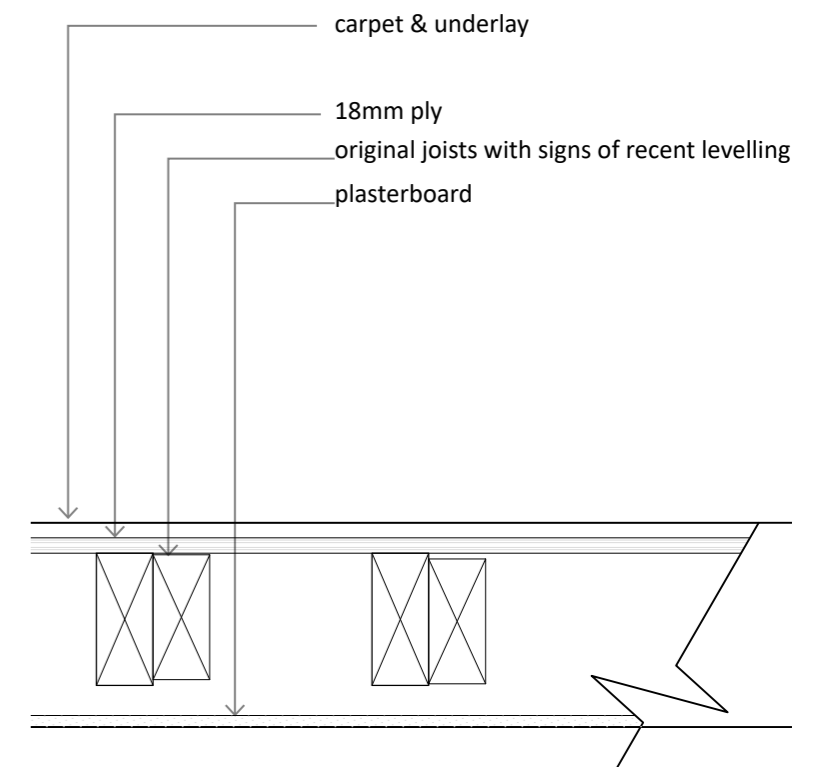
Specification description:
modern plasterboard

Condition:
good

Age:
late 19th century with subsequent modern over boarding (estimated c.20 years)

Proposed intervention:
retain as is; patch-in as required to suit new lighting layout

Proposed specification:
plasterboard and skim



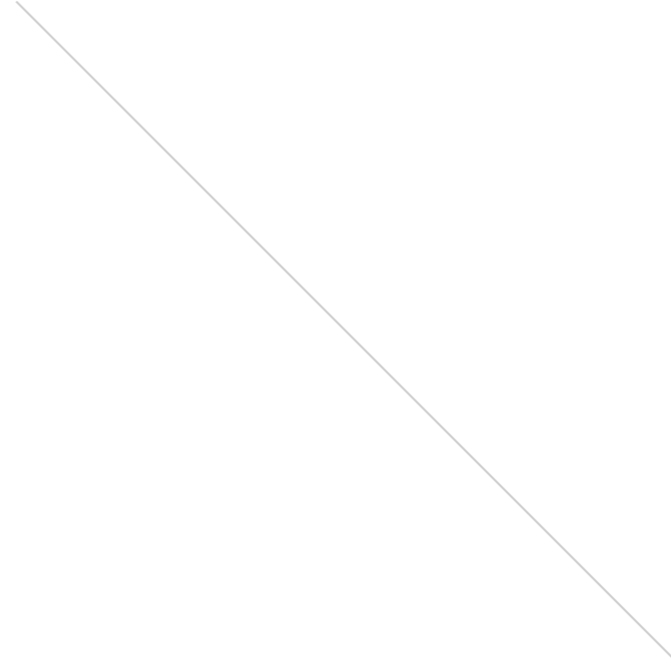
Second floor
Bedroom 2, FS.06



existing window (WS.04)



existing door (DS.03)



new door (DS.03 & DS.05)



new door (DS.03 & DS.05)

Specification description:
timber frame, single glazed, sashes;

Condition:
good

Age:
unknown- appear modern (c. 20 years)

Proposed intervention:
retain window

Proposed specification:
new draft proofing- staff & parting beads; new pully & cord;
new ironmongery
paint;
new roller black-out blind (fabric) to internal reveal.

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
infill retained architrave holes, brush filler

Proposed specification:
leave as framed opening

Proposed intervention:
install new doorset (leaf, frame, architrave) to match existing style (reduce thickness to 44mm)

Proposed specification:
new ironmongery
paint

Specification description:
ribbed steel panel radiator

Condition:
could not be tested

Age:
c. 20 years

Proposed intervention:
strip out

Proposed specification:
new flat panel steel radiator enclosed within timber case, height to match retained window sills

Third floor
Landing, FT.01 & FT.02



existing door (DT.01) and window

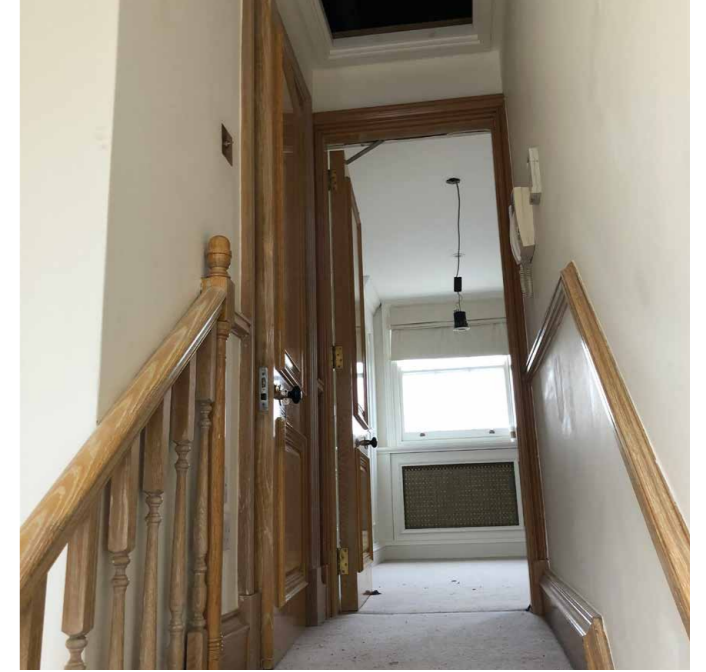
Specification description:
single glazed, timber frame

Condition:
rotten door panel and fixed window panel above; retain frames and sills

Age:
unknown

Proposed intervention:
remove door leaf and fixed window panel above

Proposed specification:
new hardwood replacement door and window to match existing- 4mm single glazing; redecorate entire doorset; new draft proofing, ironmongery and hardware



existing door (DT.02)

Specification description:
panelled timber, oversized thickness (c.50mm)

Condition:
good

Age:
c.20-30 years

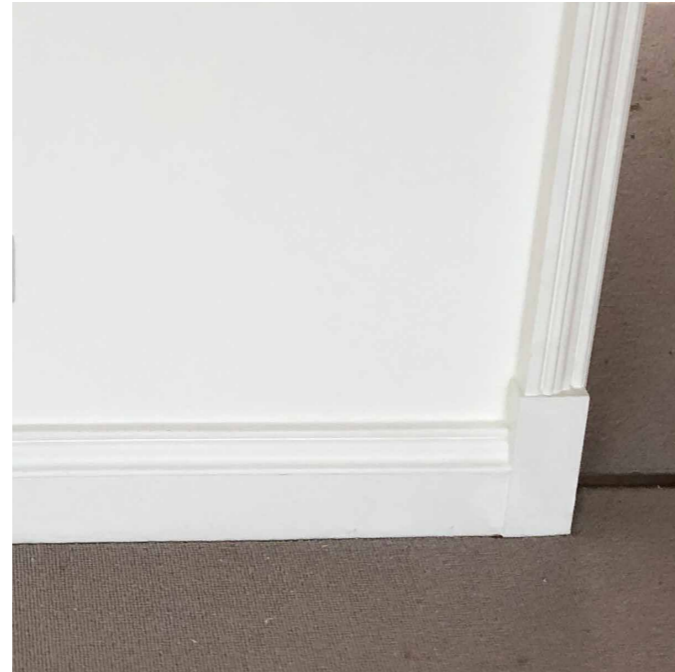
Proposed intervention:
remove door leaf;
amend jamb and width of architrave; infill retained architrave holes, brush filler

Proposed specification:
pocket panelled door leaf; new ironmongery and hardware painted

Third floor
Master bedroom, FT.03



existing floor finish



existing skirting board



existing dado rail



existing cornice

Substrate:
Presumed original joists (c.h165mm) appear to have been strengthened/levelled with new timber joists (c.h155mm). Modern plywood deck installed over the modernised joists structure. No signs of original floor finish was observed. We have concluded that the original flooring has been removed in the past, and current build-up most likely dates back to alterations permitted in 1996.

Specification description:
carpet over underlay, over ply deck

Condition:
good

Age:
c. 5-10 years

Proposed intervention:
strip out floor finish

Proposed specification
new ply deck (if required), acoustic underlay and new carpet

Specification description:
Based on condition and tone of timber skirting board within the landing, it is considered to be a modern feature.

Condition:
good

Age:
approx. 20 years

Proposed intervention:
retain, except where partition is being amended- set aside for re-use

Proposed specification:
re-use salvaged skirting board to new partition;
paint over

Specification description:
timber ogee profile; painted

Condition:
good

Age:
c. 20-30 years

Proposed intervention:
retain, except along proposed new bathroom partition-
remove and set aside for re-use;

Proposed specification:
fit-back salvaged sections, infill with new to match
where required;
re-decorate

Specification description:
ornate, traditional

Condition:
good

Age:
unknown

Proposed intervention:
remove 2no short sections

Proposed specification:
install new ornate cornice, in keeping with building's
heritage- to entire room perimeter;
decorate



existing radiator and case (RT.01, RT.02)



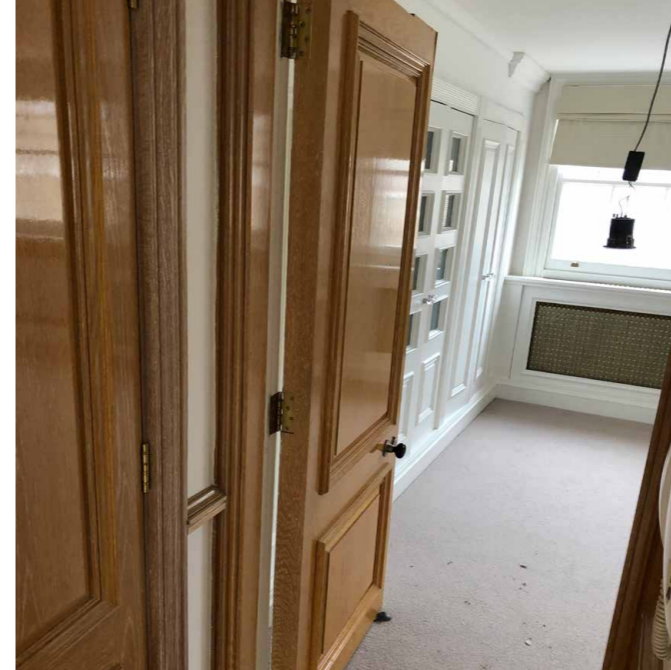
Specification description:
 timber case with metal mesh to top and front panels;
 ribbed steel panel radiator

Condition:
 fair

Age:
 unknown, however appear modern

Proposed intervention:
 retain case; remove radiator

Proposed specification:
 metal mesh replaced with timber slats and top panel;
 paint over
 new steel radiator



existing door (DT.03)



Specification description:
 panelled timber, oversized thickness (c.50mm)

Condition:
 good

Age:
 c.20-30 years

Proposed intervention:
 remove door leaf;
 amend jamb; infill retained architrave holes, brush filler

Proposed specification:
 hinged, panelled door leaf; new ironmongery and
 hardware
 painted



existing window (WT.01, WT.02)



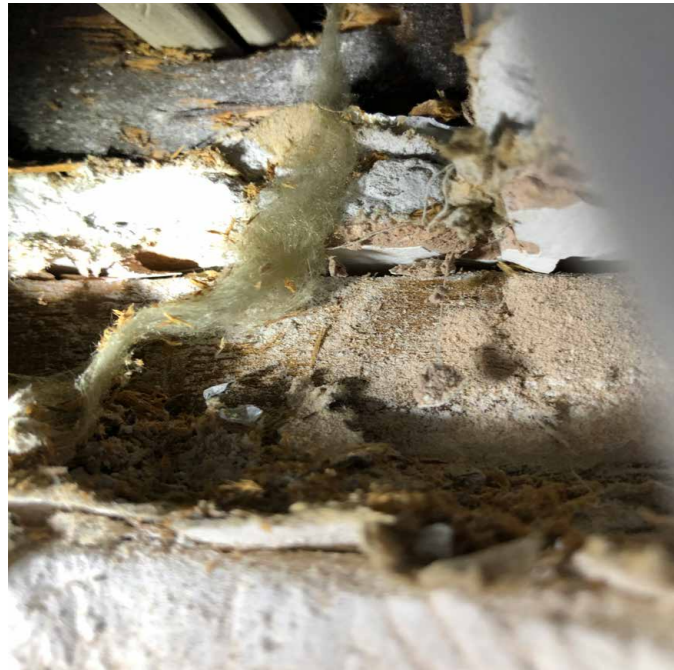
Specification description:
timber frame, single glazed, sashes;

Condition:
very poor- glass delaminated to corners/upper rail

Age:
unknown

Proposed intervention:
retain frame and sash box

Proposed specification:
repair sill; new sashes, single glazed- laminated acoustic
8.8mm glass; new staff & parting beads
new draft proofing, pulley & cord;
new ironmongery; repair & re-decorate external sill
where damaged;
redecorate to match;
new roller black-out blind (fabric) to internal reveal.



existing ceiling



Substrate:
timber joists with some insulation between

Specification description:
modern plasterboard

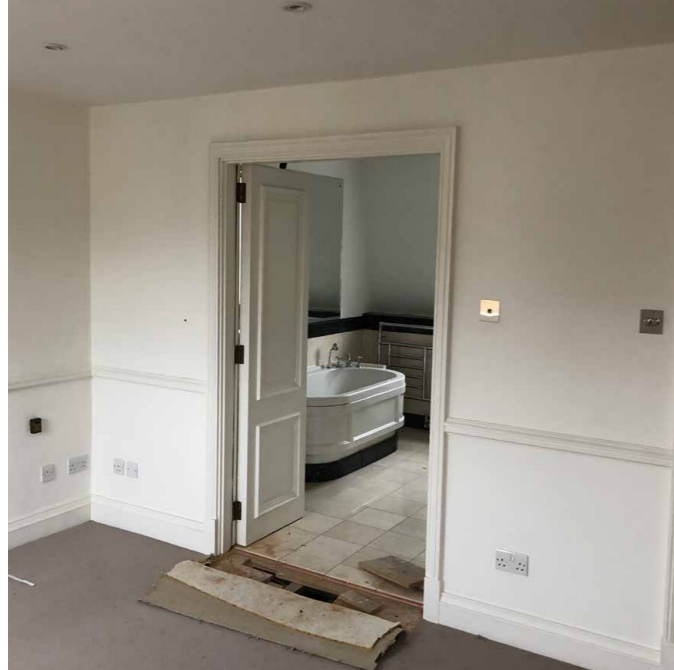
Condition:
good

Age:
c.20 years

Proposed intervention:
retain as is; patch-in as required to suit new lighting
layout

Proposed specification:
plasterboard and skim

Third floor
Bathroom, FT.04



existing door (DT.03)

Specification description:
panelled timber

Condition:
good

Age:
c.20-30 years

Proposed intervention:
remove door leaf;
amend jamb; infill retained amended architraves as
required, brush filler

Proposed specification:
pocket, panelled door leaf; new ironmongery and
hardware
painted



existing window (WT.03)

Specification description:
timber frame, single glazed, sashes- no mullions

Condition:
fair;
style not in keeping with the building's heritage and
other windows

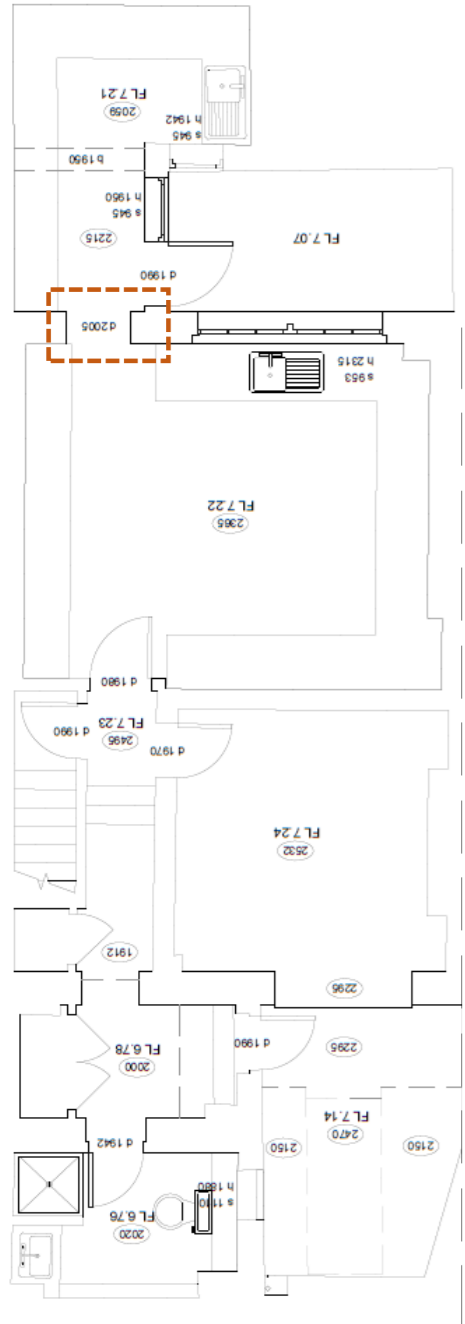
Age:
unknown

Proposed intervention:
retain frame

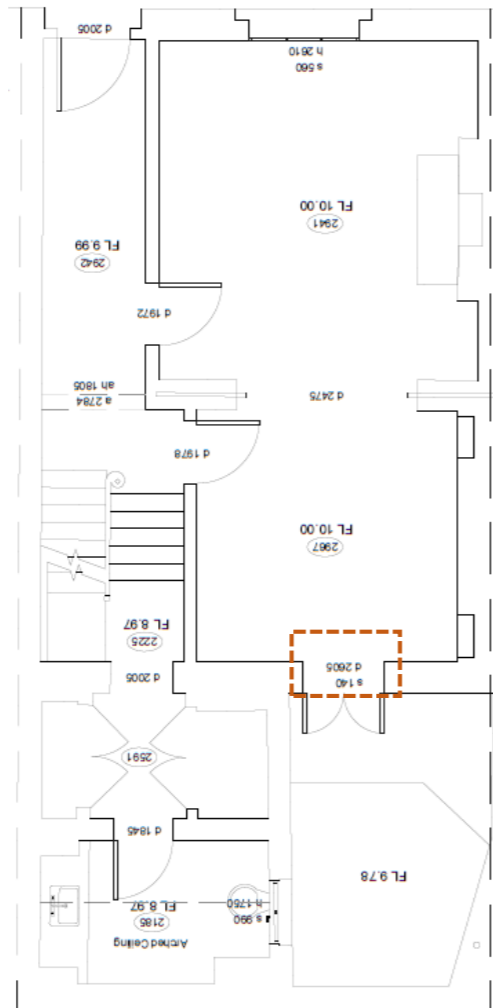
Proposed specification:
repair frame and new spring balance; new sashes single
glazed (4mm)- to match mullion & transom design
elsewhere
new ironmongery;
redecorate to match



Floor opening up location key



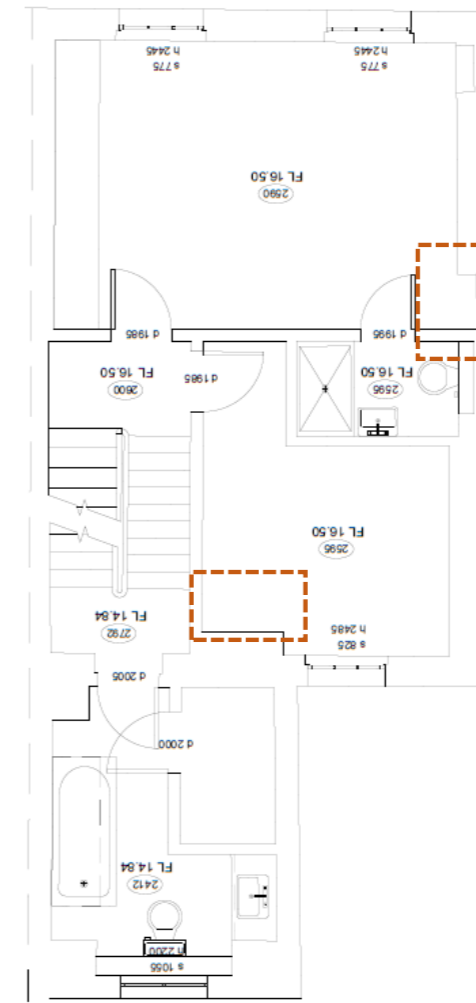
Lower Ground floor



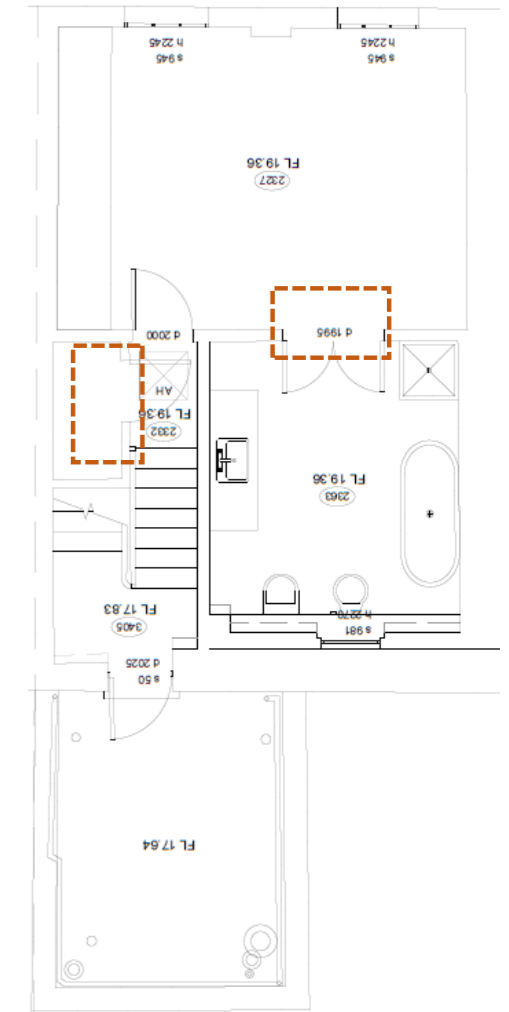
Ground floor



First floor



Second floor



Third floor