

New contemporary plain door blank and frame.

New sanitaryware to existing positions.

New wall tiling throughout the room.

Replacement services within retained riser.

Solid infill to window aperture.

Reduce width of existing opening.

New lightweight construction stud wall and contemporary pocket door.

New lightweight construction false wall, concealing replacement services behind.

Infill ceiling dry lining where bulkheads removed.

New radiator.

New joinery to retained alcoves.

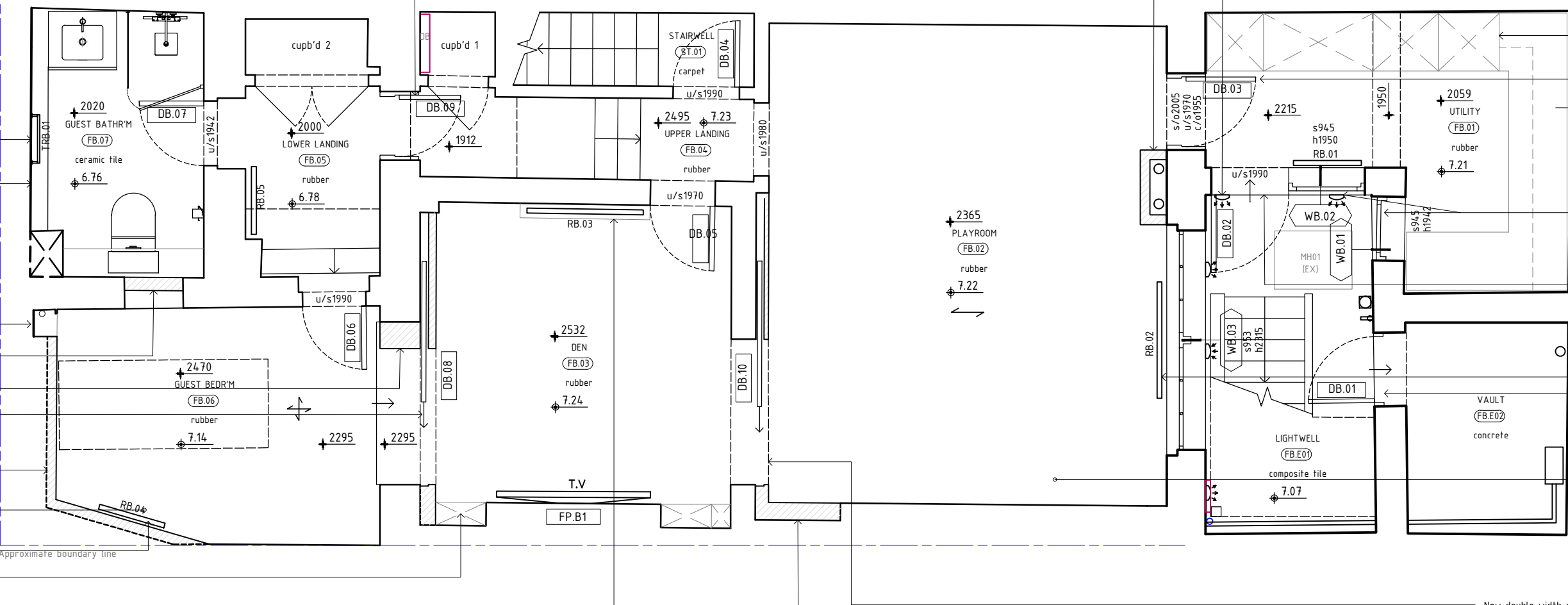
New radiator and timber case, to match existing elsewhere.

Approximate boundary line

Approximate boundary line

Approximate boundary line

KEY	
←XXX	FFL
→XXX	FCL
DB.XX	DOOR ID
FB.XX	ROOM NUMBER ID
WB.XX	WINDOW ID
FP.XX	FIREPLACE



Anticipated new boxing out to kitchen services, incl. extractor ductwork- TBC upon opening up and M&E design.

New vent above door, to suit new kitchen location (vent kept to minimum and located away from the principal Southerly elevation).

New fit-out.

New contemporary doorset to retained opening.

New single glazed windows to match existing profiles, incl. frames.

New timber door, paneled to match style of main entry door @ Ground floor level.

New radiator.

New timber door to match existing.

Retained suspended timber floor void (below Playroom & Den) to be fitted with new insulation and waterproofing build-up. Inspect sufficient ventilation provided and add as required.

New double width opening, based on proportions of existing single doorways, fitted w/ contemporary pocket door. Structure to SE's detail-TBC.

Stud false wall.

PLANNING
22/01/21

RAINSFORD LONDON

This drawing incorporating the original designs and conceptions of the designer is protected by copyright and is the sole property of the designer. No part whatsoever may be copied, reproduced, modified or used in any manner without written permission © Rainsford Ltd 2015

Approved by Client: _____ Date: _____

Information not to be used other than as defined by the drawing status.
All dimensions are in millimeters and levels in meters.
This drawing is to be read and not to be scaled.
This drawing is a copyright and property of Rainsford Ltd, is not to be produced, copied, handed over to third party or used for any other purposes other than for which it is intended.
All dimensions shall be verified on site prior to start of work. Any discrepancy shall be brought to the notice of the architects.
The construction manager / contractor must check all dimensions and details and be responsible for the same. Any discrepancies shall be brought to the notice of the architects and consultants. Any discrepancies noticed shall be brought to the attention prior to execution of work.
This drawing shall be read in conjunction with all relevant architectural, structural and services drawings. Any discrepancies noticed shall be brought to the attention of the architects and consultants. Any discrepancies noticed shall be brought to the attention prior to execution of work.
Drawing approval is for the conformity with outline design intent only and does not relieve the project managers / contractors / sub-contractors from the accuracy, integration and stress for purpose of design.
Design drawings copyright Rainsford Ltd.

- General notes:
- Floors leveled throughout w/ ply deck, acoustic underlay. Retained skirting fit back, once new floor build-up in place.
 - New floor finishes throughout.
 - New radiators throughout. Re-use cases where possible.
 - New door panels as indicated, to amended existing frames/architraves, unless otherwise specified. Architraves trimmed in situ at base to accommodate new floor build-up.
 - New lighting throughout.

- New services' infrastructure to be throughout.
- Ceilings, cornice, skirting boards, dado rails, wall paneling retained throughout, unless otherwise specified- minor repairs as required.
- Repair wall lining where damaged. New plaster skim to all walls and ceilings (cornicing retained)
- Stairs: screw down treads to prevent creaking and paint. Fix handrail where racked and stabilise spindles- new replacement to match as required.



Rev.	Modification	Date	Title:
			26 LOWER BELGRAVE STREET
			BASEMENT PROPOSED PLAN
			Status: PLANNING
			Scale: 1:50 DWG No: RAI055.PL.120
			Format: A3 Start date: 19/01/2021
			Drawn: BK Issue date: 22/01/2021
			Checked: RM Sheet:
			Contractor reference: Revision:
			Rainsford Ltd. The Annex, Hartley House, Oxford Road, Donnington Newbury, Berkshire, RG14 2JD info@rainsforddb.com www.rainsforddb.com Tel: +44(0)29 7381 1669