

- Safety Glazing – Part N
- a) Glazing within 800mm of floor level
 - b) Glazing to doors within 1500mm of floor level and
 - c) Glazing to side lights within 1500mm of floor level within 300mm of doors.

New Window to have Energy Rating (WER) of bank C or better or a U-Value of 1.6W/m²k or better

Energy Efficient Lighting
Fixed internal energy efficient lighting in new extensions must not be less than 75% of all the fixed low energy light fittings (fixed lights or lighting units) in the main dwelling space (excluding cupboards & storage areas), fitted with lamps which must have a luminous efficiency greater than 40 lumens per circuit-watt and a total output greater than 400 lamp lumens

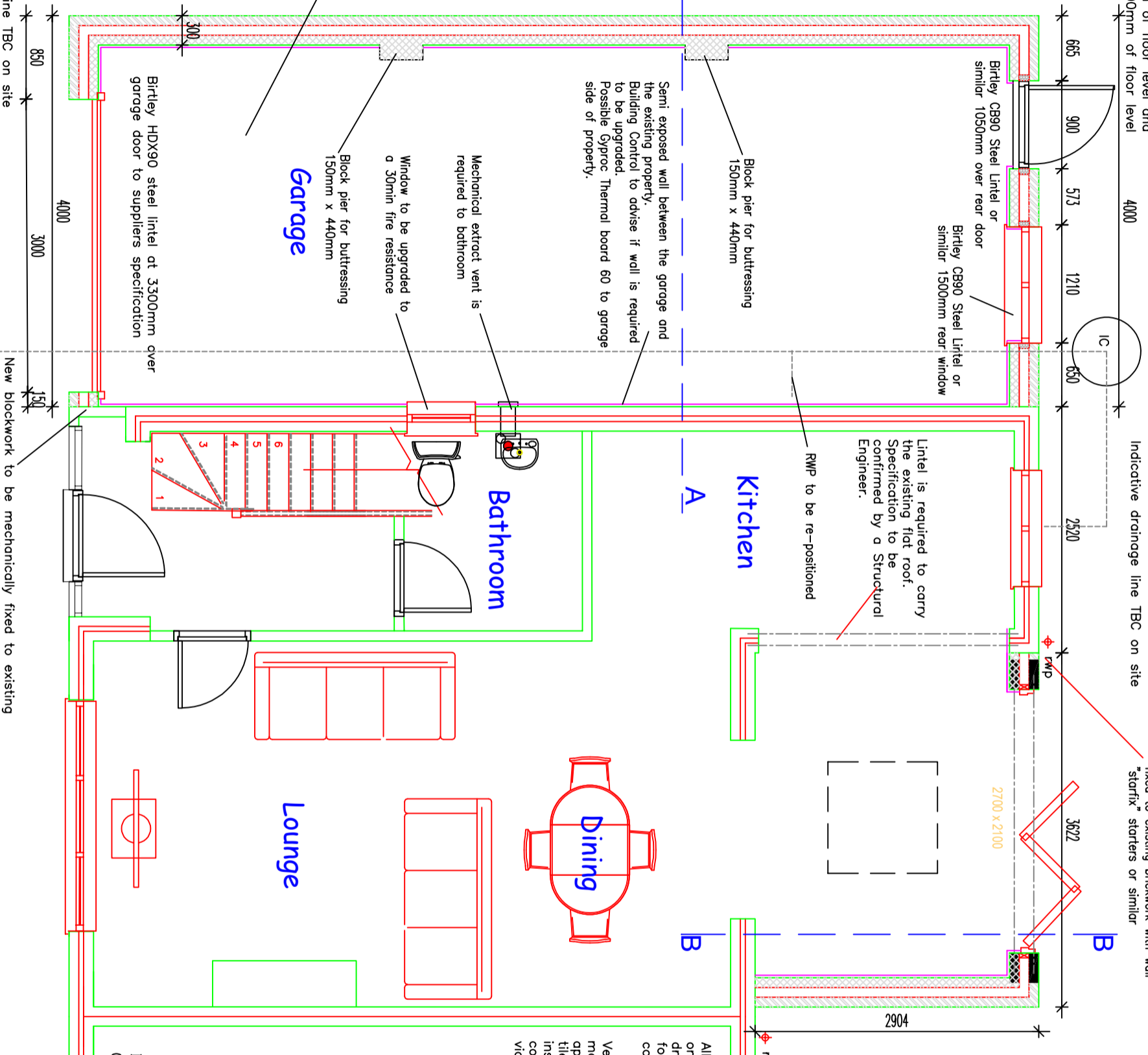
All dimensions must be checked on site and not scaled from this drawing. The overall responsibility for this will rest with the principle contractor

Garage floor slab set level with house floor slab. Floor to be laid with 50mm fall from rear wall to entrance door.

Garage Ground Bearing Concrete Floor 150mm thick concrete slab with 1 layer A639 steel mesh positioned mid depth of the slab where required typically A193 or A252 on 1200g polythene damp proof course on sand blinding on 150/200mm minimum compact hardcore

Vertical DPC installed at junction between facing brickwork and internal garage blockwork around garage opening to prevent moisture transition. Refer to LHMV Standard Detail (SD.01).

Indicative drainage line TBC on site



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New blockwork to be mechanically fixed to existing brickwork with wall "starfix" starters or similar

Lintel is required to carry the existing flat roof. Specification to be confirmed by a Structural Engineer.

RWP to be re-positioned

Semi exposed wall between the garage and the existing property. Building Control to advise if wall is required to be upgraded. Possible Gyproc Thermal board 60 to garage side of property.

Block pier for buttressing 150mm x 440mm

Mechanical extract vent is required to bathroom

Window to be upgraded to a 30min fire resistance

Block pier for buttressing 150mm x 440mm

Birtley HDX90 steel lintel at 3300mm over garage door to suppliers specification

New blockwork with wall "starfix" starters or similar

Note:
Do not scale from this drawing. All discrepancies should be reported to MDB Plans. This drawing should be read in conjunction with the standard construction specification and standard details.

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Velux to be installed to the manufacturers instruction with the appropriate flashing kit to suit tile. Double trimmers to be installed around roof light connected to main roof timbers via joist hangers



Revisions A Amended to YBC details Rev Details Date 26/02/20		Planning & Drawing Services 4 Trinity Lane Beverley East Yorkshire HU17 0DY Tel: 07865297505 e-mail: mdbplans@yahoo.co.uk		Project: 355 Greenwood Avenue Hull	Drawing No: 005	Revision: A
Title: Proposed Ground Floor Plan		Scale: 1:50 @ A3	Date: January 2020			