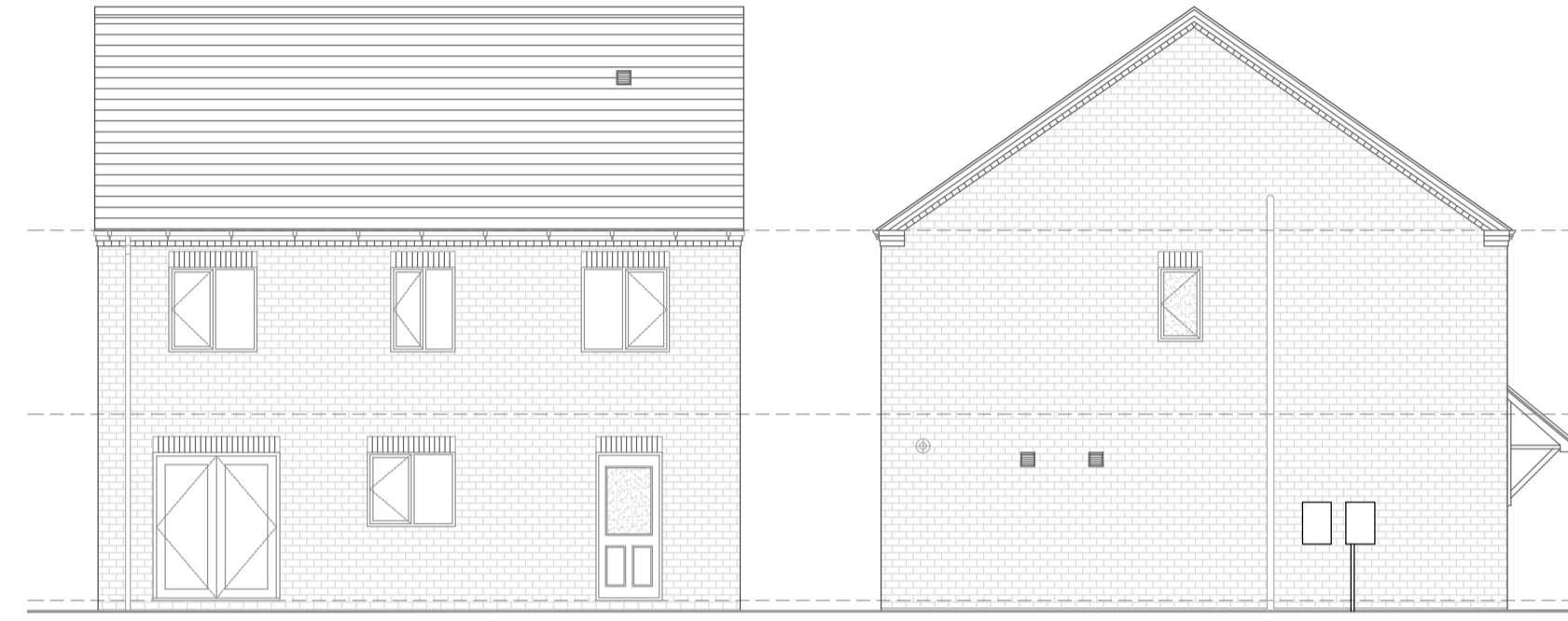


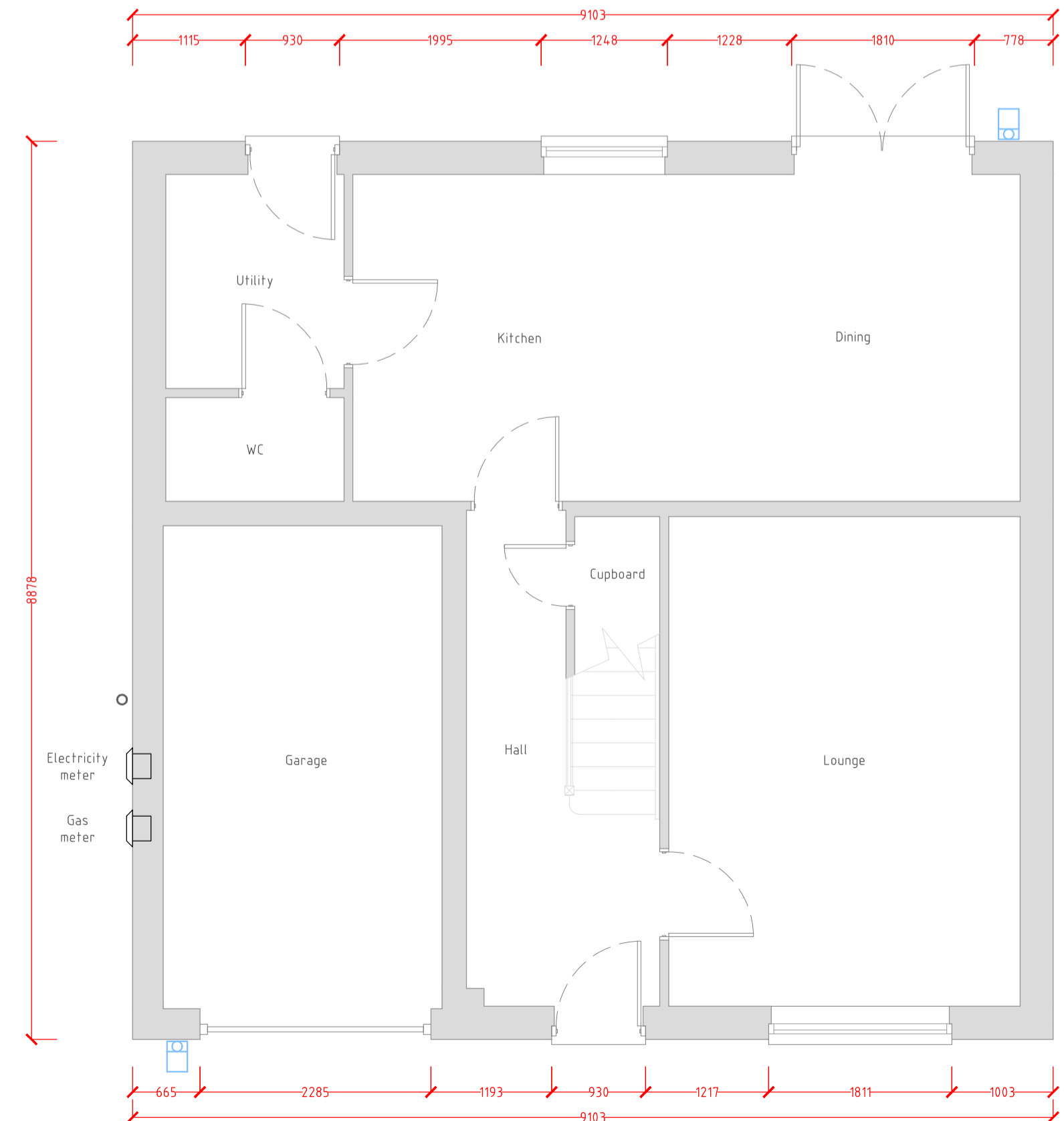
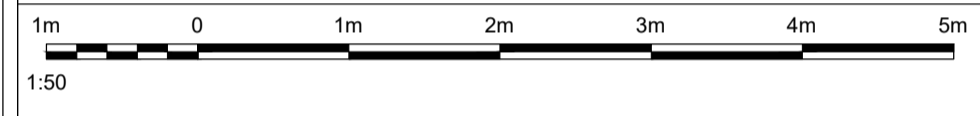
Existing Front Elevation

Existing Side Elevation



Existing Rear Elevation

Existing Side Elevation

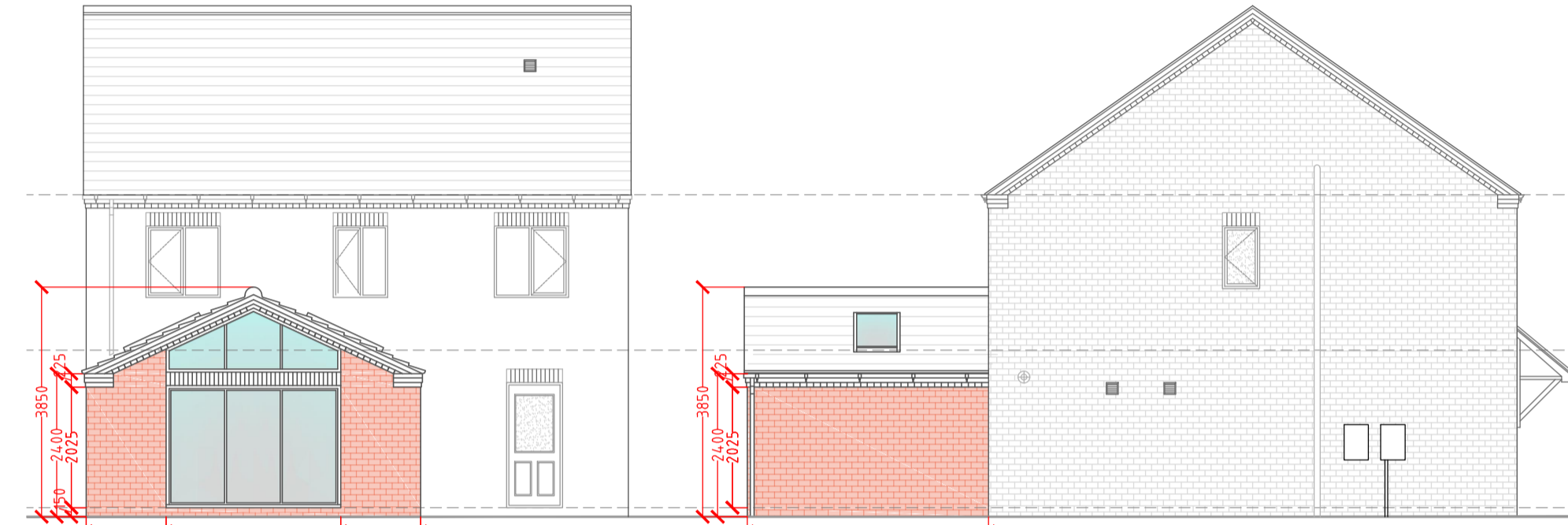


Existing Ground Floor Layout



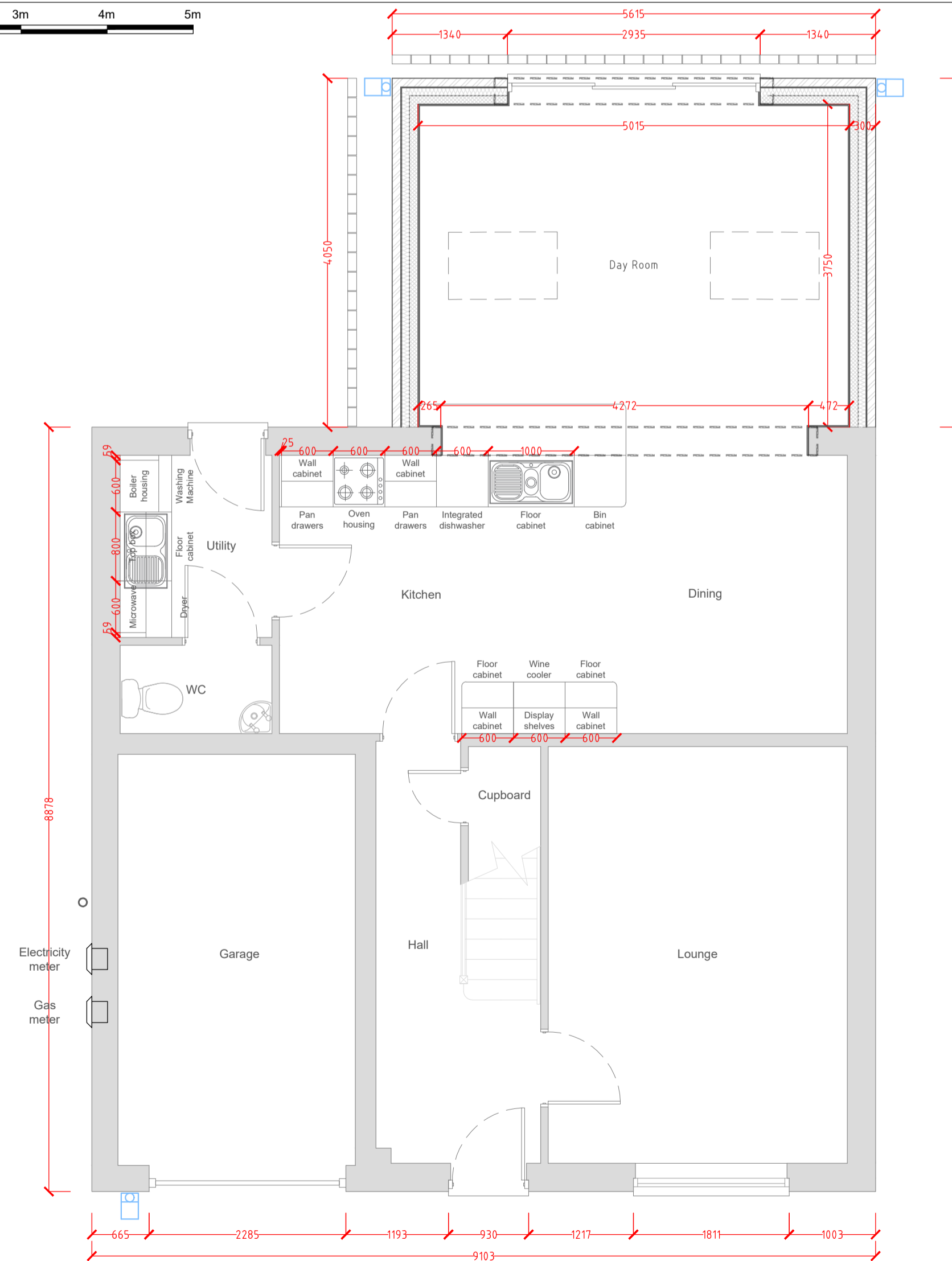
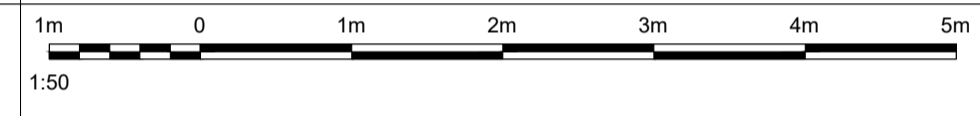
Existing Front Elevation

Proposed Side Elevation



Proposed Rear Elevation

Proposed Side Elevation



Proposed Ground Floor Layout

**DANGER** ELECTRICITY service into existing buildings.  
 Care must be taken when any excavation is taking place near these positions. Confirm position of gas supply pipes with National Grid (0800 11 999) before commencing on site, positions are to be marked on site and also on plans once confirmation has been received.

**DANGER** GAS service into existing buildings.  
 Care must be taken when any excavation is taking place near these positions. Confirm position of gas supply pipes with National Grid (0800 11 999) before commencing on site, positions are to be marked on site and also on plans once confirmation has been received.

**DANGER** WATER supply to be located and isolated prior to removal of any equipment, water supply to be adequately protected at all time. If advice is required contact relevant water authority.

**DANGER** Electrical safety, all electrical required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. To complete the Council should be satisfied that Part P has been complied with. This will require an appropriate BS 7671 2018 Regulations Requirements for Electrical Installations, IET Wiring Regulations electrical installation certificate to be issued for the work by a person competent to do so.

**Drawings**  
 The drawings are the copyright of SAY Architectural. The drawings must not be scaled from. The contractor should take and verify all dimensions on site before proceeding with any works. All dimensions shown on the drawings are for planning purposes only.

All dimensions must be checked onsite prior to works commencing, variations in requirements, depth of plaster etc., must be checked for.  
 Where new walls are shown aligned with existing walls, this must be checked by the physical removal of brickwork and/or plaster to establish the actual position of the wall being attached to.

Site to be used only for demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from the property i.e. electricity, gas, water, MCB, BT, firewater and telecommunication does not, at any time interfere with the supply of services into / from adjacent properties, is not advised, if this proves to be the case, then the contractor is to fully advise properties to be affected as soon as possible and is to negotiate with adjacent properties regarding any appropriate action that may be required.

Prevent smoke, dust, fumes, spillage and other harmful activities where possible. No fires to be allowed on site at any time and noise levels to be kept to a minimum and complying with BS 5228-2:2009+A1:2014 "Code of practice for noise and vibration control on construction and open sites". Remember that adjacent properties are occupied and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.

All positions of drainage runs and types of drainage indicated on drawings are provisional only, contractor to check cover and position of all drainage systems to ensure adequate fall is to ensure Building Control officer is satisfied with site inverts before excavation of drainage runs.

All works are to be carried out with the relevant current British Standard Codes of Practice and Building Research Digest Papers, and to be to the approval of the Local Authority and all Statutory Undertakings. All materials shall be suitable for the purpose intended and shall be used strictly in accordance with the manufacturer's recommendations. All necessary calculations are to be submitted to the Local Authority for approval prior to the commencement of work on site.

Robust details shall be adopted to prevent cold bridging, air leakage etc., continuity of insulation shall be provided at lintels, floors and all roof and wall junctions by the provision of ventilation trays. All joints are to be fully detailed with jointing compound. It is the owners responsibility to ensure that the property and site is free from any covenants or other restrictions, covenants or assessments.

Attention is drawn to the Party Wall Act 1996. The client or owner must give notice in writing to neighbours of the intended building operation and excavations and receive approval of same.

Attention is drawn to the client with regard to the CDM 2015 regulations. These drawings and specifications are intended for Planning & Building Regulation purposes only. The scope of this does not go any further. It is the duty of the client under the regulations to appoint a "Principal Contractor". The "Principal Contractor" will then take on the role of "Principal Designer" for purposes of the "Preconstruction" and "Construction" phases of the project under the CDM 2015 regulations when it gets under way in order that a Health & Safety File and construction plan, is provided for the site in order to reduce risks through the design processes of construction etc.

**CLIENT**  
 Mr & Mrs Young  
 Kensington Avenue  
 Hull  
 East Yorkshire

**PROJECT**  
 Proposed rear extension

**DRAWING**  
 Existing and proposed plans and elevations

**STAGE**  
 Design  
 Planning  
 Preliminary Building Regulations  
 Building Regulations  
 Construction  
 As Built

Project no: 020006 Drawing no: 001 Revision: -  
 Scale: Various @ A1 Date: 10/01/2020 Drawn by: SAY

Rev	Description	Date