

Client: Mr Richard Spector 35 Lauderdale Ave, Cleveleys, FY5 3JP
Single storey rear extension and alteration to bay window
Drawing No: DG20-01
Ground floor layout plans
Date: December 2020
Scale: 1:50
DAVIS Group davis-group@outlook.com

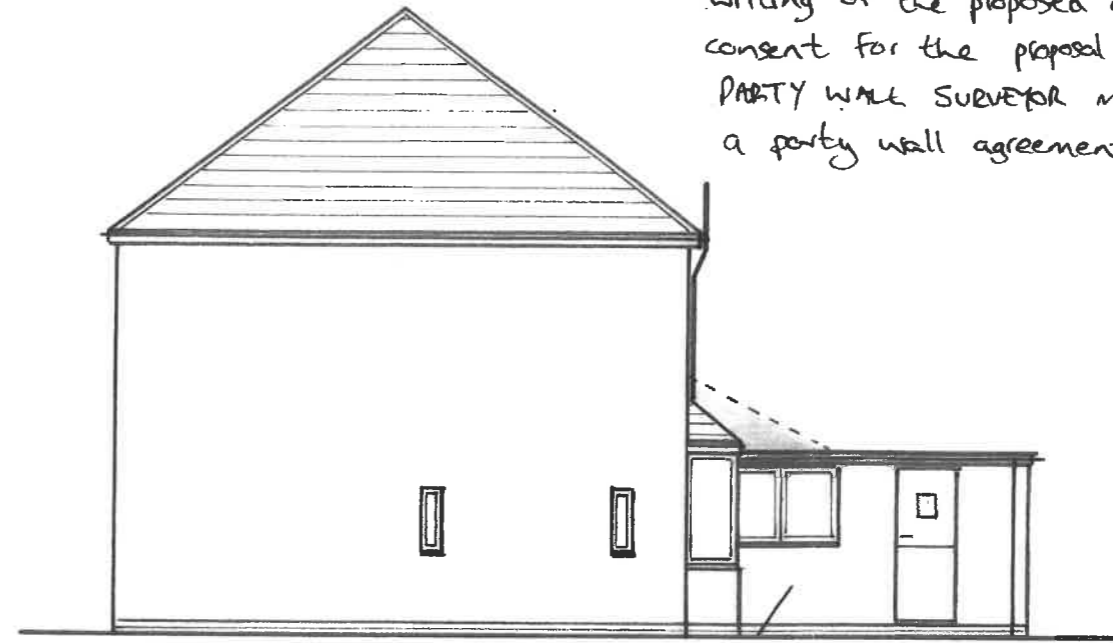
FLOOD RISK NOTES

THE PROPERTY IS LOCATED IN A FLOOD RISK AREA WHICH BENEFITS FROM LOCALISED FLOOD DEFENCE PROTECTION. A DAMPROOF MEMBRANE IS TO BE INCORPORATED INTO THE FLOOR CONSTRUCTION AND LAPPED AND SEALED TO THE DPC. ALL NEW SOCKETS & SWITCHES ARE TO BE INSTALLED A MINIMUM OF 450MM FROM G.L. THE APPLICANT HAS BEEN ADVISED TO REGISTER WITH GOV.UK FOR EARLY WARNINGS IN THE EVENT OF FLOODING.

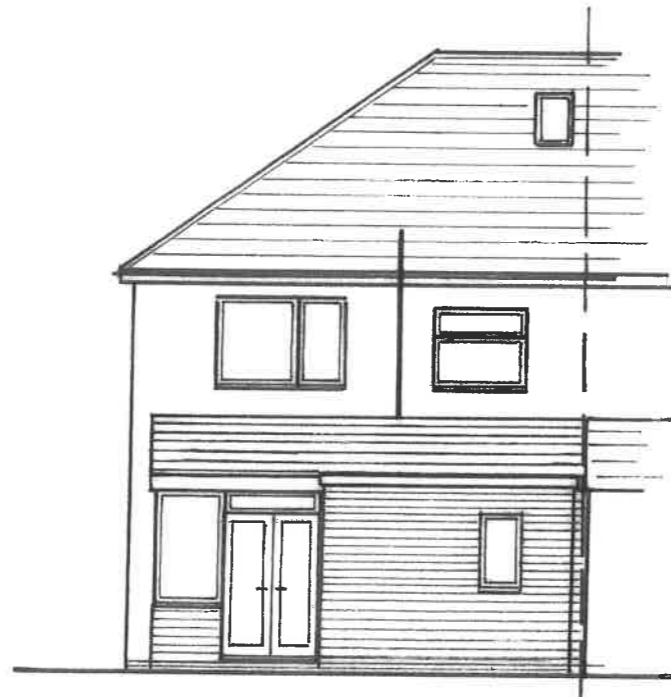


EXISTING REAR ELEVATION

Under the Party Wall Act, the owner must notify the owners of adjacent properties in writing of the proposed development and obtain consent for the proposal prior to commencement. A PARTY WALL SURVEYOR may be required to provide a party wall agreement.



EXISTING EAST ELEVATION



PROPOSED REAR ELEVATION



PROPOSED EAST ELEVATION

MATERIALS: Doors, windows & fascia to be black upvc to match existing. Bay roof to be covered with red clay small tile as existing. External walls to main extension to be red rustic facing brick.

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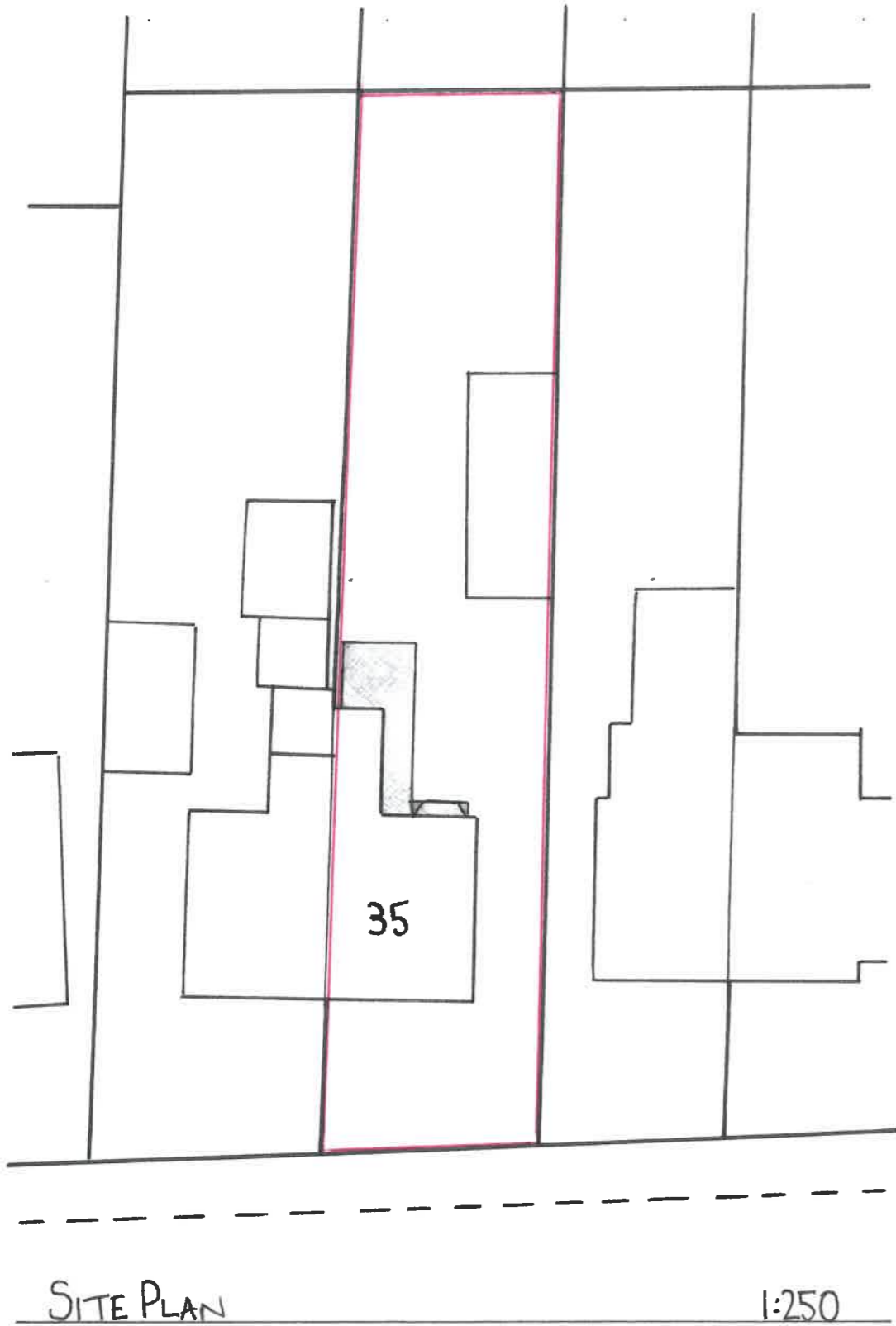
Drawing No:
DQ20-02

Existing and proposed elevations

Date:
December 2020

Scale:
1:100

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LOCATION PLAN

1:1250

Client:
Mr Richard Spencer
35 Lauderdale Ave,
Cleveleys, FY5 3JP

Single storey rear
elevation and
alteration to bay
window

Drawing No:
DG20-03

Site plan and Location
Plan

Date:
December 2020

Scale:
1:50

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