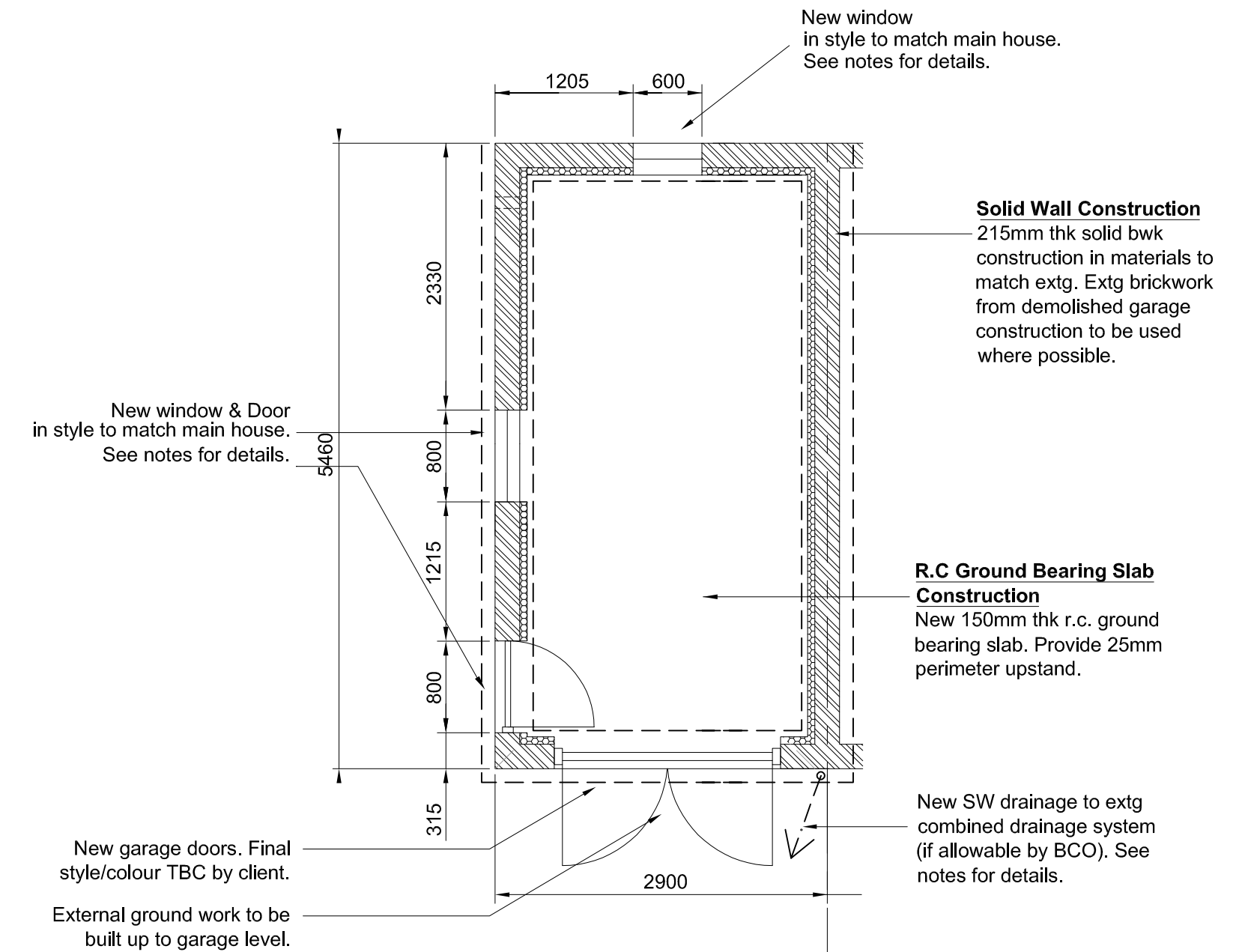
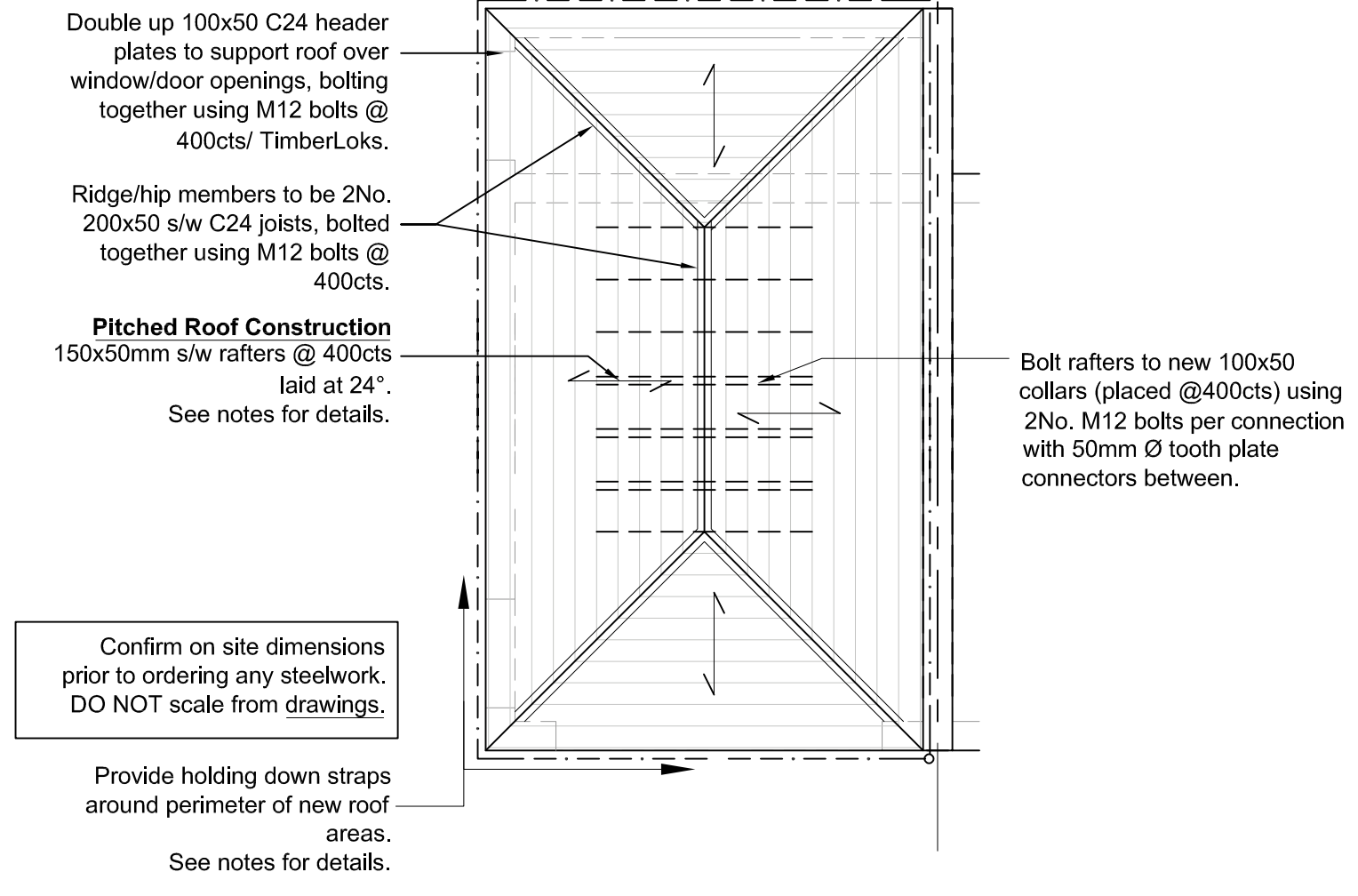


**Construction Notes**

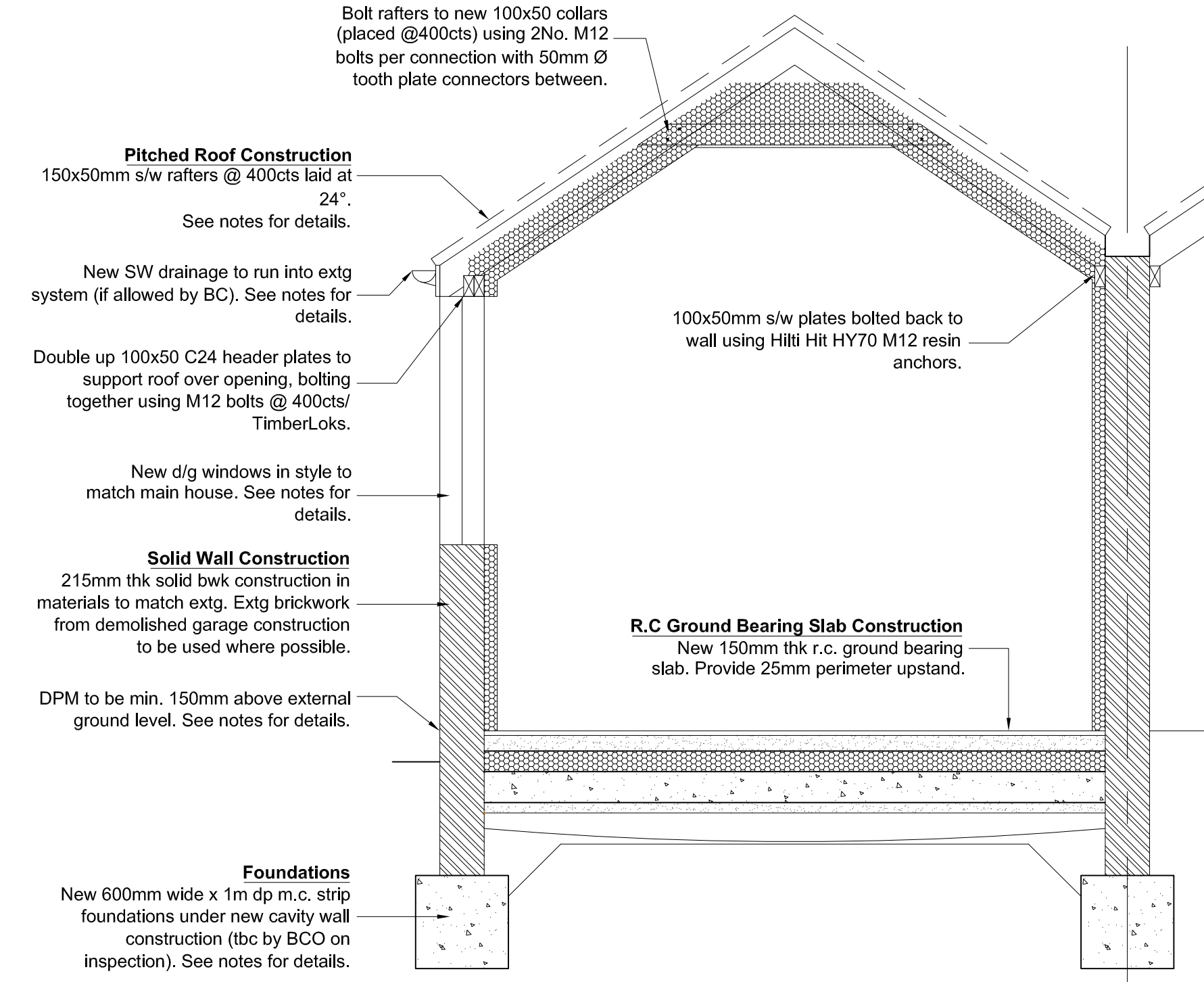
- Solid Wall Construction**
  - 215mm thk solid bwk construction in materials to match extg (re-use materials from existing garage as possible).
- R.C. Groundbearing Slab**
  - 75mm thk self leveling screed. UFH as indicated.
  - Min.75mm Kingspan Kooltherm K103 Floorboard. Provide 25mm thk insulation upstands around perimeter of new R.C. slab.
  - 150mm thk r.c. ground bearing slab. Slab reinforced using 1no. layer of A242 mesh placed centrally
  - 1200g Visqueen dpm
  - 50mm sand blinding
  - 150mm thk well compacted hardcore.
- Pitched Roof Construction**
  - Tiles to match colour & style of main roof on 40x25mm s/w battens
  - Tyvek/ Nilvent (or similar approved) breathable felt
  - 150x50mm s/w C24 rafters @ 400cts. Roof pitch as indicated. Tiles MUST suit pitch
  - 100x50 collars @400cts bolted to rafters using 2No. M12 bolts per connection with 50mm Ø tooth plate connectors between.
  - 100mm thk Kingspan Kooltherm K7 Pitched Roof Board between rafters. Maintain 50mm airgap between felt & new insulation, with ventilation tiles on roof & at ridge.
  - Kingspan Kooltherm K118 min.52.5mm insulated p/bd mechanically fixed to w/s
  - Insulate above collars using 300mm earthwool.
  - 12.5mm p/bd mechanically fixed to u/s of rafters
  - 5mm plaster skim
- Foundations**
  - Foundations under new walls to be min. 600mm wide (450mm wide under internal l/b walls unless specified) & to be taken down depths of 1m or to suitable subsoil (as specified by building control officer).
- Drylining**
  - 70mm Gyproc Thermaline Super dot & dabbed to cleaned & prepared walls, finished with 5mm plaster skim. Windows to be treated with 27mm thk Thermaline Plus in order to reduce/eliminate cold bridging issues, again finished with 5mm skim. All new solid walls to habitable areas to be drylined.
- Damp Proof Course**
  - Material to be Polyethylene positioned at foot of external wall min. 150mm above finished ground level.
- Flashings**
  - Provide Code 4 lead flashings where roof construction abuts new & extg walls. Taken into walls min. 25mm, dressing down min. 150mm and over roof, min 100mm.
- Holding Down Straps (Eaves)**
  - Provide metal holding down straps @ 1200cts around perimeter of extension roof, 600mm long with 100mm bob, plugged & screwed to block using min. 3no. 12x50 long w/screws and fixed to wallplate using min. 2no. 12x50 long w/screws.
- External Windows/Doors**
  - New windows to have lockable in open feature for user ventilation control.
- Rainwater goods**
  - Surface water drainage to be 110mm Ø upvc gutter or 100mm wide pre-formed aluminium box gutter to 75mm Ø downpipes. Surface water to discharge to new soakaway located in garden (final type and position to be confirmed).
  - Soakaway to be constructed in 1m³ honeycomb bwk & back filled with rubble, constructed min. 5m away from foundations of new extension.
- Utilities**
- Electrical services**
  - Allow for all new electrical power and lighting circuits and issue completion and test certificates. Type, no. & position of lighting, switches and power outlets to be confirmed on site by client.
  - All electrical works to be carried out in accordance with approved document P, schedule 1. The works are to be carried out by either an individual or company registered with the competent persons scheme or an individual or company that are competent to do so and provide a certificate in accordance with bs7671 upon completion of the installation.
- Power/Lighting**
  - Provide energy efficient light fittings in accordance with approved



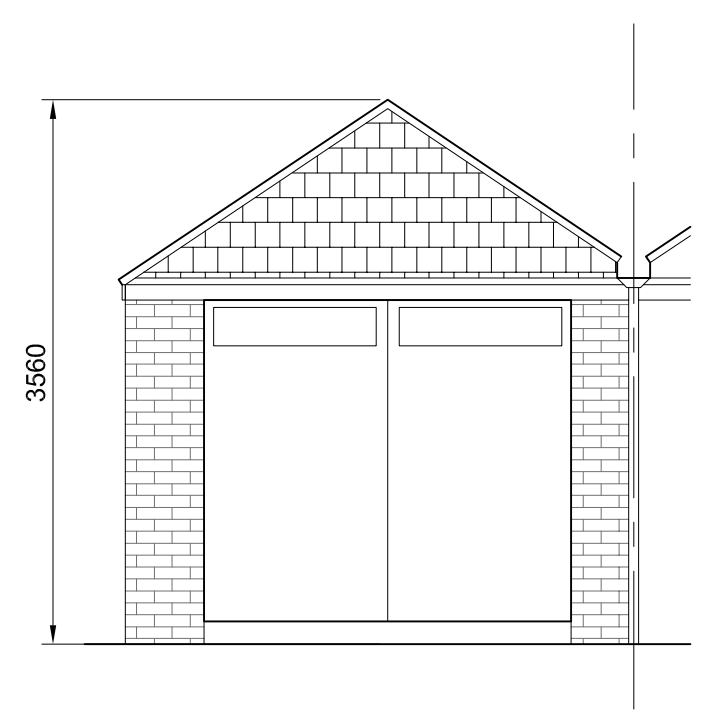
**Proposed Garage Plan**  
scale 1:50



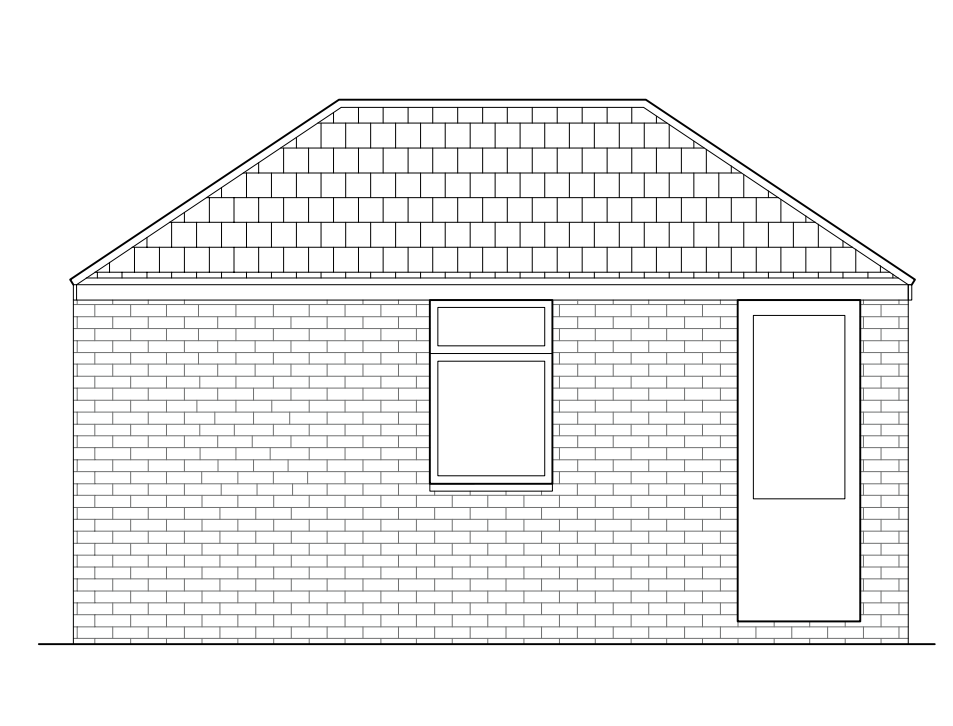
**Proposed Roof Plan**  
scale 1:50



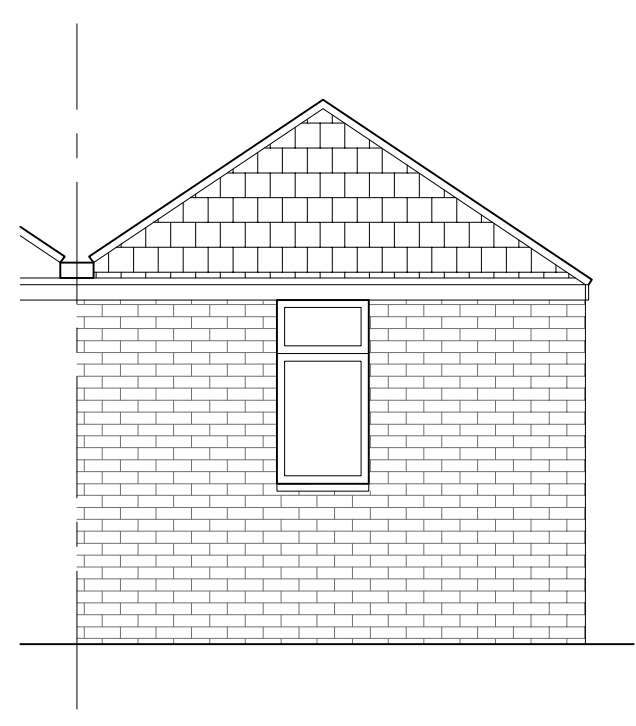
**Proposed Section**  
Scale 1:25



**Proposed Front Elevation**  
scale 1:50



**Proposed Side Elevation**  
scale 1:50



**Proposed Rear Elevation**  
scale 1:50

**Final Finishes**  
Contractor to allow in estimate for the following:  
Floor Finishes  
Final floor finishes to be confirmed by the client.  
Electrics  
All electrics to be confirmed on site, including types & final positioning.  
Lighting  
Type & position to be confirmed on site.  
Internal Finishes  
Provide decorated finish both internally & externally in colours to suit client's details.

Rev	Description	Date
A	Door & Window Locations Revised.	07.01.2021

**PEPPER DRAUGHTING**  
**STRUCTURAL LTD.**  
 TEL : 01325 787447  
 EMAIL : enquiries@pdsdraughting.co.uk

**Project**  
Garage - Proposed Floor Plans & Sections  
  
165 Coniscliffe Road  
Darlington  
DL3 8EX

Drawn By	Client
K.Rayner	Mr. G Kipling
Date	Scale
DEC 2020	1:25 & 1:150
Drg	
	KIP/01