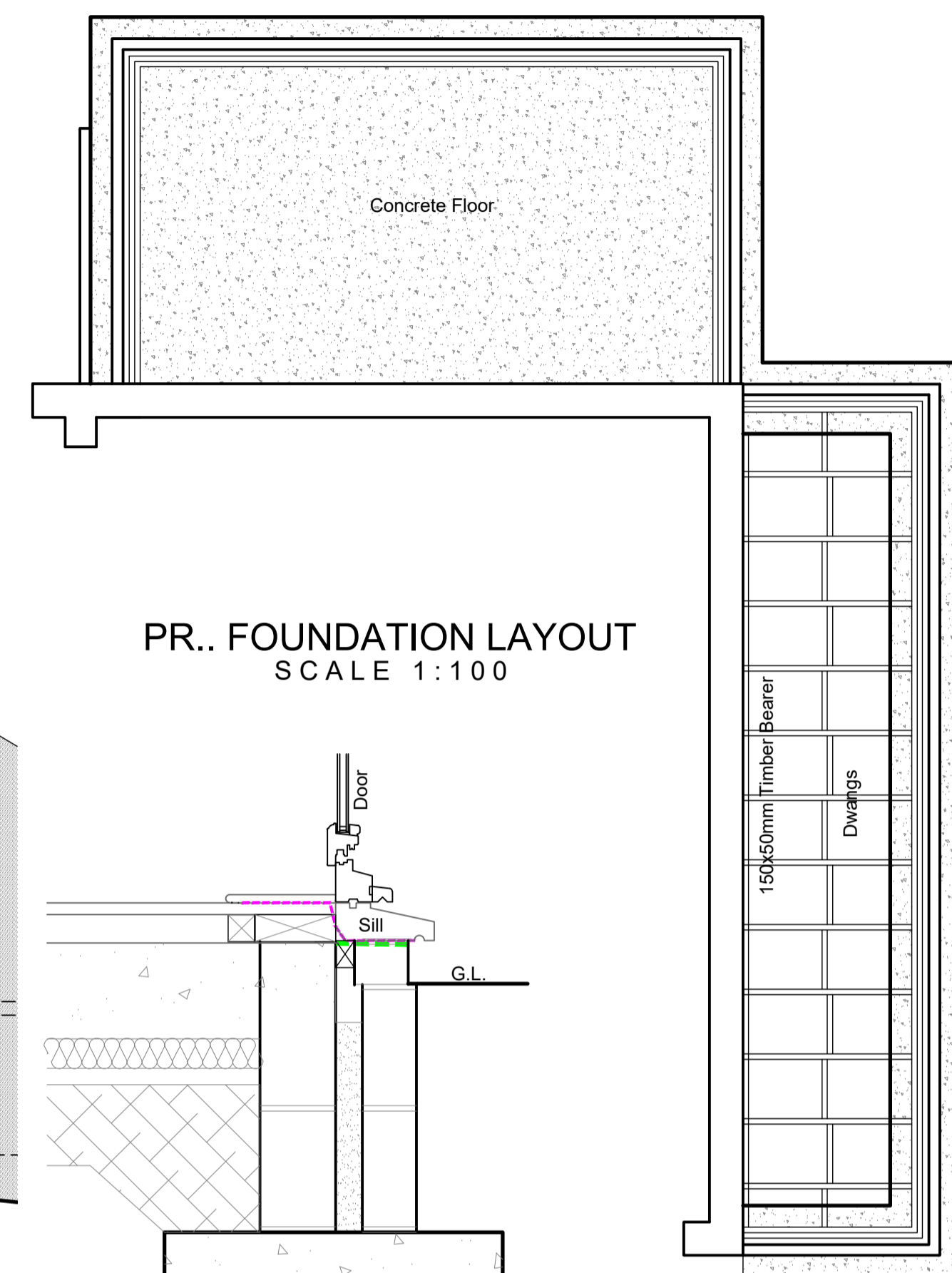
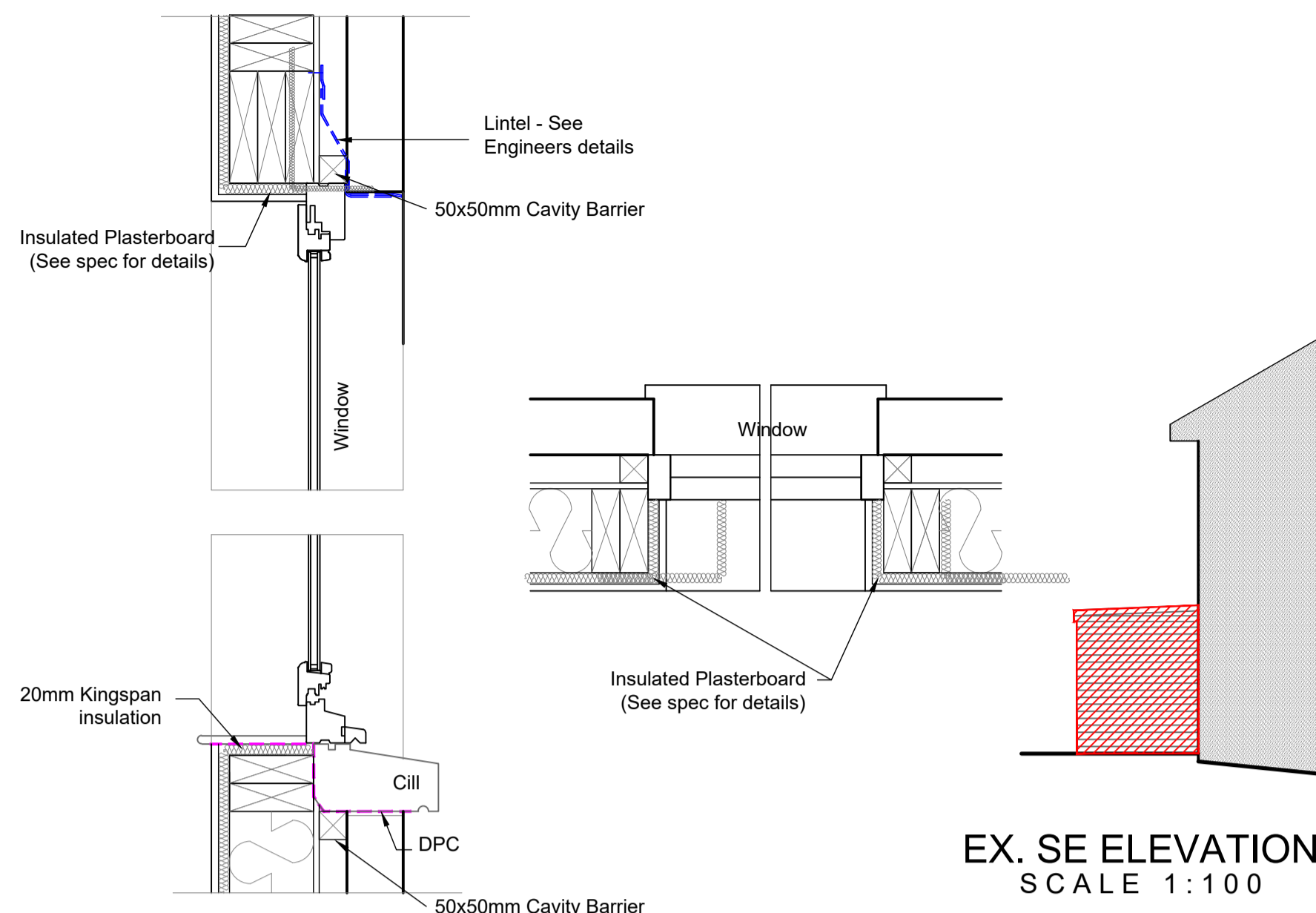
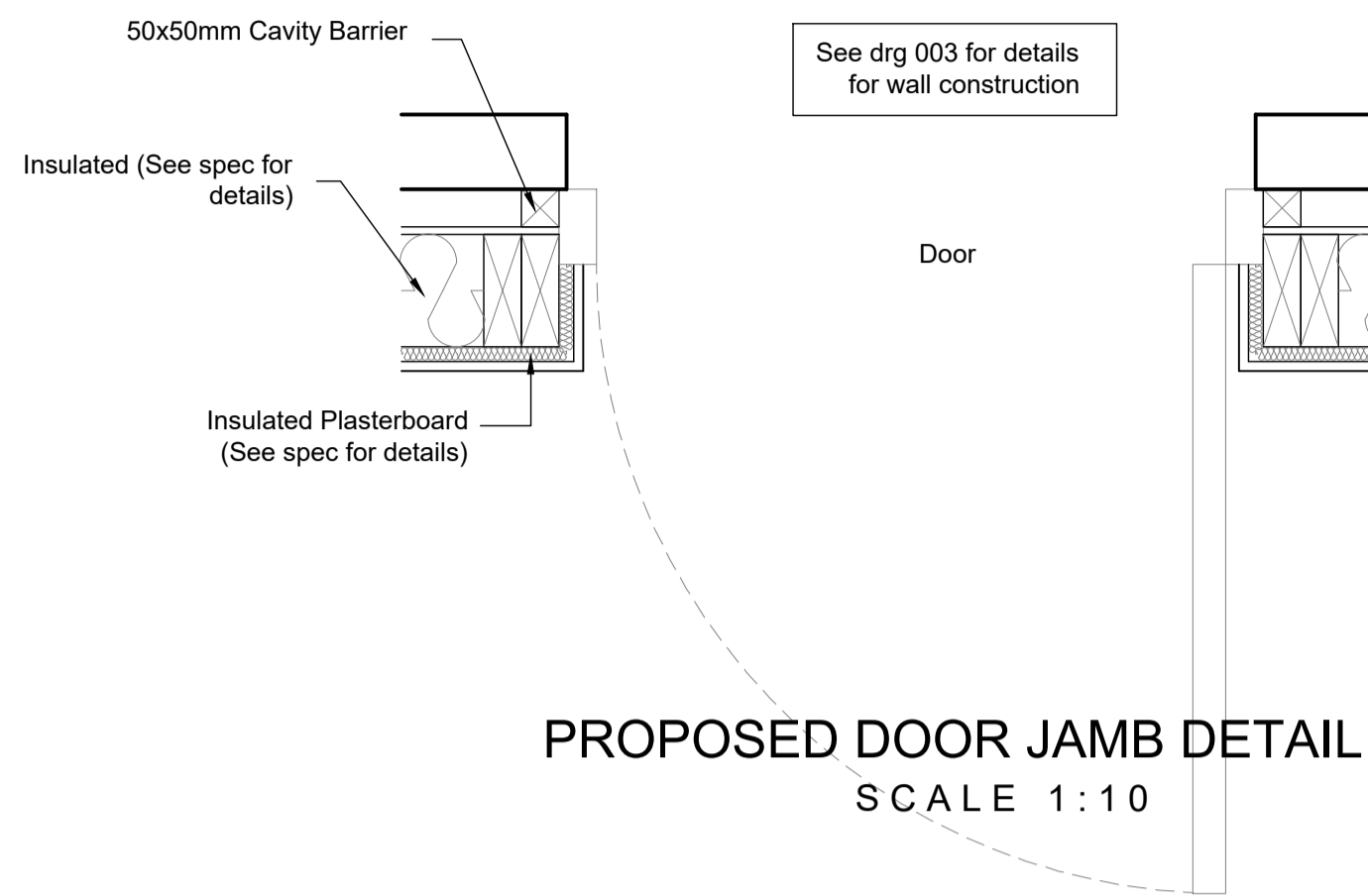


Drawing to be read in conjunction with Drawings 085-20.001 & 003. Drawing for Planning & Building Warrant purposes.

General Notes

1. Do Not scale from this drawing
2. This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
3. The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
4. All dimensions to be checked on site prior to fabrication or erection
5. Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
6. Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
7. No work to be begun until the appropriate approvals (i.e Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment. Councils stamped drawings should be used during construction.
8. Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services, i.e. gas, water etc.
9. Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains
10. Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
11. For Additional information see www.cafdesigns.co.uk
12. All downtakings and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
13. All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2018
14. Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
14. If in Doubt Ask

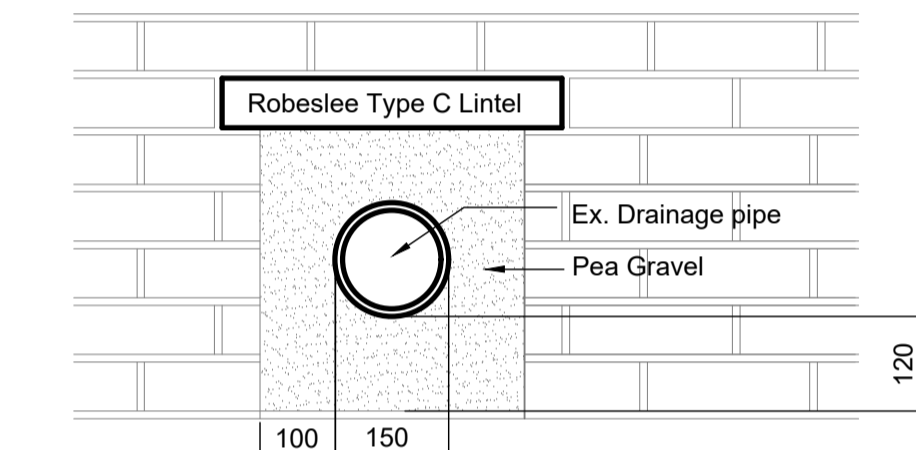


PROPOSED DOOR JAMB DETAIL
SCALE 1:10

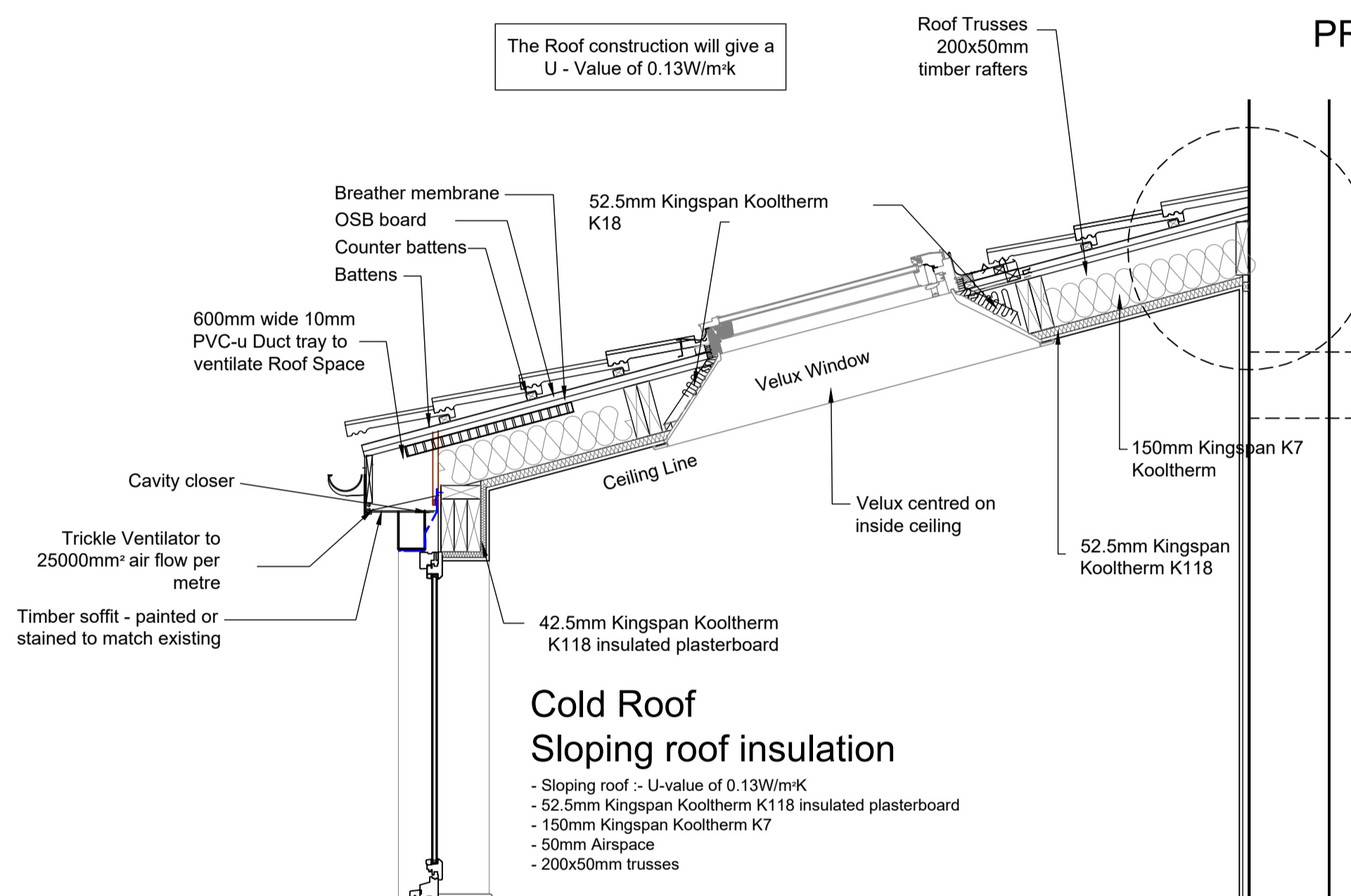
PROPOSED WINDOW JAMB/ HEAD
AND CILL DETAILS
SCALE 1:10

EX. SE ELEVATION
SCALE 1:100

PR.. FOUNDATION LAYOUT
SCALE 1:100

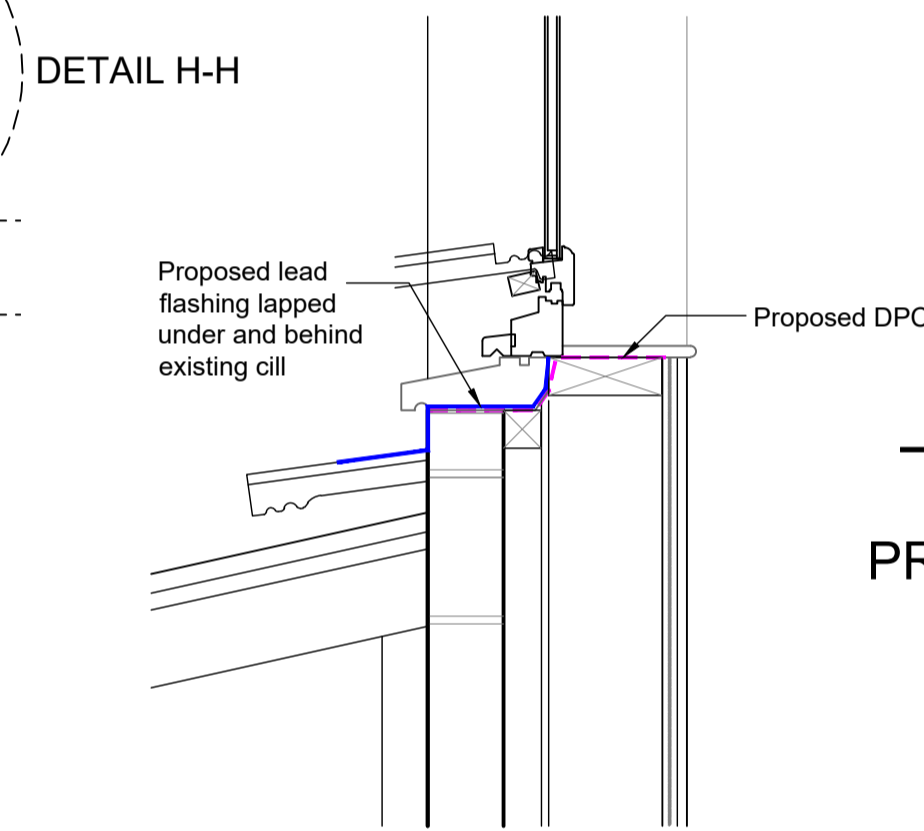


PROPOSED DRAIN DETAIL
SCALE 1:10

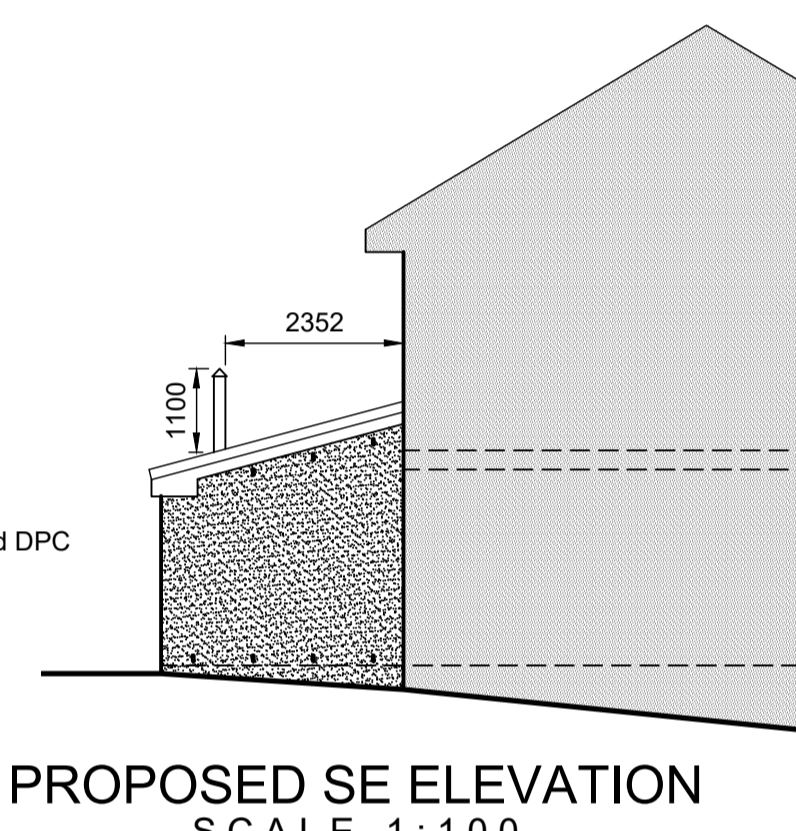


Cold Roof
Sloping roof insulation

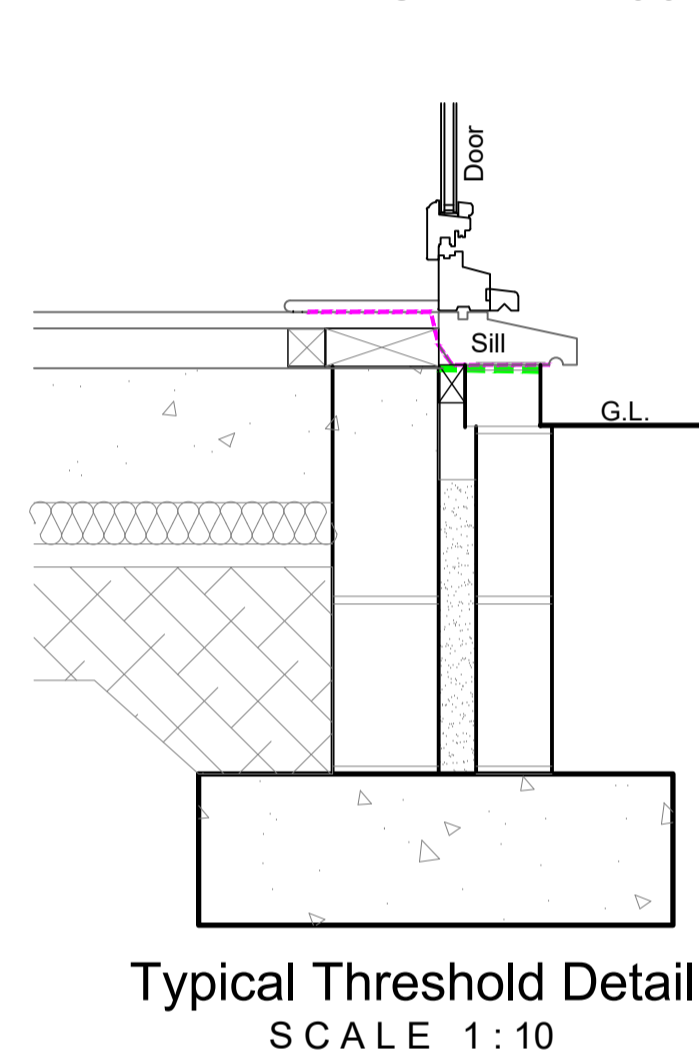
- Sloping roof - U-value of 0.13W/m²K
- 52.5mm Kingspan Kooltherm K118 insulated plasterboard
- 150mm Kingspan Kooltherm K7
- 50mm Airspace
- 200x50mm trusses



PROPOSED WINDOW DETAIL H-H
SCALE 1:10



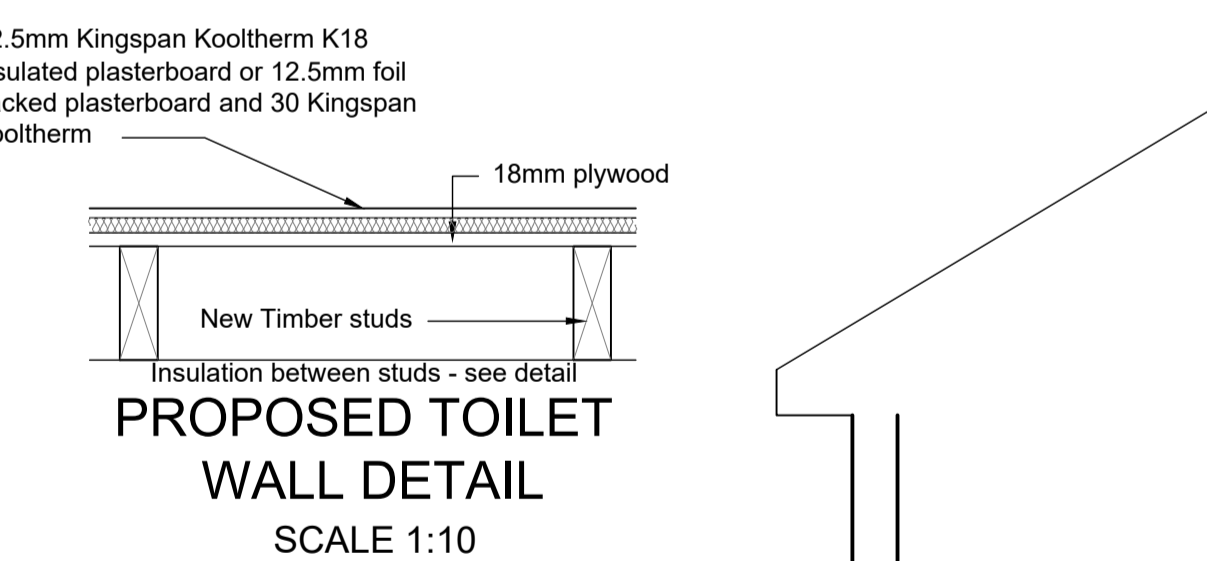
PROPOSED SE ELEVATION
SCALE 1:100



Typical Threshold Detail
SCALE 1:10

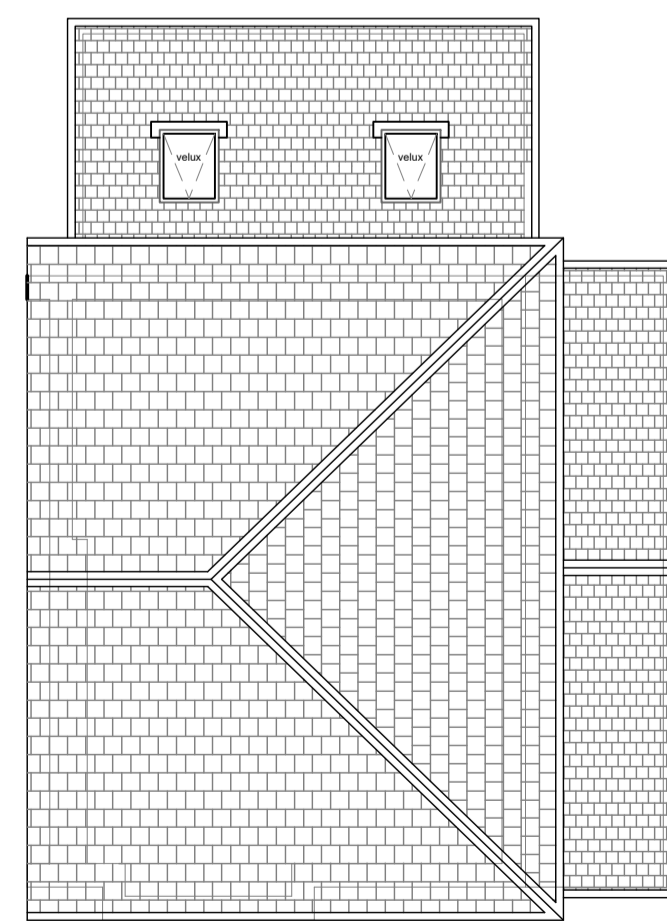
For all structural implications, detailing and specification see Structural Engineers designs and specifications

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

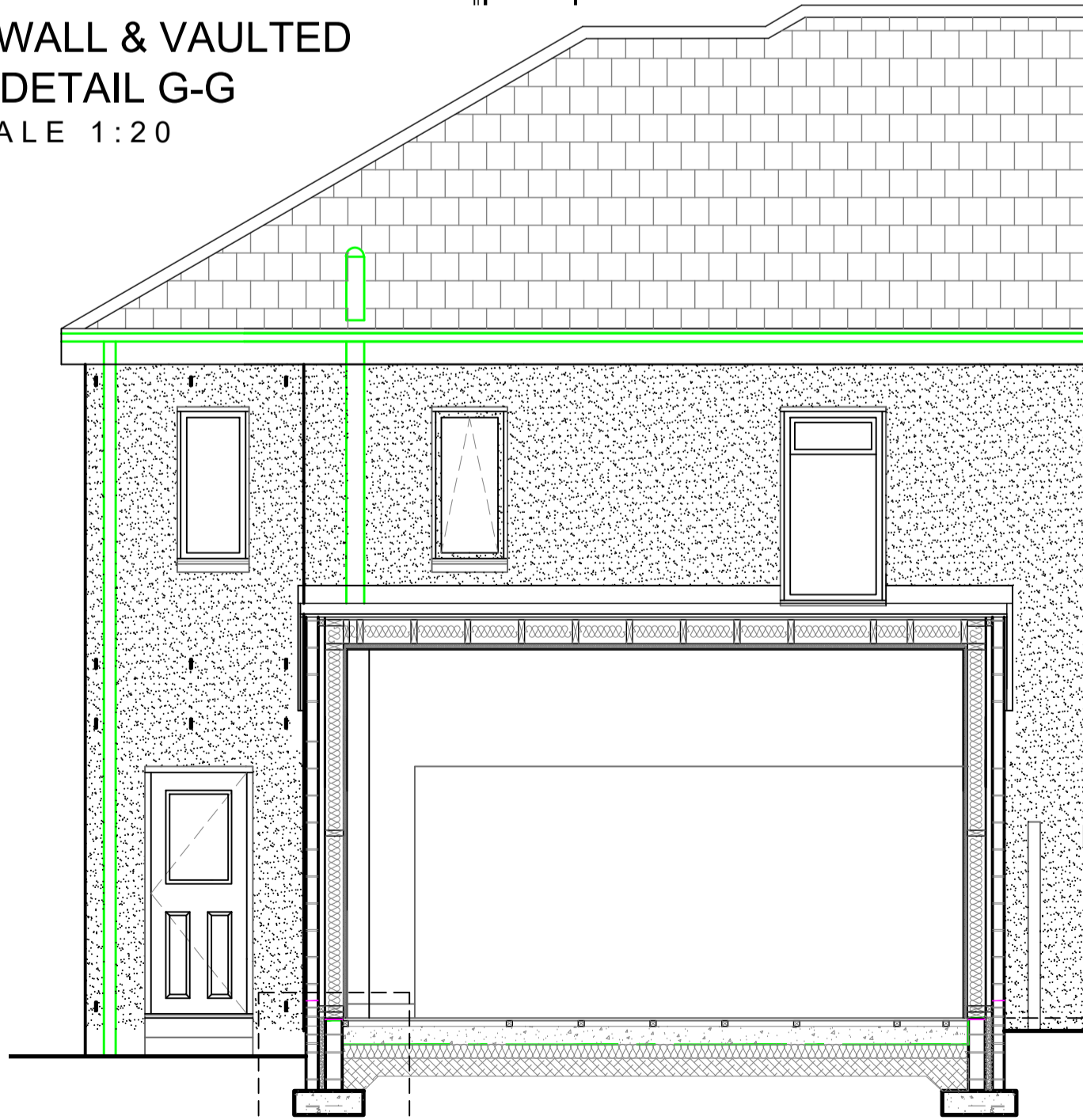


PROPOSED TOILET
WALL DETAIL
SCALE 1:10

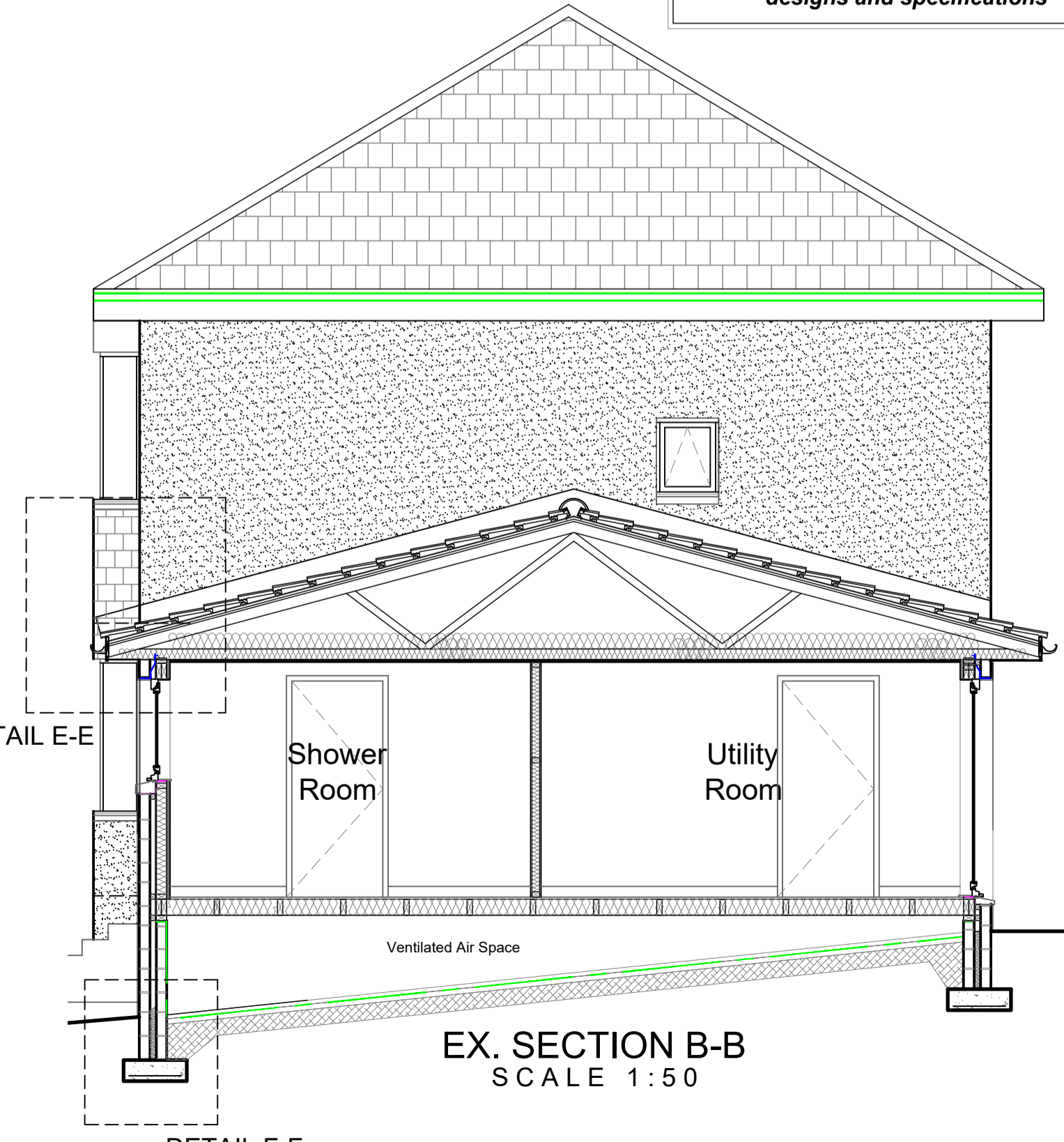
PROPOSED WALL & VAULTED
ROOD DETAIL G-G
SCALE 1:20



PR.. ROOF PLAN
SCALE 1:100



PR. SECTION A-A
SCALE 1:50



EX. SECTION B-B
SCALE 1:50

Rev	Description	Date
A	Two storey side extension reduced to single storey	Feb 21

Client and Project Address
Mr James Anderson
17 Cleuch Gardens
Clarkston G76 7QD

Drawing Title
**Proposed Rear / Side Extension
Proposed Foundation Plans
and Sections**

CAF
CAF DESIGNS
53 CALDERGLEN AVENUE
THE ELMS BLANTYRE
SOUTH LANARKSHIRE G72 9UP
TEL: +44(0)1698 825660 Mob: +44(0)774 780 3435
E-MAIL: craig@cafdesigns.co.uk www.cafdesigns.co.uk

BUILDING WARRANT

Drawn by CAF	CAD Location C:\Drawings\085-20
Scale 1:50	Date Nov 2020
	Paper Size A1

Drawing no. **085-20.002** **A**