

Permitted development rights for householders

Technical Guidance
September 2019

Rear and side extensions

Where an extension fills the area between a side elevation and a rear wall, then the restrictions on extensions beyond rear walls and side walls both apply.

The extension must:

(i) extend no more than 6 metres beyond the rear wall, **or no more than 8 metres in the case of a detached house** (or no more than 3 metres beyond the rear wall, or 4 metres for a detached house on article 2(3) land or sites of special scientific interest),

(ii) **be a single storey and must not exceed 4 metres in height;**

(iii) have a total width that does not exceed more than half the width of the house (**measured at its widest point**).

PLEASE NOTE THE PROPOSED EXTENSION IS SET BACK FROM THE REAR WALL AND THE SIDE WALL THUS NOT MEETING THE DIAGRAM AND THEREFORE WHILE THE PROPOSAL MEETS THE REQUIREMENT IT IS NOT REQUIRED TO DO SO.

THE SIDE WALL IS SET IN FROM THE EXISTING SIDE WALL BY 515MM AND THE PROPOSED REAR WALL IS SET IN FROM THE EXISTING WALL BY 600MM

IT IS ALSO NOT IDENTIFIED TO BE A REQUIREMENT UNDER THE LARGER HOME GUIDANCE: APPLICATION TO DETERMINE IF PRIOR APPROVAL IS REQUIRED FOR A PROPOSED: LARGER HOME EXTENSION

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Householder extension falls under the Class A enlargement, improvement or alteration.

While the application is under the 'Prior Approval' certificate the following PD rules are still accommodated and are met.

The height of the eaves and overall height of the proposed extension is well below the 4 meter rule. The extension is also well over 2 meters from the boundary.

The eaves are below the existing highest part of the roof.

Please refer to the proposed elevations holding the heights drawing reference - 0100-P-013

(Eaves 2,590 meters, Top of roof 2,750 meters)

Proposed Rear single storey extension within - The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 1, Class A

Legal rules as set out within the 'Ministry of Housing Communities & Local Government'.

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While the application is under the 'Prior Approval' certificate the following PD rules are still accommodated and are met.

(g) for a dwellinghouse not on article 2(3) land nor on a site of special scientific interest, the enlarged part of the dwellinghouse would have a single storey and -

(i) extend beyond the rear wall of the original dwellinghouse by more than 8 metres in the case of a detached dwellinghouse, or 6 metres in the case of any other dwellinghouse.

A single-storey extension to a house which is not on article 2(3) land or on a site of special scientific interest can be larger than allowed under paragraph (f) above, but it must not extend beyond the rear of the original house by more than 8 metres if a detached house.

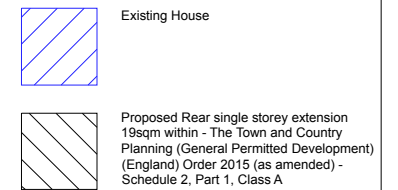
The measurement includes the existing extension being 2.8 meters, total extension is under the acceptable 8 meters including the original 2.8 meters.

EXISTING - 2,837mm
PROPOSED - 3,150mm
TOTAL = 5,987mm

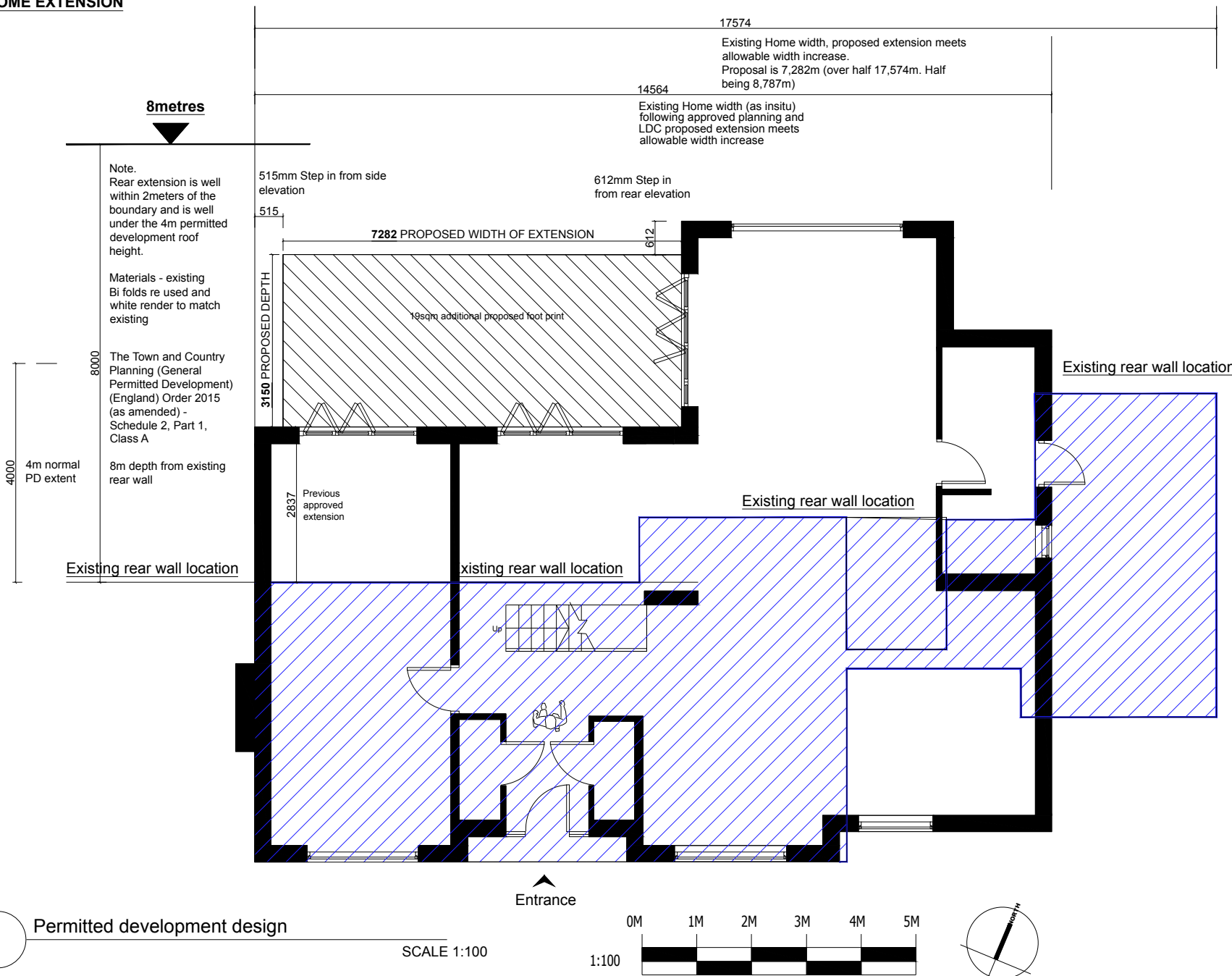
Refer to Page 18 of the technical guidance for proof of calculation.

While the proposal is an increase in cubic area and footprint in the Green belt no restrictions apply within the location removing PD rights thus green belt policy does NOT apply.

DRAWING FOR PLANNING PURPOSES ONLY

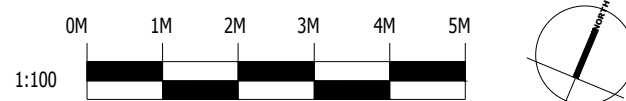


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Permitted development design

SCALE 1:100



Rev	Description	Date
Rev A	PD - PRIOR APPROVAL ISSUE	22.02.21

Client
Mr and Mrs
Darwell-Taylor

Job title
Sorrel, Lower Farm Road,
Effingham
KT24 5JL

Drawing title
Permitted development
design

PHILIP ROY ARCHITECTURE
philiproyarchitecture.com

Scale	Date	Drawn
Varies @ A3	02.21	PR

PLANNING ISSUE

INFORMATION ONLY

Drawing No	REV
0100-P-015	REV A