

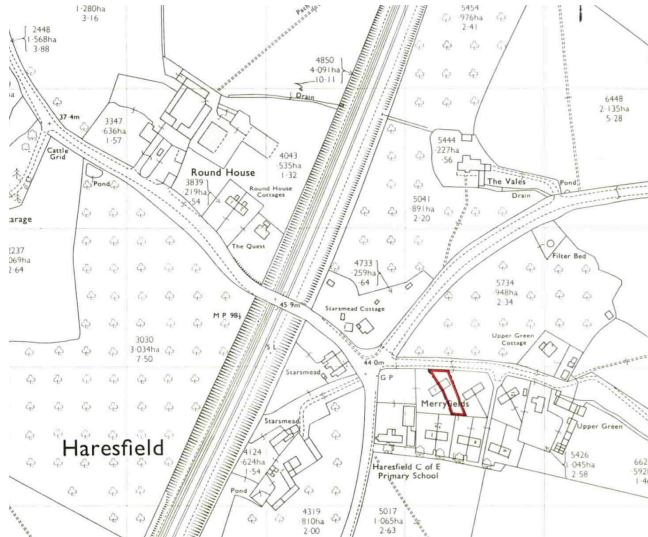


## Historic Environmental Statement

For a Proposal at  
8 The Merryfields  
GL0 3EF  
To  
Demolish Existing Porch  
& Construct Proposed  
Front Porch

## 1.0 Site Location

The property dates back to the 1950's and is situated within close vicinity to a grade 11 listed building. The existing is a traditional build construction, with an external face brick wall, and a tiled roof.



Site Map

## 1.1 Existing

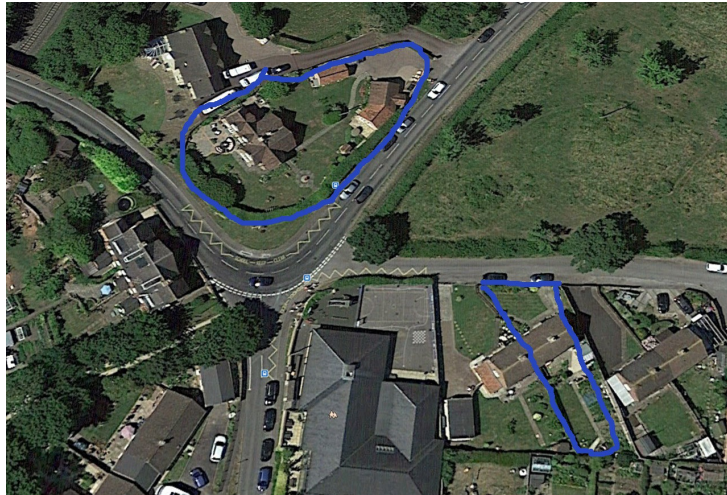
The existing property is a semi detached 2 stories with a small porch on the side elevation.

The porch is constructed of timber and is single skin and is not adequately insulated



Existing side porch

**1.2** The proposed is located near to Starmead Cottage and Farmhouse which is a grade 11 listed building and is c1500, and restored in c20 it is a timber frame construction and has a thatched roof, the front has a plaster infill with stone plinth, the rear and sides is mostly faced in bricks



Location of the proposed site and Starmead Cottage

**1.3 Access & Parking** The site can be accessed from the front drive and has adequate parking for more than 1 vehicle

#### **1.4 Proposed Development**

The proposal is of a scale and appropriate to its surroundings and would not affect the Neighbours.

The proposed porch would fit well into the existing street scene and would not pose a detrimental loss of privacy to the neighbours.

There would not be an adverse loss of light or overshadowing

SD4c States - “the architectural design of new buildings and the alterations of existing buildings should demonstrate a creative response to a specific site and locality”.

**Scale** – (1) “The size of the building its elements and its details in relation to its surroundings and human form”.

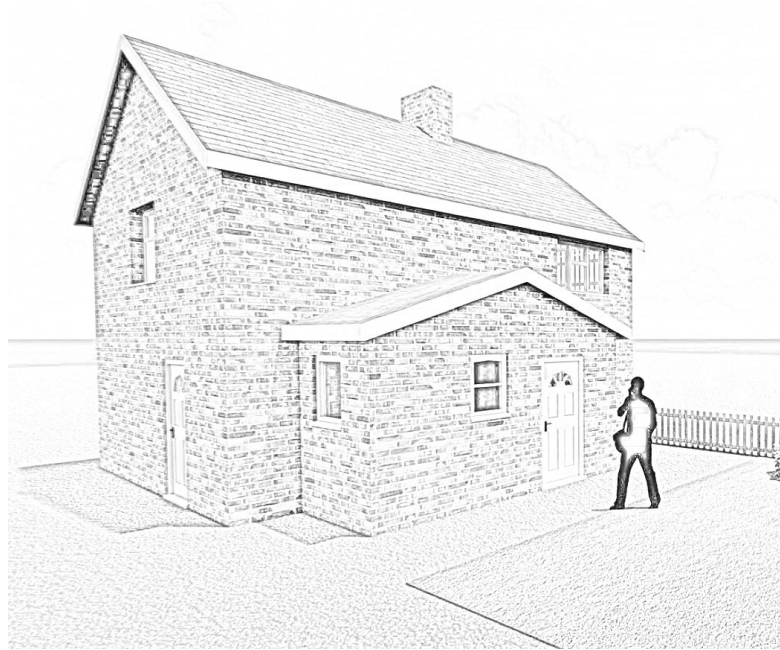
(2) Massing (The arrangement, volume and shape of a building)

(3) Height (its effect on shading, views, skylines and street proportion).

**Appearance** – (1) (Materials (high in quality and suited to their location and purpose) there would be minimum impact and massing upon the existing properties in the area

### **1.5 Proposed Front Elevation**

The proposed would have minimum impact on the Grade 11 listed Starmead Cottage, and would complement the existing front of the property as the bricks and roof materials are to match the existing house.



### **1.6 Preserve, Enhance and Mitigate**

The existing property was constructed in the 1950's and the existing porch is in need of replacing the proposed front porch would enhance the front of the property as the proposed materials would match the existing surrounding buildings

Regarding neighbours and their privacy and over shadowing their would be minimum impact.

this would allow the proposal to be sympathetic to the existing street scene, And would not affect the Grade 11 listed Starmead farmhouse and Cottage.

## **Sources Of Information**

- Historic England
- British Listed Buildings
- The National Planning Policy Framework (NPPF)