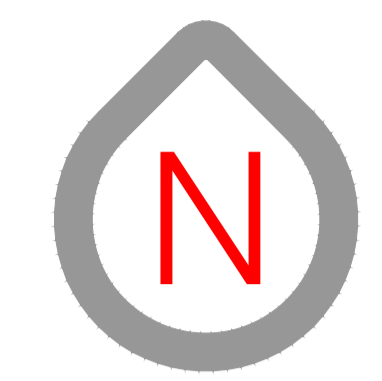


**RESIDUAL RISK**  
 Wherever possible unnecessary risk is designed out of these proposals. Where residual risk remains this is assessed and identified on the relevant drawings with this symbol. Refer to the note and the relevant measures in the Health + Safety documentation



**SERVICES KEY**  
 POSITIONS OF ALL SERVICES POSITIONS INDICATIVE, AND SUBJECT TO MEASURED SITE SURVEY.

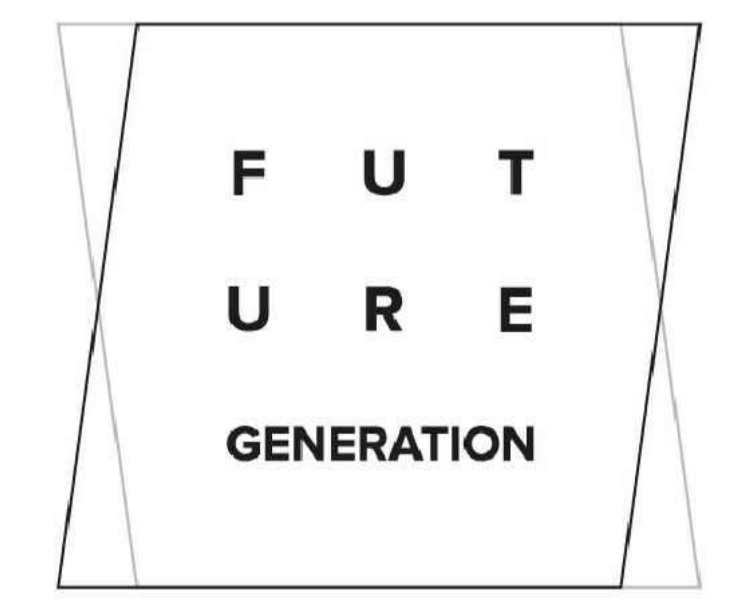
- EXISTING INCOMING POWER SUPPLY.
- EXISTING BEMCO UNIT
- EXISTING INCOMING GAS SUPPLY
- EXISTING INCOMING WATER SUPPLY

RED HATCH INDICATES EXTENT OF EXISTING BUILDINGS/CANOPIES TO BE DEMOLISHED

RED HATCH INDICATES EXTENT OF EXISTING BUILDINGS/CANOPIES TO BE DEMOLISHED

RED HATCH INDICATES EXTENT OF EXISTING BUILDINGS/CANOPIES TO BE DEMOLISHED

A REVISED TO INCLUDE SITE SURVEY INFORMATION, INDICATIVE INCOMING SERVICE POSITIONS ADDED | 14/03/2019  
 JW PRELIMINARY DRAWING ISSUE | By Initials DD/MM/YYYY



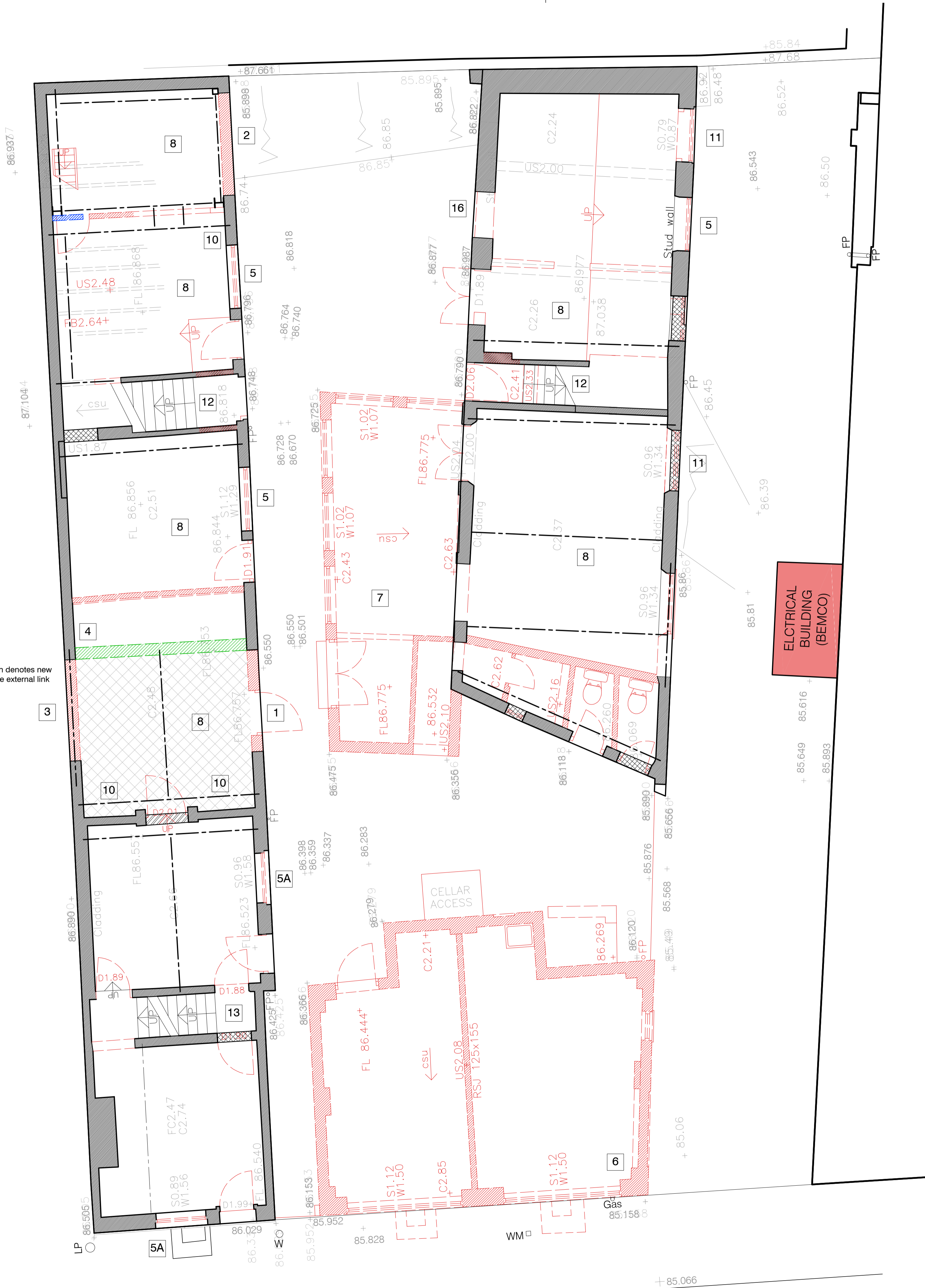
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 tel: +44(0)114 2490944 fax: +44(0)114 2490966 www.axis-architecture.com

**STEEL CITY SITE 3**  
 RESIDENTIAL DEVELOPMENT  
 SHEFFIELD  
 SOUTHERN GROVE (HOLLIS CROFT) LTD.

**EXISTING SITE LAYOUT**

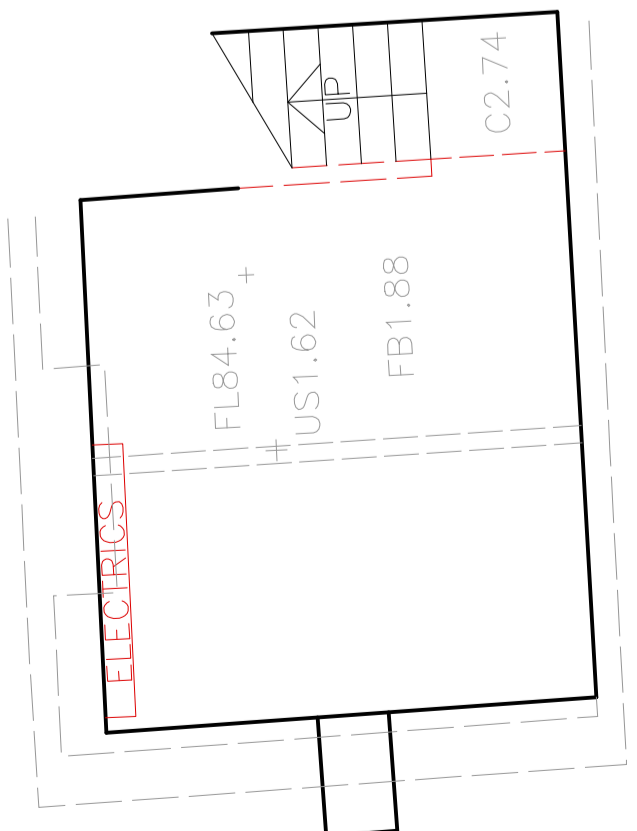
A1 Scale	A3 Scale	Date	Drawn By	REV #
1:200	1:400	OCT 2017	JW	
Drawing Number				Revision
27155_A(01)01				A

© COPYRIGHT EXISTS ON ALL DESIGN AND INFORMATION SHOWN  
 DO NOT SCALE for manufacture. Verify all dimensions prior to construction



Grey hatch denotes new accessible external link

CELLAR NOT USED ACCESS LIMITED TO INSPECTION ONLY



**WORKS TO EXISTING KEY**

**GENERAL**

Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners

Refer to separate Asbestos Report carried out by Cordtape Limited

Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited

Pigeon guano removal to be carried out by Main Contractor and to include temporary protection to window openings where glass broken to prevent pigeon ingress

Main Contractor to allow for removal of redundant cabling / services, light fittings, extract vents etc and making good as required

Main Contractor to allow for soft-strip of listed buildings in line with discussions with Planning / Conservation Officer, following walk-around of site Friday 18th January 2019

Main Contractor to allow for specialist damp and timber condition surveys, with implementation of recommendations and associated costs to be agreed with the Client. Existing timbers to be retained where possible.

Main Contractor to allow for making good / carefully raking out and complete re-pointing of existing Listed Ranges, using non-hydraulic lime mortar, following completion of brickwork / building fabric repairs and alterations to create new openings

All existing timber wall plates and lintels to door and window heads to be removed, with brickwork above propped, and replaced by concrete lintels to Structural Engineer design.

**BUILDING FABRIC REPAIRS / ALTERATIONS KEY**

Areas of brickwork to be carefully dismantled and removed/ demolition of existing building fabric.

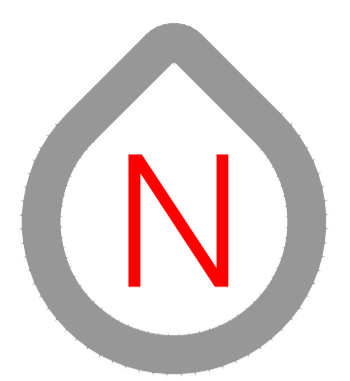
Area of brickwork to be propped and carefully repaired/ rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar

New brickwork to form replacement building envelope / infill of existing openings, using reclaimed brickwork / specially made brickwork, cut toothed and bonded to existing with matching coursing / pointing using non-hydraulic lime mortar

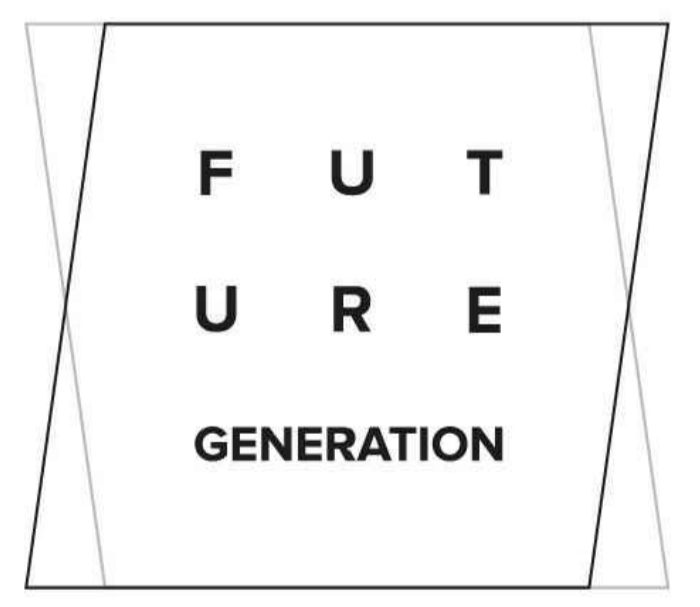
NEW STEEL BEAM - REFER TO BE DETAILS  
NEW TIMBER BEAM - REFER TO BE DETAILS

Proposed new structure above, installed to floor and roof constructions, to reduce loading on existing structure & subsequent need for strengthening or replacing existing timbers. Padstones installed into existing walls where required - refer to Structural Engineer / Eastwood and Partners drawings.

- Existing infill brickwork and doorway removed and original arched opening reinstated. Brickwork to existing archway to be made good, with archway and brickwork above to be strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details
- Existing infill brickwork to original brick archway removed and re-instated as a window opening with 150 deep channel section lintel detail externally and concrete lintel detail internally - refer to Structural Engineers details.
- New opening formed with channel section lintel to our leaf / concrete lintel to inner leaf - refer to Structural Engineers details
- Demolition of existing unstable wall. New wall instated adjacent to arch opening in 215mm thick solid masonry, cut toothed and bonded to existing walls.
- Existing modern windows removed and replaced with new timber flush casement windows in hardwood with friction hinges, double glazing and paint finish.
- Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.
- Existing single storey brick building has been demolished. Note existing basement structure still in place with ground slab over - refer to Structural Engineers, Eastwood and Partners latest drawings / details for new foundation design.
- Demolition of existing single storey extension to 2-storey range, with brickwork carefully dismantled and salvaged where possible
- Existing concrete floor slab removed, with new ground bearing concrete floor slabs cast internally - refer to Structural Engineers / Eastwood and Partners details
- Reclaimed paving to courtyard to be continued through new external link through 3-storey range, to form accessible entrance to site.
- 2 storey range traditional metal trades windows to be replaced in timber to match existing but with 'Slimlite' or similar double glazing putty beaded.
- Galvanised steel straps fixed to cross wall / external walls at 900mm vertical centres. Straps and fixings to remain exposed with galvanised finish. Areas of cracked brickwork to be strapped internally - refer to Structural Engineers / Eastwood and Partners details
- Existing window opening adapted to form doorway. Window casement, stone cill and brickwork below to be removed. Stone cills carefully salvaged and reinstated where possible.
- Existing stone / concrete staircase to be retained and overlaid with new timber treads and risers.
- Existing timber staircase to be retained, treads and risers to be overlaid and staircase independently secured with props and timber bracing.
- Original listed staircase to be retained and restored, with independent bracing where required. New walls / glazed partitions to form a protective enclosure.
- Existing timber floor to be lowered by approx. 150mm. Existing joists and boarding to be reclaimed and reinstated where possible. New floor structure supported by joists hangers fixed to existing masonry structure
- Brick infill to original window openings to be removed, with brick arched lintel repaired, with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.



H	New structure updated to match structural engineers details. Existing metal trades windows(9) to be replaced to match existing with simlitle dg & putty beaded & replacement casement windows elsewhere to 2 storey range. Replacement sliding sash windows [5A] to Garden Street & Courtyard & replacement casement windows elsewhere to 3 storey range. Issued for planning approval   MAW	23/10/2020
G	Works to cellar omitted   MAW	17/09/2020
F	Note 6 revised	19/05/2020
E	Existing external chutes retained   JW	02/03/2020
D	Amended in line with latest studio model plans   JW	18/11/2019
C	Amended in line with latest proposed plans. Detail of works added   JW	05/08/2019
B	General Amendments. Tender Status Issue   JW	28/01/2019
A	Amendments made in Line with Proposed Elevations   JW	14/01/2019



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**STEEL CITY PHASE 3**  
RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
FUTURE GENERATION

**WORKS TO EXISTING**  
GROUND FLOOR PLAN

A1 Scale	A3 Scale	Date	Drawn By	REV #
1:50	1:100	SEPT 2018	CJS	
Drawing Number		Revision		
<b>27155_A(02)20</b>		<b>H</b>		



**WORKS TO EXISTING KEY**

**GENERAL**

- Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners
- Refer to separate Asbestos Report carried out by Cordtape Limited Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited
- Pigeon guano removal to be carried out by Main Contractor and to include temporary protection to window openings where glass broken to prevent pigeon ingress
- Main Contractor to allow for removal of redundant cabling / services, light fittings, extract vents etc and making good as required
- Main Contractor to allow for soft-strip of listed buildings in line with discussions with Planning / Conservation Officer, following walk-around of site Friday 18th January 2019
- Main Contractor to allow for specialist damp and timber condition surveys, with implementation of recommendations and associated costs to be agreed with the Client. Existing timbers to be retained where possible.
- Main Contractor to allow for making good / carefully raking out and complete re-pointing of existing Listed Ranges, using non-hydraulic lime mortar, following completion of brickwork / building fabric repairs and alterations to create new openings
- All existing timber wall plates and lintels to door and window heads to be removed, with brickwork above propped, and replaced by concrete lintels to Structural Engineer design.

**BUILDING FABRIC REPAIRS / ALTERATIONS KEY**

- Areas of brickwork to be carefully dismantled and removed/ demolition of existing building fabric.
- Area of brickwork to be propped and carefully repaired/ rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar
- New brickwork to form replacement building envelope / infill of existing openings, using reclaimed brickwork / specially made brickwork, cut toothed and bonded to existing with matching coursing / pointing using non-hydraulic lime mortar

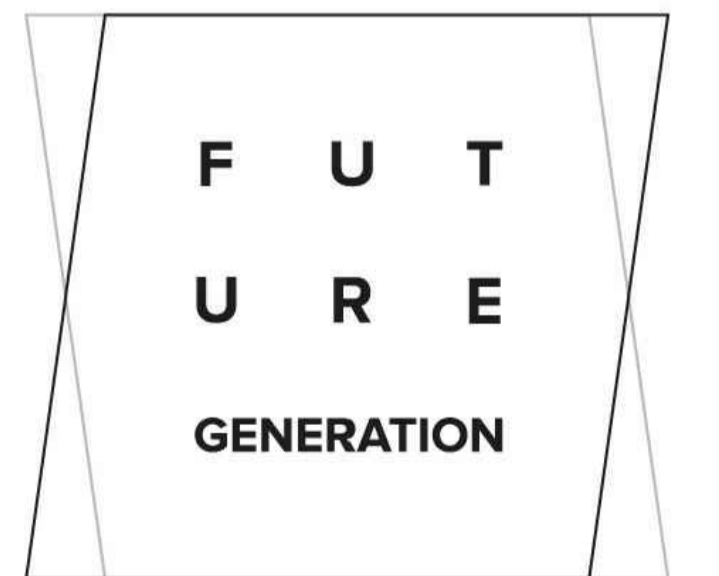
NEW STEEL BEAM - REFER TO DETAILS  
 NEW BRICKWORK - REFER TO DETAILS  
 NEW TIMBER BEAM - REFER TO DETAILS

Proposed new structure above, installed to floor and roof constructions, to reduce loading on existing structure. & subsequent need for strengthening or replacing existing timbers. Padstones installed into existing walls where required - refer to Structural Engineer / Eastwood and Partners drawings.

- Existing infill brickwork and doorway removed and original arched opening reinstated. Brickwork to existing archway to be made good, with archway and brickwork above to be strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details
- Existing infill brickwork to original brick archway removed and re-instated as a window opening with 150 deep channel section lintel detail externally and concrete lintel detail internally - refer to Structural Engineers details.
- New opening formed with channel section lintel to our leaf / concrete lintel to inner leaf - refer to Structural Engineers details
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- Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.
- Existing single storey brick building has been demolished. Note existing basement structure still in place with ground slab over - refer to Structural Engineers, Eastwood and Partners latest drawings / details for new foundation design.
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- Existing concrete floor slab removed, with new ground bearing concrete floor slabs cast internally - refer to Structural Engineers / Eastwood and Partners details
- Reclaimed paving to courtyard be continued through new external link through 3-storey range, to form accessible entrance to site.
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- Existing timber staircase to be retained, treads and risers to be overlaid and staircase independently secured with props and timber bracing.
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- Existing timber floor to be lowered by approx. 150mm. Existing joists and boarding to be reclaimed and reinstated where possible. New floor structure supported by joists hangers fixed to existing masonry structure
- Brick infill to original window openings to be removed, with brick arched lintel repaired, with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.



F	New structure updated to match structural engineers details. Existing metal trades windows[9] to be replaced to match existing with slimlite dg & putty beaded & replacement casement windows elsewhere to 2 storey range. Replacement sliding sash windows [5A] to Garden Street & Courtyard & replacement casement windows elsewhere to 3 storey range. Issued for planning approval   MAW	23/10/2020
E	Note 6 revised	19/05/2020
D	Amended in line with latest studio model plans   JW	18/11/2019
C	Amended in line with latest preproposed plans. Detail of works added   JW	05/08/2019
B	General Amendments. Tender Status Issue   JW	28/01/2019
A	Existing Stair to 3 Storey Range Retained   JW	07/12/2018

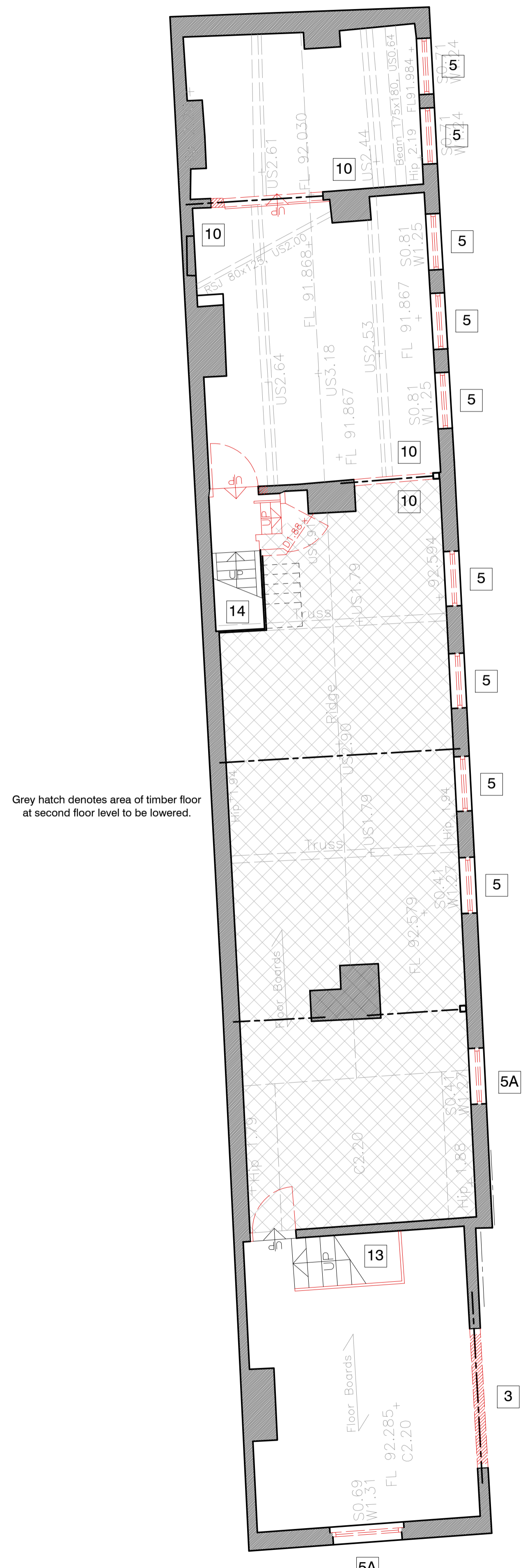


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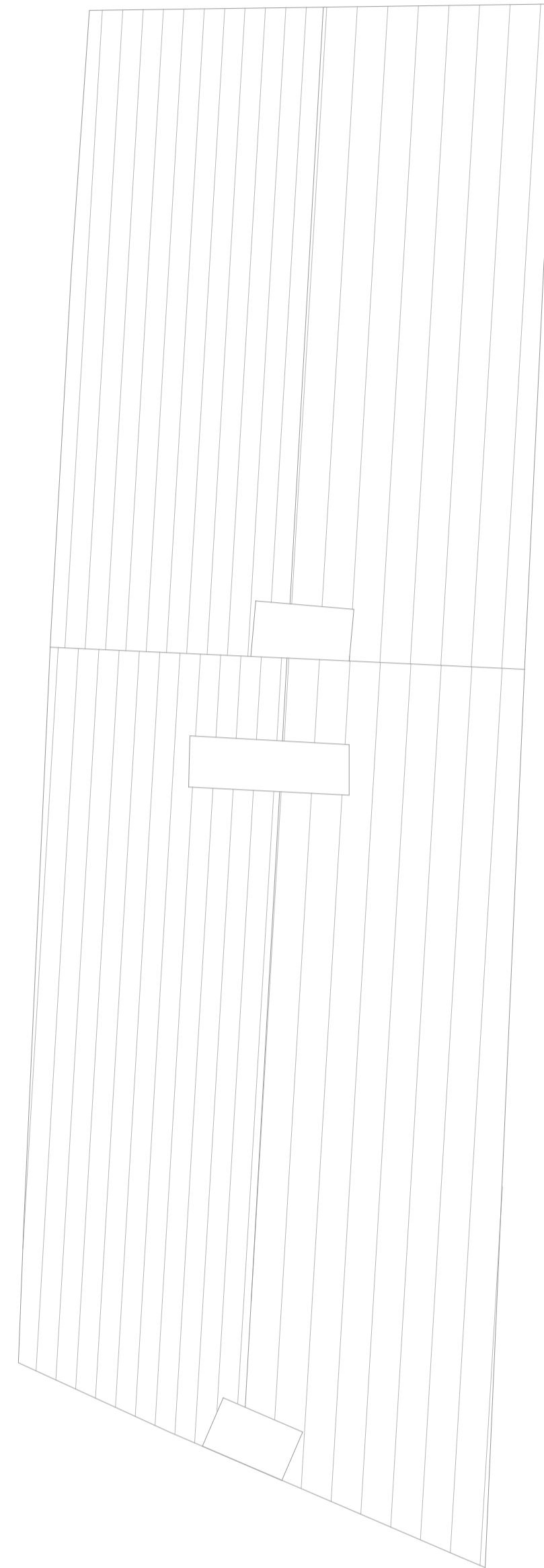
**STEEL CITY PHASE 3**  
 RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
 FUTURE GENERATION

**WORKS TO EXISTING**  
**FIRST FLOOR PLAN**

A1 Scale	A3 Scale	Date	Drawn By	Checked By
1:50	1:100	SEPT 2018	CJS	RVA
Drawing Number		Revision		
27155_A(02)21		F		



Grey hatch denotes area of timber floor at second floor level to be lowered.




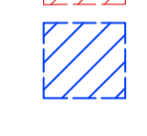

**WORKS TO EXISTING KEY**

**GENERAL**

- Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners
- Refer to separate Asbestos Report carried out by Cordtape Limited Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited
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**BUILDING FABRIC REPAIRS / ALTERATIONS**

**KEY**

-  Areas of brickwork to be carefully dismantled and removed/ demolition of existing building fabric.
-  Area of brickwork to be propped and carefully repaired/ rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar
-  New brickwork to form replacement building envelope / infill of existing openings, using reclaimed brickwork / specially made brickwork, cut toothed and bonded to existing with matching coursing / pointing using non-hydraulic lime mortar

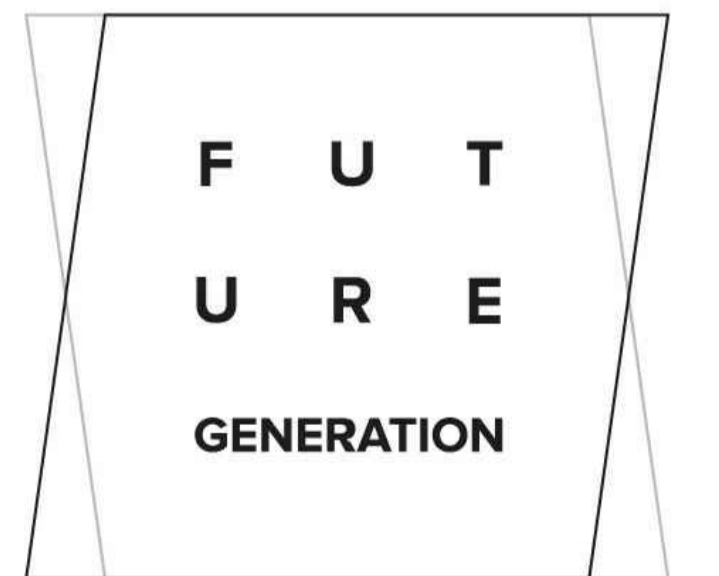
NEW STEEL BEAM - REFER TO BE DETAILS  
NEW TRUSS & RAFTERS - REFER TO BE DETAILS  
NEW TIMBER BEAM - REFER TO BE DETAILS

Proposed new structure above, installed to floor and roof constructions, to reduce loading on existing structure & subsequent need for strengthening or replacing existing timbers. Padstones installed into existing walls where required - refer to Structural Engineer / Eastwood and Partners drawings.

- 1** - Existing infill brickwork and doorway removed and original arched opening reinstated. Brickwork to existing archway to be made good, with archway and brickwork above to be strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details
- 2** - Existing infill brickwork to original brick archway removed and re-instated as a window opening with 150 deep channel section lintel detail externally and concrete lintel detail internally - refer to Structural Engineers details.
- 3** - New opening formed with channel section lintel to our leaf / concrete lintel to inner leaf - refer to Structural Engineers details
- 4** - Demolition of existing unstable wall. New wall instated adjacent to arch opening in 215mm thick solid masonry, cut toothed and bonded to existing walls.
- 5** - Existing modern windows removed and replaced with new timber flush casement windows in hardwood with friction hinges, double glazing and paint finish.
- 5A** - Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.
- 6** - Existing single storey brick building has been demolished. Note existing basement structure still in place with ground slab over - refer to Structural Engineers, Eastwood and Partners latest drawings / details for new foundation design.
- 7** - Demolition of existing single storey extension to 2-storey range, with brickwork carefully dismantled and salvaged where possible
- 8** - Existing concrete floor slab removed, with new ground bearing concrete floor slabs cast internally - refer to Structural Engineers / Eastwood and Partners details
- Reclaimed paving to courtyard be continued through new external link through 3-storey range, to form accessible entrance to site.
- 9** - 2 storey range traditional metal trades windows to be replaced in timber to match existing but with 'Slimlite' or similar double glazing putty beaded.
- 10** - Galvanised steel straps fixed to cross wall / external walls at 900mm vertical centres. Straps and fixings to remain exposed with galvanised finish. Areas of cracked brickwork to be strapped internally - refer to Structural Engineers / Eastwood and Partners details
- 11** - Existing window opening adapted to form doorway. Window casement, stone cill and brickwork below to be removed. Stone cills carefully salvaged and reinstated where possible.
- 12** - Existing stone / concrete staircase to be retained and overlaid with new timber treads and risers.
- 13** - Existing timber staircase to be retained, treads and risers to be overlaid and staircase independently secured with props and timber bracing.
- 14** - Original listed staircase to be retained and restored, with independent bracing where required. New walls / glazed partitions to form a protective enclosure.
- 15** - Existing timber floor to be lowered by approx. 150mm. Existing joists and boarding to be reclaimed and reinstated where possible. New floor structure supported by joists hangers fixed to existing masonry structure
- 16** - Brick infill to original window openings to be removed, with brick arched lintel repaired, with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.



Revision	Description	Date
F	New structure updated to match structural engineers details. Replacement sliding sash windows [5A] to Garden Street & Courtyard & replacement casement windows elsewhere to 3 storey range. Issued for planning approval   MAW	23/10/2020
E	Note 6 revised	19/05/2020
D	Amended in line with latest studio model plans   JW	18/11/2019
C	Amended in line with latest preproposed plans. Detail of works added   JW	05/08/2019
B	General Amendments. Tender Status Issue   JW	28/01/2019
A	Existing Stair to 3 Storey Range Retained   JW	07/12/2018

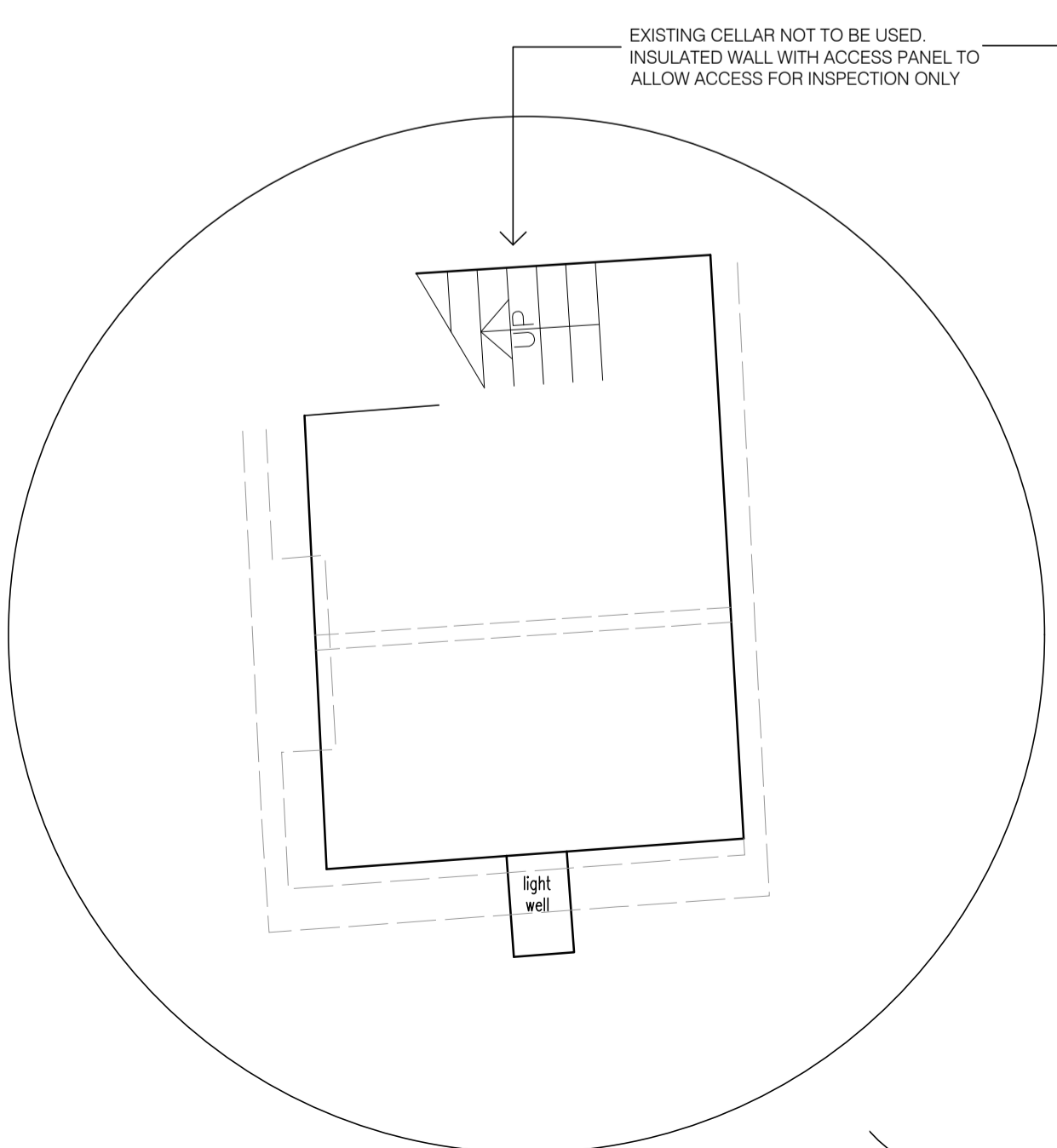
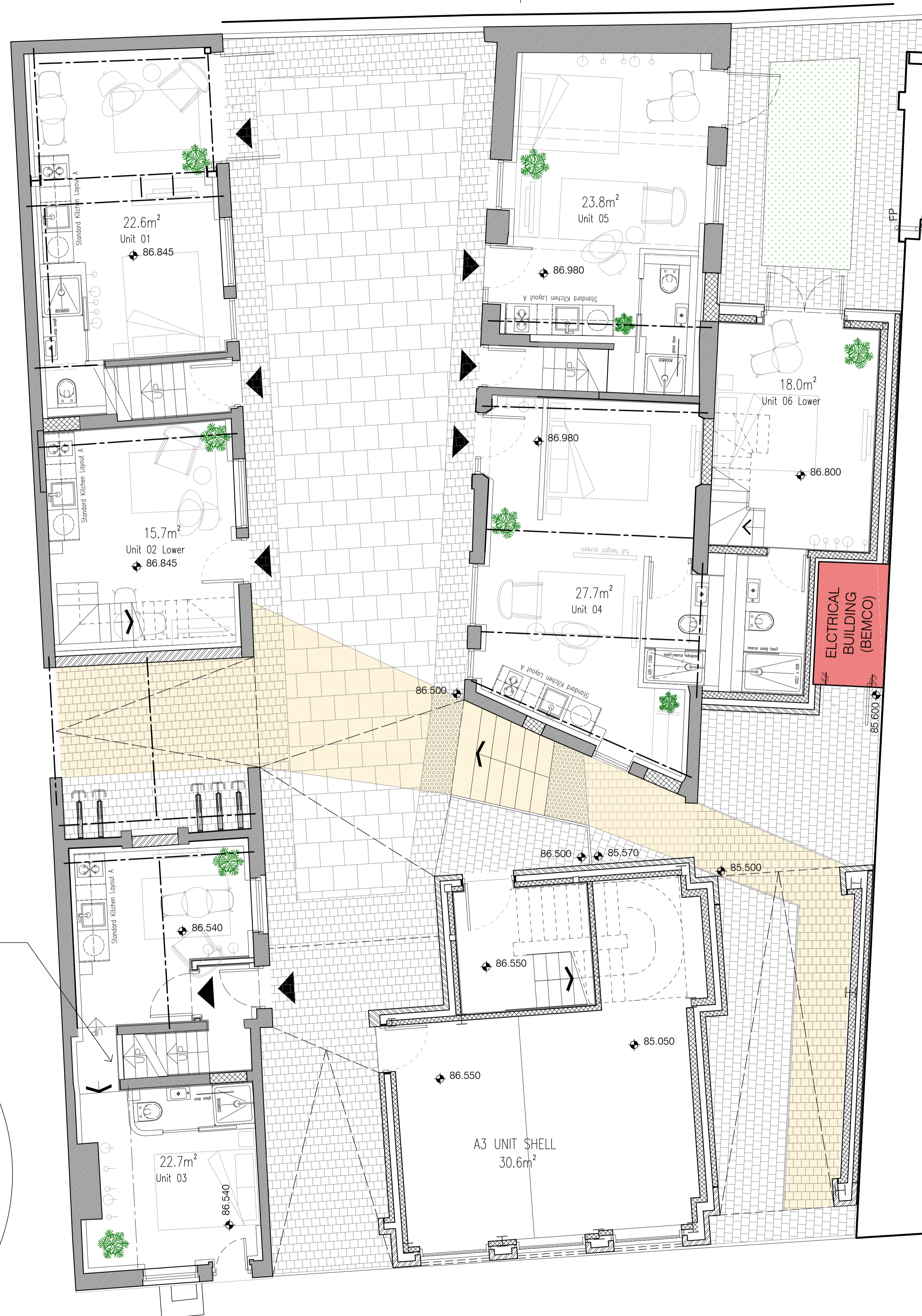
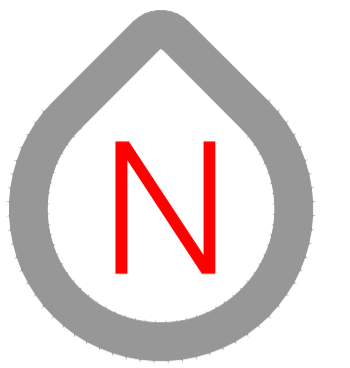


**STEEL CITY PHASE 3**  
RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
FUTURE GENERATION

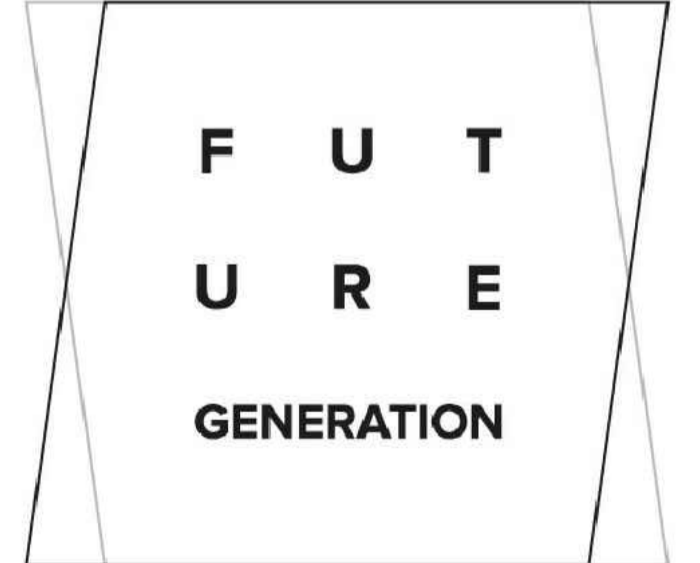
**WORKS TO EXISTING SECOND FLOOR PLAN**

A1 Scale	A3 Scale	Date	Drawn By	REVISED
1:50	1:100	SEPT 2018	CJS	

Drawing Number: **27155\_A(02)22** Revision: **F**



- R A3 unit revised with passageways to either side formed. External paving updated. Single storey extension up to 2 storey listed range omitted. Exist Electrical (Bemco) Plantroom building retained. Units 3, 4 & 6 layouts updated. External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- P Work to unit 3 cellar omitted & gf layout revised. Roof light to laundry/vending area omitted. Unit 5 window changed to door as elevation. Unit 3 window changed to door. Entrance doors to unit 4 & 5 updated to match elevation. | MAW 17/09/2020
- N Tender Issue. Minor amendments to layouts | RC 13/05/2020
- M Unit 3 layout amended. External light well added | JW d 02/03/2020
- L Layouts amended. Cellar level included | JW 18/11/2019
- K Layouts revised following design review | JW 08/11/2019
- J 2 Storey Listed Range Amended In Line With Existing Window Pattern | JW 05/08/2019
- H Layout Revised To Include Studios Throughout, In Line With Client Comments. S73 Planning Issue | JW 16/05/2019
- G Stair Core Line Amended. Position of Feature Stair Revised. Roof Lights Above Revised. Glazed Link Position Amended | JW 16/04/2019
- F Floor Levels, Rooflight and Stair Design Amended | JW 11/03/2019
- E Amendments in Line with Planning Officer Comments | JW 06/03/2019
- D General Amendments. Tender Status Issue | JW 28/01/2019
- C Amendments In Line With Consultant Coordination | JW 28/01/2019
- B Amendment to Bedroom Layout and Envelope Lining | JW 14/01/2019
- A Proposal Amended In Line With Planner Comments | JW 09/01/2019



Revision  
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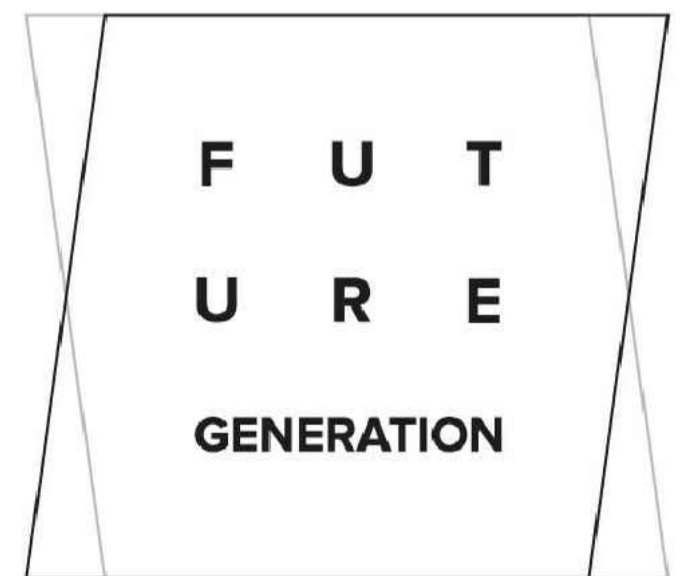
**STEEL CITY SITE 3**  
 RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
 FUTURE GENERATION

**GA PLANS PROPOSED**  
 GROUND FLOOR

A1 Scale	A3 Scale	Date	Drawn By	REA #
1:50	1:100	SEPT 2018	CJS	
Drawing Number				Revision
<b>27155_A(02)31</b>				<b>R</b>



- R Single storey extension up to 2 storey listed range omitted. Exist Electrical (Bemco) Plantroom building retained. External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- P Stair window omitted. External wall to link to existing building changed to zinc. Roof window omitted to flat roof over gf | MAW 17/09/2020
- N Door to roof adj unit 12 changed to window and additional window position retained to match style of existing metal trades windows | MAW 14/09/2020
- M Tender issue. Minor amendments to layouts | RC 13/05/2020
- L Layouts amended | JW 18/11/2019
- K Layouts revised following design review | JW 08/11/2019
- J 2 Storey Listed Range Amended In Line With Plans / Existing Wall Retained | JW 05/08/2019
- H Layout Revised To Show Studios Throughout. In Line With Client Comments. S73 Planning Issue | JW 16/05/2019
- G Rooflight Design Amended To Suit FC Comments. Glazed Link Position Amended | JW 16/04/2019
- F Rooflight and Stair Design Amended | JW 11/03/2019
- E Amendments In Line With Planning Officer Comments | JW 06/03/2019
- D General Amendments. Tender Status Issue | JW 28/01/2019
- C Amendments In Line With Consultant Coordination | JW 28/01/2019
- B Proposal Amended In Line With Planner Comments | JW 09/01/2019
- A Existing Stair to 3 Storey Range Retained | JW 07/12/2018



Revision

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**STEEL CITY SITE 3**  
RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
FUTURE GENERATION

**GA PLANS PROPOSED**  
FIRST FLOOR

A1 Scale	A3 Scale	Date	Drawn By	REV #
1:50	1:100	SEPT 2018	CJS	
Drawing Number				Revision
<b>27155_A(02)32</b>				<b>R</b>

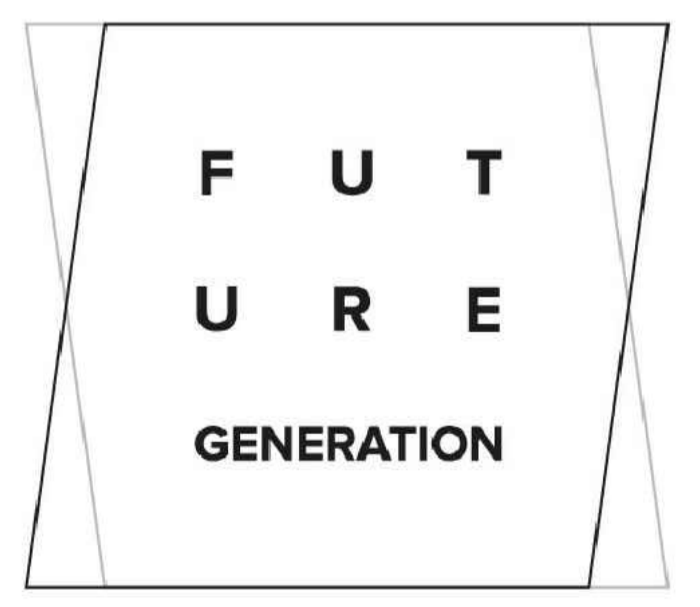


a  
—  
b  
—  
c  
—

Floor level to be lowered to equal adjoining floors, and provide sufficient headroom under roof trusses



- M Single storey extension up to 2 storey listed range omitted. Exist Electrical (Bemco) Plantroom building retained. External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- L Stair window omitted. Ext wall to link to ex building changed to zinc | MAW 17/09/2020
- K Tender issue. Minor amendments to layouts | RC 13/05/2020
- J Layouts amended | JW 18/11/2019
- H Layouts revised following design review | JW 08/11/2019
- G Layout Revised To Show Studios Throughout, In Line With Client Comments. S73 Planning Issue | JW 16/05/2019
- F Position Of Glazed Link Amended | JW 16/04/2019
- E Stair Design Amended | JW 11/03/2019
- D General Amendments. Tender Status Issue | JW 28/01/2019
- C Amendments In Line With Consultant Coordination | JW 28/01/2019
- B Proposal Amended In Line With Planner Comments | JW 09/01/2019
- A Existing Stair to 3 Storey Range Retained | JW 07/12/2018



Revision

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**STEEL CITY SITE 3**  
RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
FUTURE GENERATION

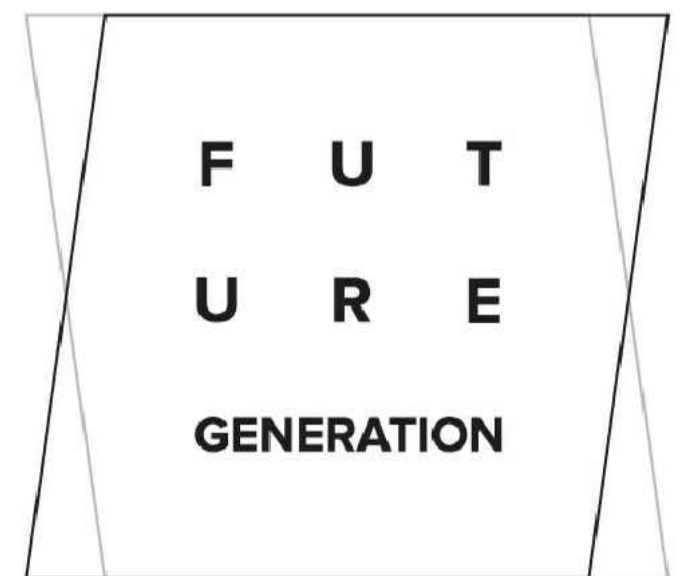
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Drawing Number				Revision
<b>27155_A(02)33</b>				<b>M</b>



a  
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b  
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c  
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d

- K Single storey extension up to 2 storey listed range omitted. Exist Electrical (Benco) Plantroom building retained. External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- J Roof terrace to unit 19 omitted. Stair window omitted. Window openings to Garden street changed as 2F. | MAW 17/09/2020
- H Tender issue. Minor amendments to layouts | RC 13/05/2020
- G Layouts revised following design review | JW 08/11/2019
- F 2-Storey Extension Envelope Revised. S73 Planning Issue | JW 16/05/2019
- E Position Of Glazed Link Amended | JW 16/04/2019
- D Stair Design Amended | JW 11/03/2019
- C General Amendments. Tender Status Issue | JW 28/01/2019
- B Amendments In Line With Consultant Coordination 28/01/2019
- A Proposals Amended In Line With Planner Comments | JW 09/01/2019



Revision

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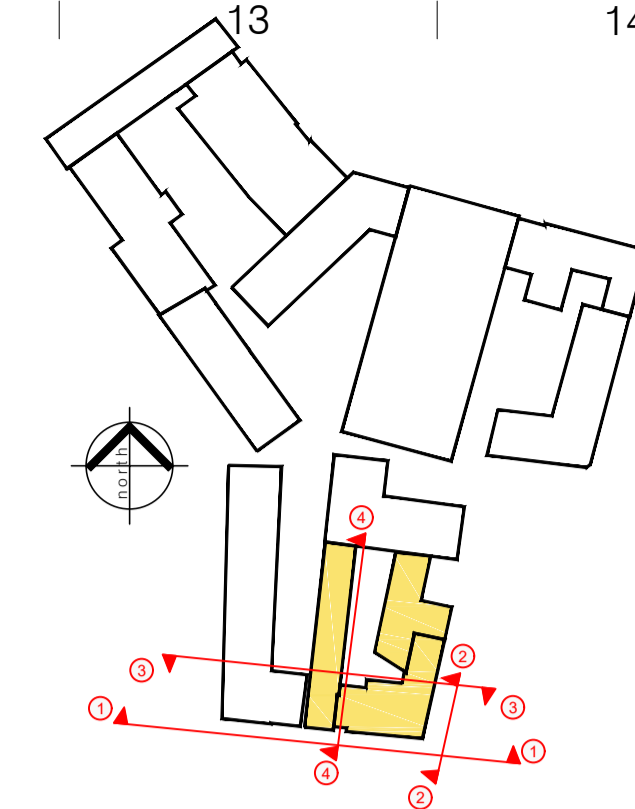
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**STEEL CITY SITE 3**  
RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
FUTURE GENERATION

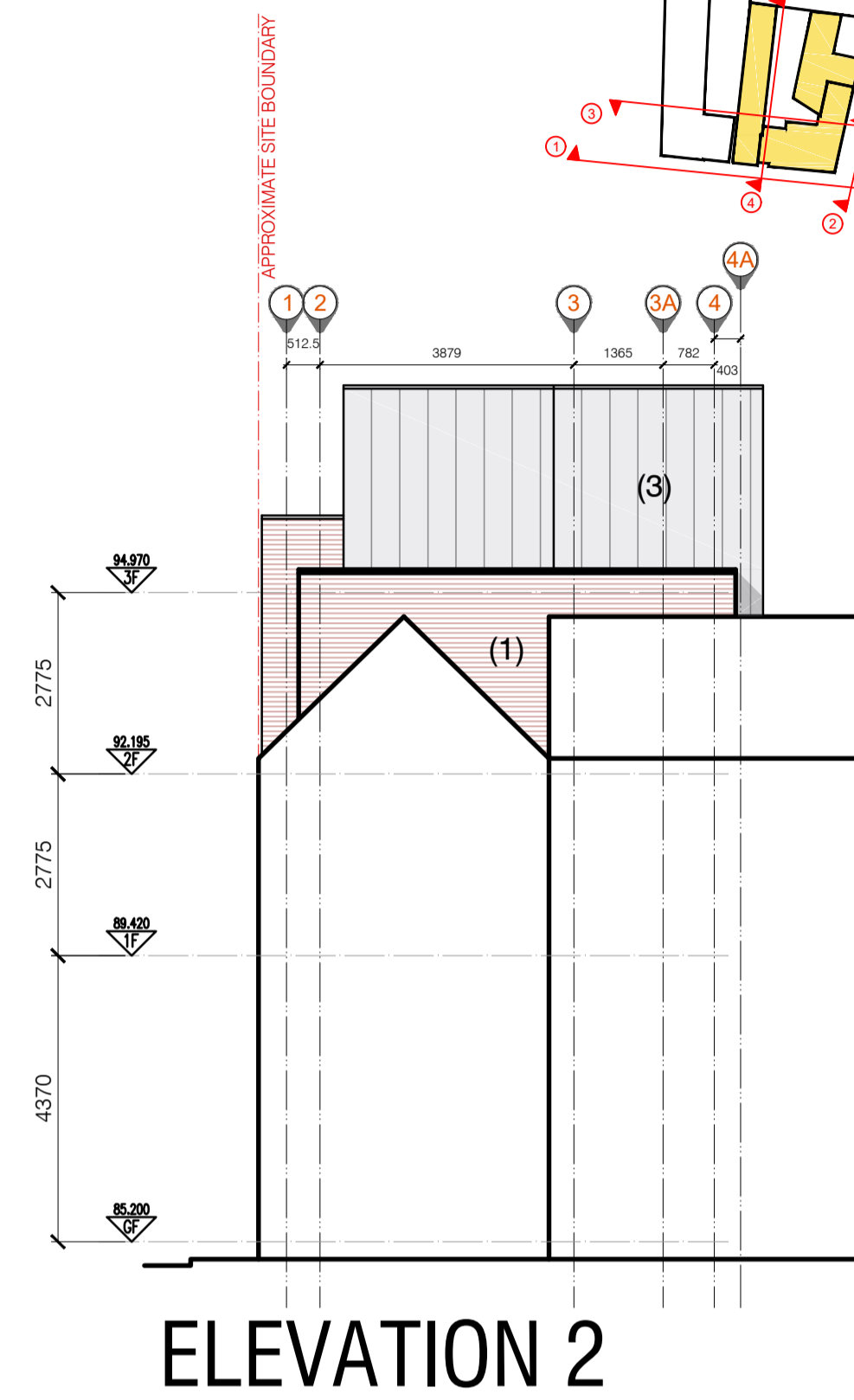
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Drawing Number				Revision
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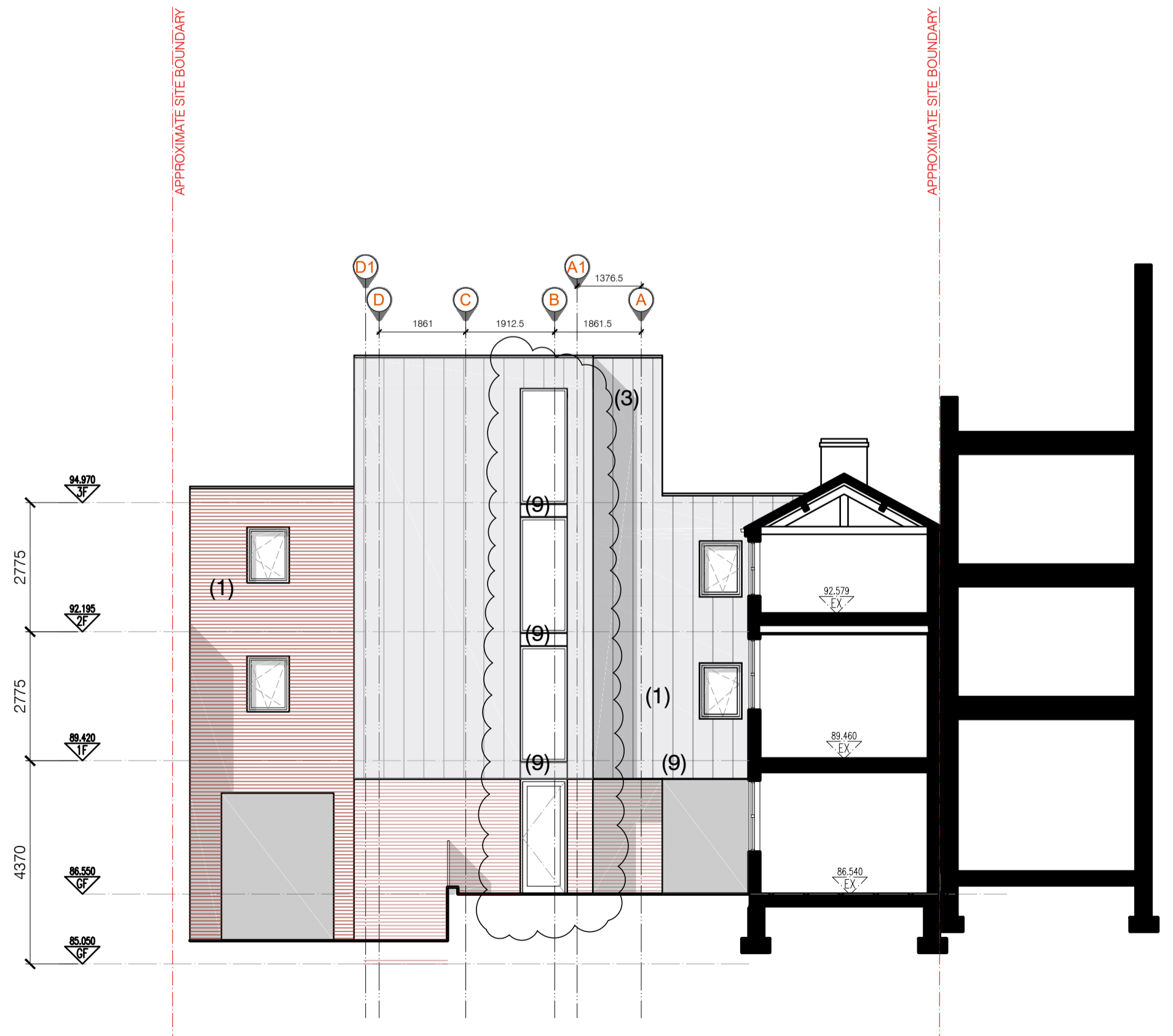
ELEVATION 1 - GARDEN STREET



ELEVATION 2

- MATERIALS KEY**
1. Red facing brickwork with mid-grey colour mortar with raked joint. Sample panel to be approved by Planning/Conservation Officer.
  2. Soldier coursed brickwork to match. a
  3. Patinated zinc cladding with vertical standing seam detail.
  4. Emphasised glazed opening to respect the historical cart entrance to the site.
  5. Existing render to be inspected and made good where required, new render finish to match existing.
  6. Existing brickwork to be cleaned and repaired with replacement brickwork, to be approved by Planning / Conservation Officer.
  7. Existing windows to be made good or replaced like-for-like where required.
  8. Natural slate to pitched roofs. b
  9. Exposed steel channel, colour TBC.
  10. Black sinusoidal cladding in vertical orientation.
- WINDOWS** to be high performance PPC Aluminium (RAL 7022) with trickle vents (ADF System ventilation strategy), acoustic to XXX. Whole window U-value to be max. 1.2W/m<sup>2</sup>K. Clear double glazing (U.N.O.) with g-value max 0.42. Replacement windows to existing buildings to be high performance PPC Aluminium (colour TBC) with opening casements with glazing bars.
- CURTAIN WALLING** (to glazed link and stair cores) to be minimal framed PPC Aluminium (RAL 7022) with high performance clear double glazing. Whole window U-value to be max. 1.5W/m<sup>2</sup>K. Clear double glazing (U.N.O) with g-value max 0.42. c

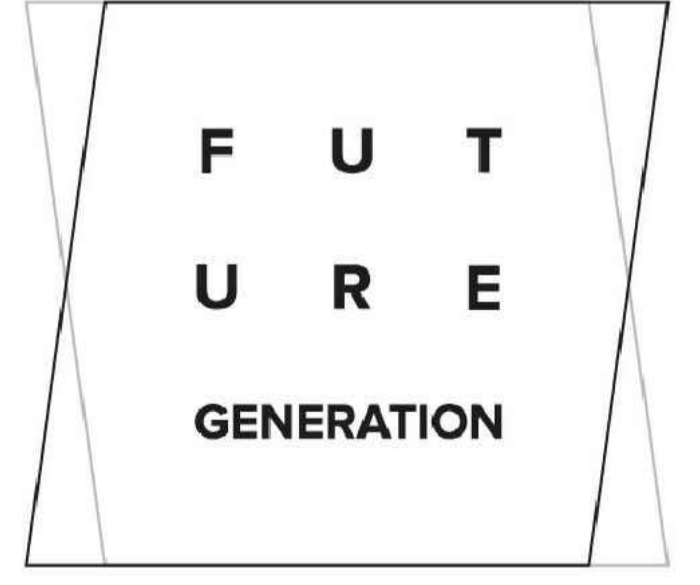
- L Stair window changed from corner window to single window. Window format updated to new casement style windows where required as contract VE to 3 & 2 storey range. External door styles revised & updated. | MAW 30/10/2020
- K A3 unit revised with passageways to either side formed. Single storey extension up to 2 storey listed range omitted. Exist Electrical (Bemco) Plantroom building retained. External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- J Elevation 1, 3F window opening sizes revised to match 2F, 3 No new sash window types to ex building. Elevation 1 & 3 link to ex building changed to zinc cladding. Elevation 3 curtain wall changed to 4 windows. Elevation 3 stair windows (3 No) omitted. Elevation 4 3 No new sash window types to ex building. | MAW 17/09/2020
- H Elevation 1 GF opening to existing range changed to solid timber boarded door | MAW 14/09/2020
- G Elevation Window Design Amended In Line With Plans | JW 05/08/2019
- F Elevations Amended To Suit Details. S73 Planning Issue | JW 17/05/2019
- E Elevations Amended In Line With Plans. Window References Added | JW 10/04/2019
- D Floor Levels Amended | JW 11/03/2019
- C Amendments In Line With Planning Officer Comments | JW 06/03/2019
- B General Amendments. Tender Status Issue | JW 28/01/2019
- A Proposal Amended In Line With Planner Comments | JW 09/01/2019



ELEVATION 3



ELEVATION 4

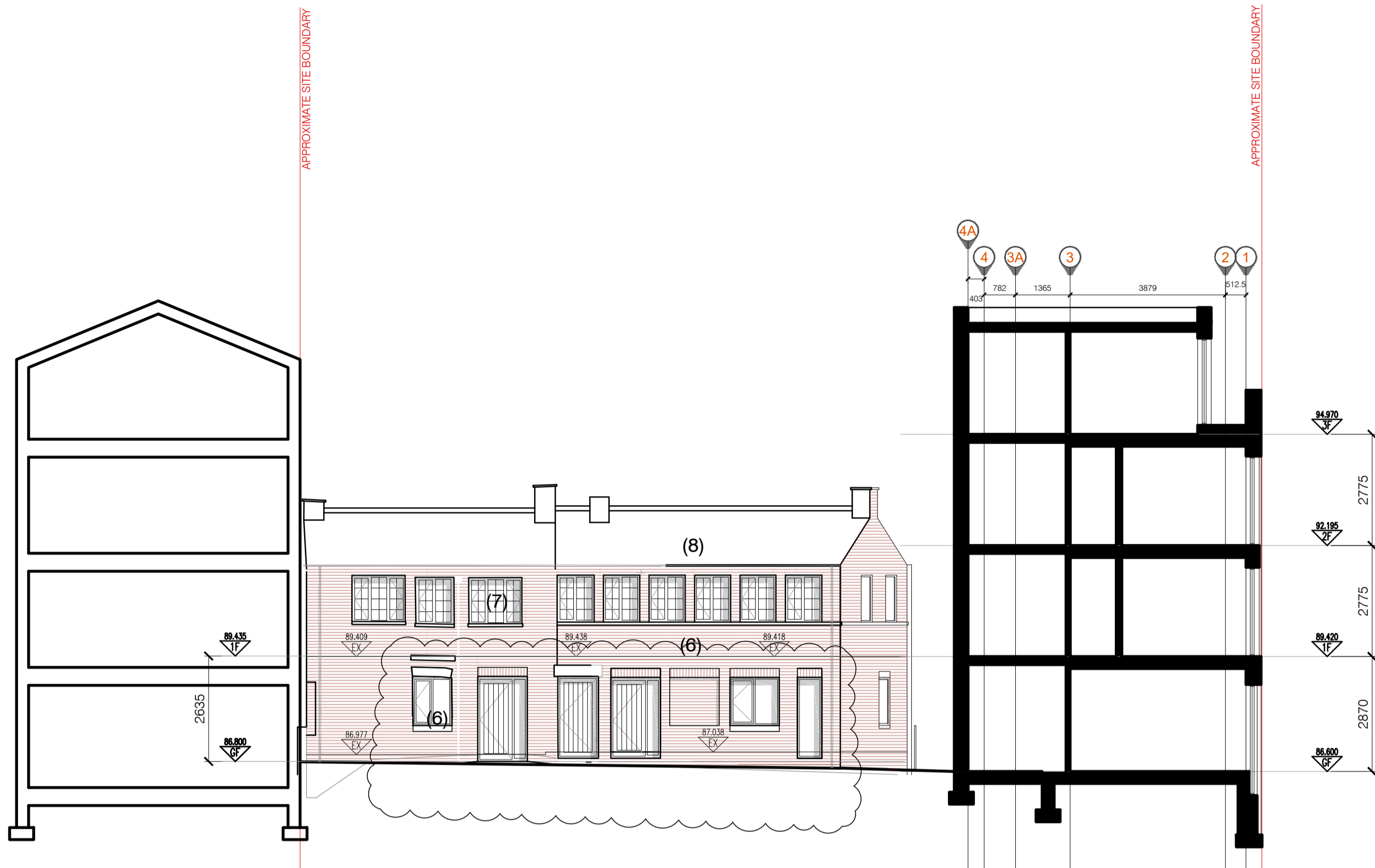


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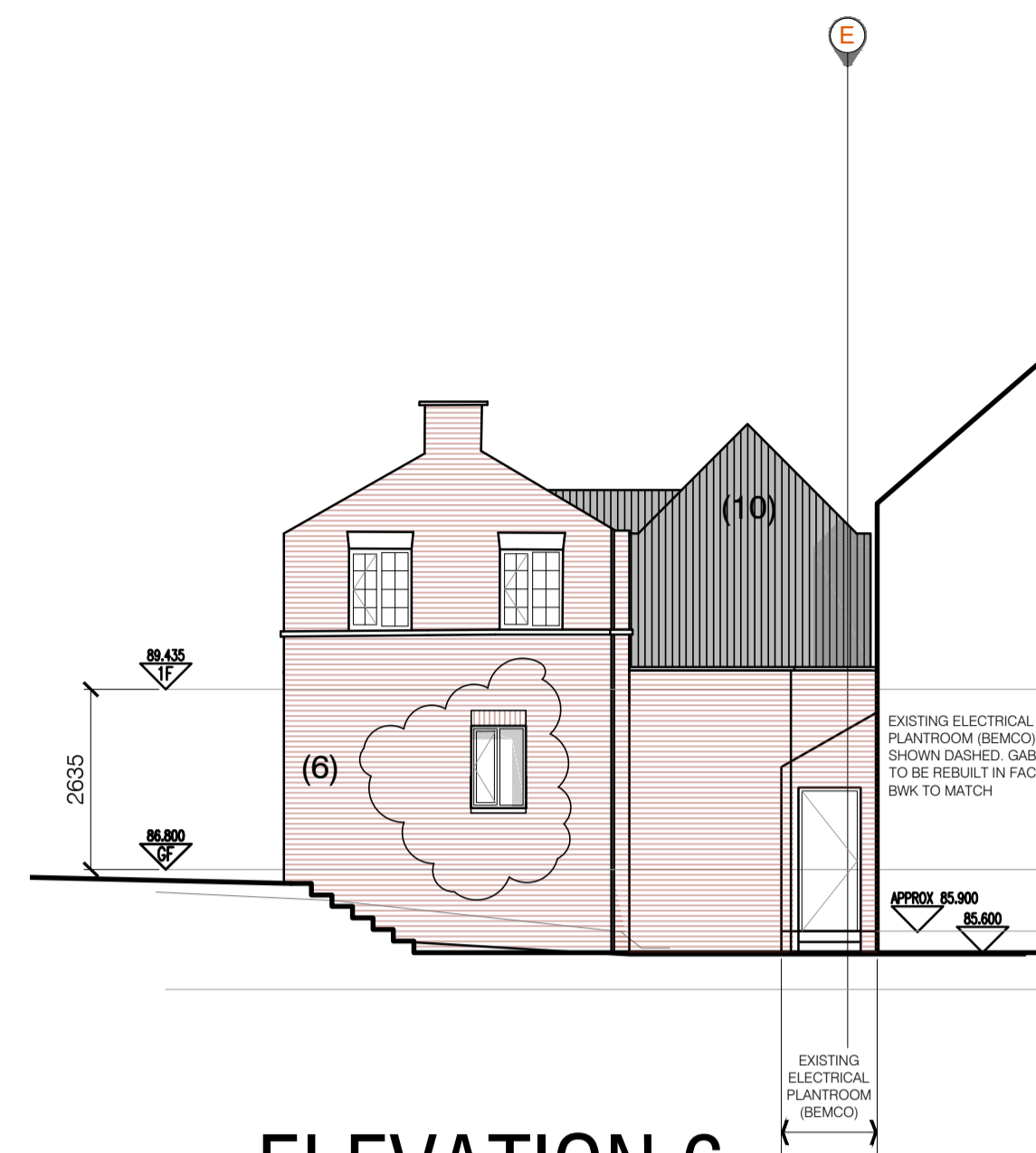
STEEL CITY SITE 3  
RESIDENTIAL DEVELOPMENT  
SHEFFIELD  
FUTURE GENERATION

PROPOSED ELEVATIONS  
SHEET 1

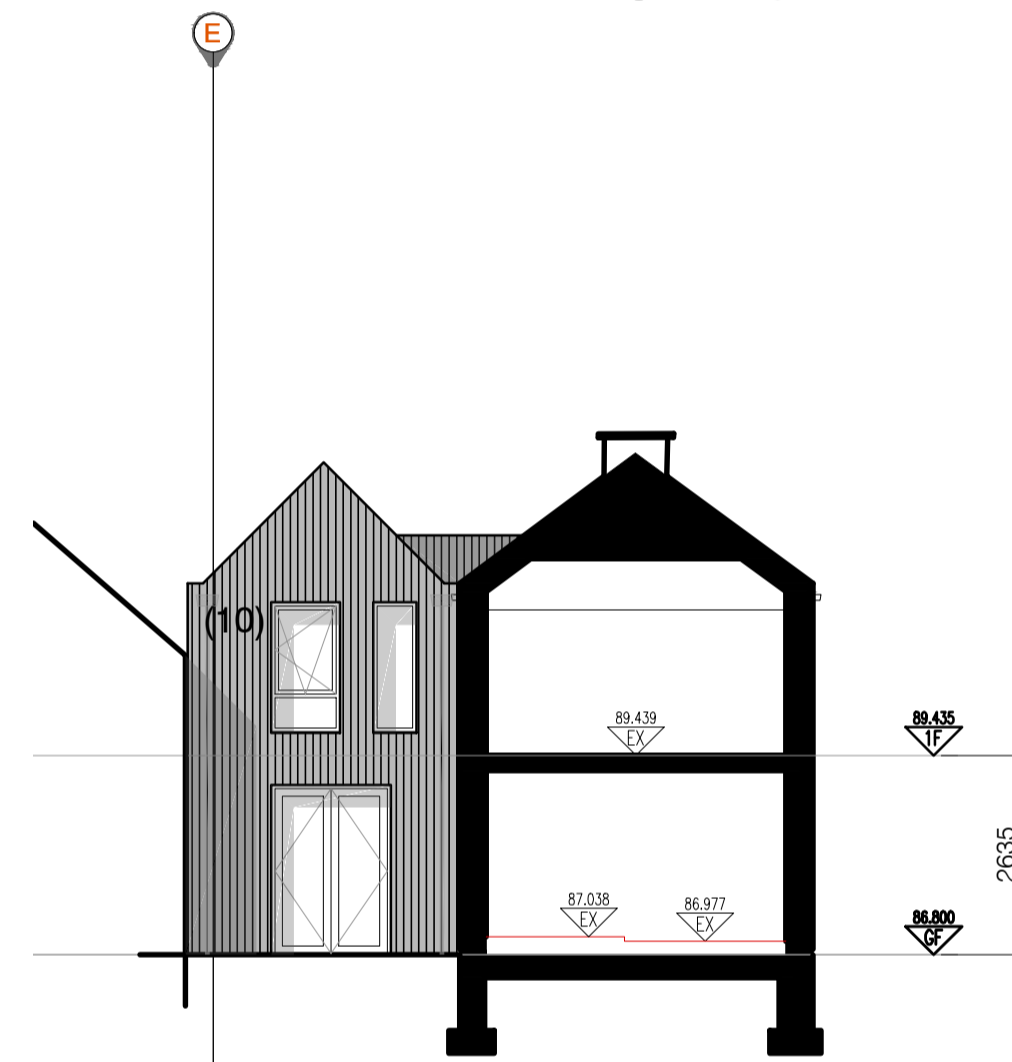
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Drawing Number				Revision
27155_A(04)27				L



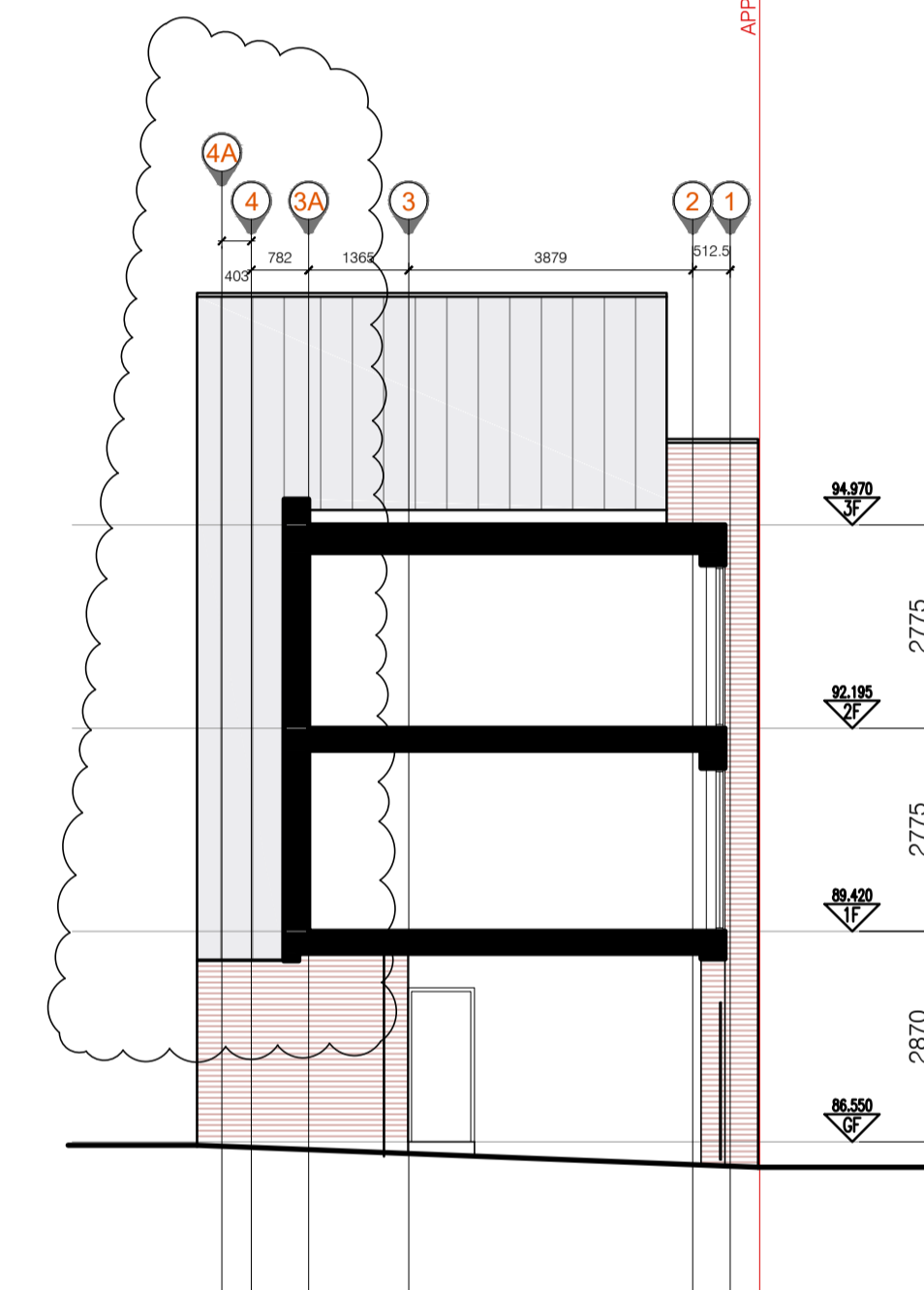
ELEVATION 5



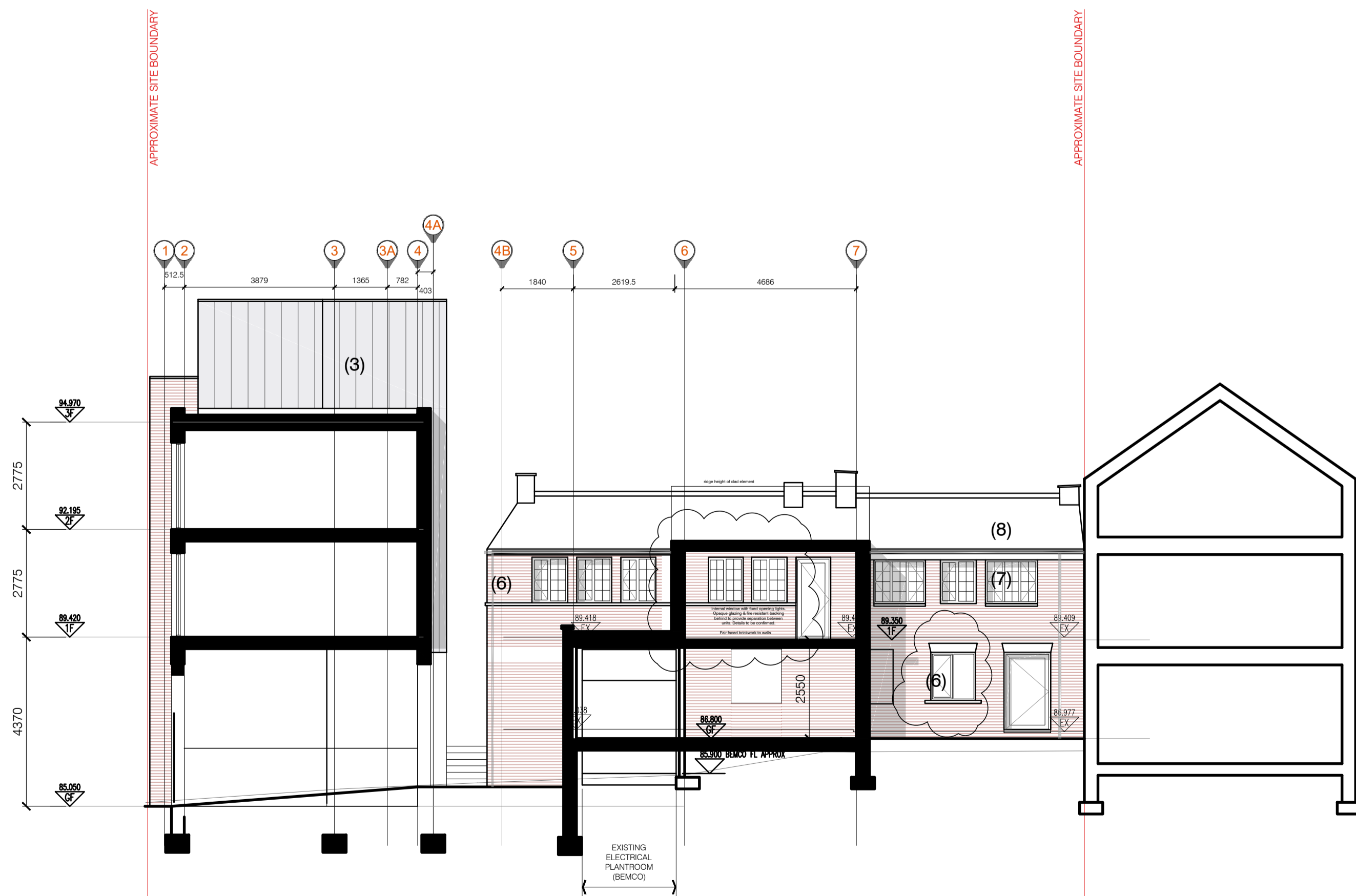
ELEVATION 6



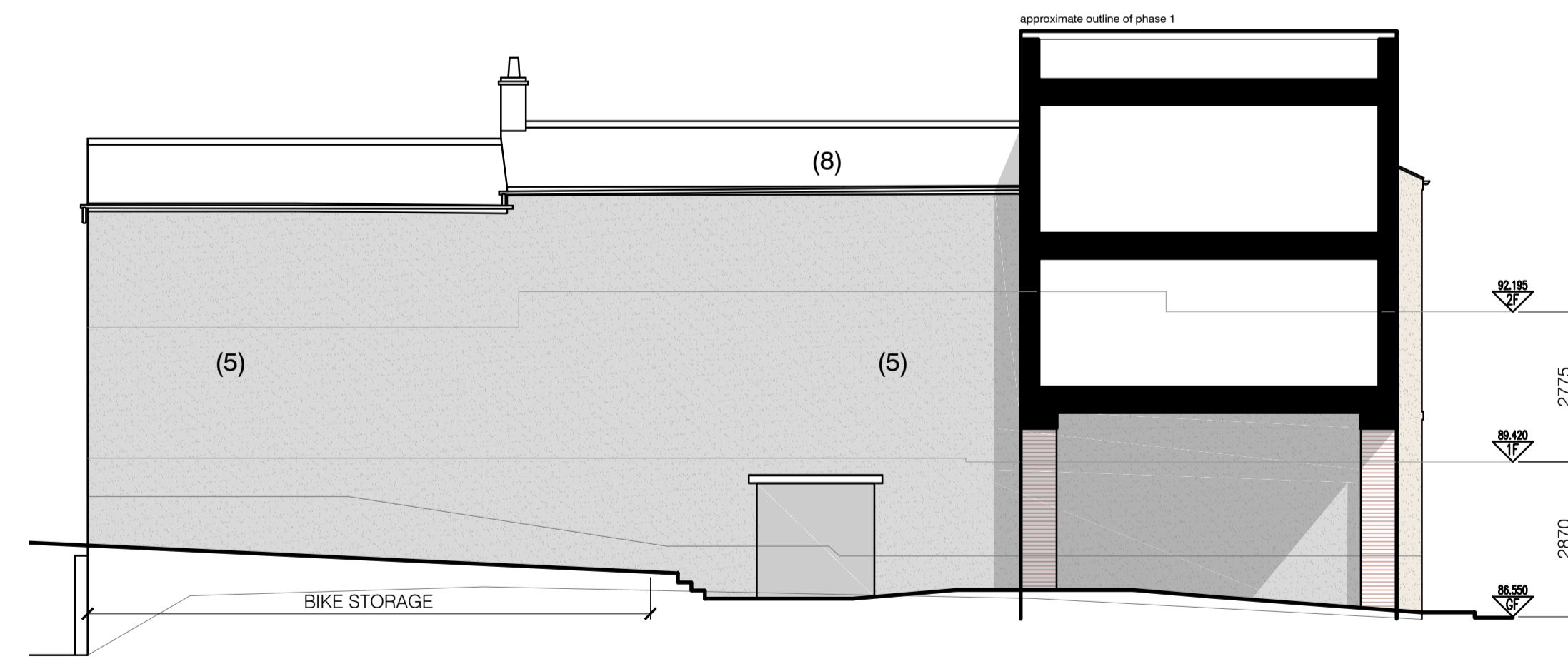
ELEVATION 7



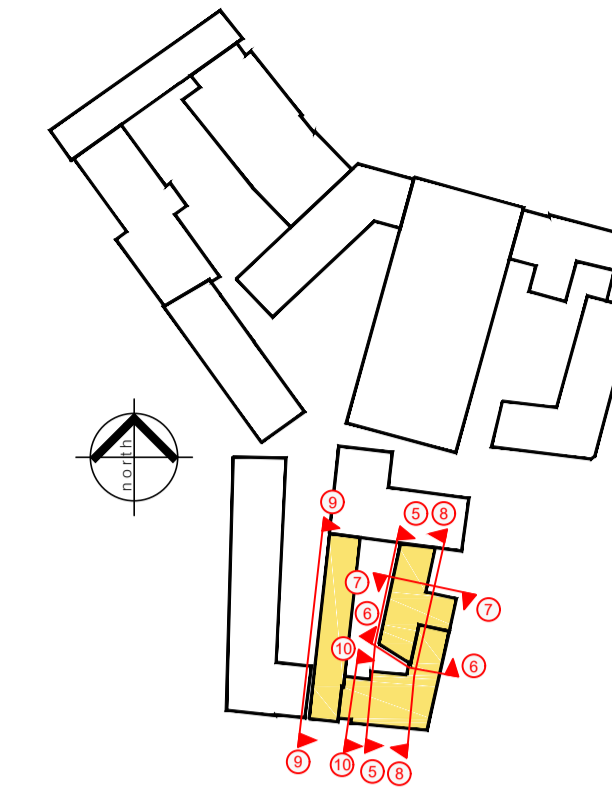
ELEVATION 10



ELEVATION 8



ELEVATION 9



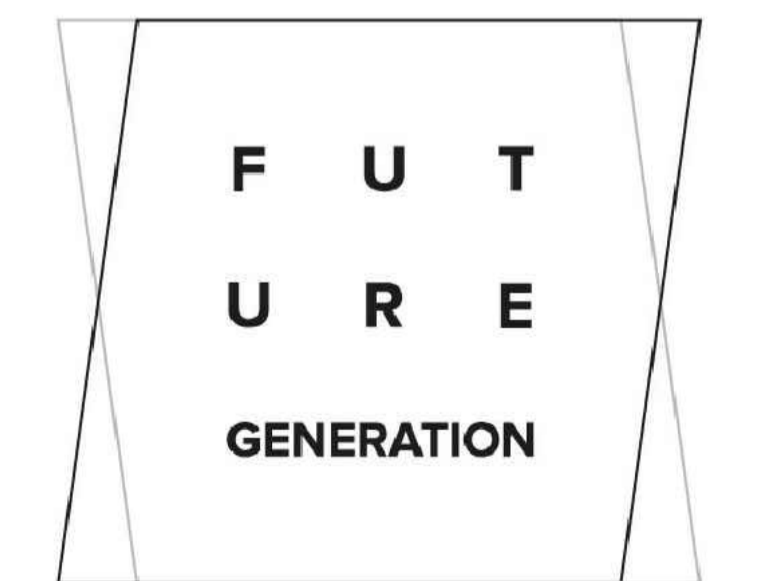
MATERIALS KEY

1. Red facing brickwork with mid-grey colour mortar with raked joint. Sample panel to be approved by Planning/Conservation Officer.
2. Soldier coursed brickwork to match.
3. Patinated zinc cladding with vertical standing seam detail.
4. Emphasised glazed opening to respect the historical cart entrance to the site.
5. Existing render to be inspected and made good where required, new render finish to match existing.
6. Existing brickwork to be cleaned and repaired with replacement brickwork, to be approved by Planning / Conservation Officer.
7. Existing windows to be made good or replaced like-for-like where required.
8. Natural slate to pitched roofs.
9. Exposed steel channel, colour TBC.
10. Black sinusoidal cladding in vertical orientation.

WINDOWS to be high performance PPC Aluminium (RAL 7022) with trickle vents (ADF System ventilation strategy), acoustic to XXX. Whole window U-value to be max. 1.2W/m²k. Clear double glazing (U.N.O.) with g-value max 0.42. Replacement windows to existing buildings to be high performance PPC Aluminium (colour TBC) with opening casements with glazing bars.

CURTAIN WALLING (to glazed link and stair cores) to be minimal framed PPC Aluminium (RAL 7022) with high performance clear double glazing. Whole window U-value to be max. 1.5W/m²k. Clear double glazing (U.N.O.) with g-value max 0.42.

- L Stair window changed from corner window to single window. Window format updated to new casement style windows where required as contract VE to 3 & 2 storey range. External doors to be revised & updated. Notes added re internal windows on elevation 8. | MAW 30/10/2020
- K A3 unit revised with passageways to either side formed. Single storey extension up to 2 storey listed range omitted. Exist Electrical (Bemco) Plantroom building retained External wall & windows to new stair revised. Issued for planning approval | MAW 23/10/2020
- J Elevation 5, middle door to ex stair changed to solid timber plank. Elevation 8 door to roof omitted & windows added | MAW 14/09/2020
- H Elevation 10 amended, D01 omitted | JW 18/06/2020
- G Elevation 8 Amended In Line With Plans 05/08/2019 / Existing Window Pattern | JW
- F Elevations Amended In Line With Plans. S73 Planning Issue | JW 17/05/2019
- E Elevations Amended In Line With Plans. 10/04/2019 Window Reference Added | JW
- D Floor Levels Amended | JW 11/03/2019
- C Amendments In Line With Planner Comments | JW 06/03/2019
- B General Amendments. Tender Status Issue | JW 28/01/2019
- A Proposal Amended In Line With Planner Comments | JW 09/01/2019



Revision  
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STEEL CITY SITE 3  
 RESIDENTIAL DEVELOPMENT  
 SHEFFIELD  
 FUTURE GENERATION

PROPOSED ELEVATIONS  
 SHEET 2

A1 Scale	A3 Scale	Date	Drawn By	REV #
1:100	1:200	SEPT 2018	CJS	
Drawing Number				Revision
27155_A(04)28				L



ELEVATION 1 - GARDEN STREET SOUTH ELEVATION



ELEVATION 2 - 3 STOREY RANGE EAST ELEVATION

**FABRIC WORKS KEY**

**GENERAL**

- Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners
- Refer to separate Asbestos Report carried out by Cordtape Limited
- Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited
- Pigeon guano removal to be carried out by Main Contractor and to include temporary protection to window openings where glass broken to prevent pigeon ingress
- Main Contractor to allow for removal of redundant cabling / services, light fittings, extract vents etc from façade and making good as required
- Main Contractor to allow for soft-strip of listed buildings in line with discussions with Planning / Conservation Officer, following walk-around of site Friday 18th January 2019
- Main Contractor to allow for specialist damp and timber condition surveys, with implementation of recommendations and associated costs to be agreed with the Client
- Main Contractor to allow for carefully raking out and complete re-pointing of existing Listed Ranges, using non-hydraulic lime mortar, following completion of brickwork / building fabric repairs and alterations to create new openings

**BUILDING FABRIC REPAIRS / UPGRADE**

**BRICKWORK REPAIRS**

**KEY**

- Areas of brickwork to be propped and carefully dismantled and rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar
- Area of localised / patch repair to brickwork using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar

**1** - Existing slate roof covering removed, roof timbers exposed and checked for rot / structural capacity and repaired / replaced as necessary.  
 Refurbishment to allow for open roof construction, with circa 100mm thick mineral fibre flexible insulation batts to provide tight fit between rafters and underdrawn with 22mm insulated plasterboard with integral vapour control layer and plaster skim finish.

Roof covering replaced with Spanish or Canadian Slate with matching ridge tiles, subject to Planning / Conservation Officer approval on tannalised SW battens on breathable membrane.

Allowance for existing chimney stacks to be repointed, chimney pots added where missing / re-bedded as appropriate and lead flashings replaced

NB Further discussion with Conservation Officer required during the 'soft strip' phase, to agree an area within the development for the re-instatement of a lath and plaster ceiling

**2** - Existing UPVC rainwater goods removed and replaced with cast aluminium type (Rainwater Direct or similar) pre-finished black with ogee gutters / collared round downpipes

**3** - Paint removed from existing stone heads / cills / string course and plinth, using non-aggressive chemical treatment or light polystyrene bead blasting. Mortar joints repointed as necessary using non-hydraulic mortar mix

**4** - Existing render finish removed from entire elevation and 400mm to side returns to allow for new build construction.

Surface thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied, carefully cutting in to existing stone detailing.

**5** - Existing modern windows removed and replaced with new timber casement windows in hardwood with friction hinges, double glazing and paint finish.

**5A** - Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.

**6** - Existing modern door removed and replaced with new solid timber boarded door fixed shut.

**7** - Demolition of existing single storey brick building with allowance for grubbing up existing basement structure to suit new build foundations - refer to Structural Engineers, Eastwood and Partners latest drawings / details.

NB Contractor to allow for carefully removing / salvaging original cart entrance detail on corner of building for re-use in the new build, to be incorporated in the new entrance doorway.

**8** - Brickwork above existing arched opening strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details

**9** - Existing infill brickwork removed and re-instated as a window opening with 150 deep channel section lintol detail externally and concrete lintol detail internally - refer to Structural Engineers details

**10** - Existing vertical joint strapped internally and repointed - refer to Structural survey report / Eastwood and Partners details

**11** - 2 storey range traditional metal trades windows to be replaced in timber to match existing but with 'Slimlite' or similar double glazing putty beaded.

**12** - Existing stone string course / window cills repaired with non-hydraulic lime Stone Repair Mortar

**13** - Cracked brickwork strapped internally, damaged bricks replaced and repointed as specification for patch repairs elsewhere - refer to Structural survey report / Eastwood and Partners details

**14** - New opening formed with channel section lintol to our leaf / concrete lintol to inner leaf - refer to Structural Engineers details

**15** - Existing render finish patch repaired where required; areas thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied. New paint finish applied with a breathable paint compatible with the lime render system (Earthborn Ecopros Silicate Masonry System or similar approved), colour BS 5252 00-A-03 'Grey'.

**16** - GREEN HATCH - Allowance for carefully cutting back existing render, fitting galvanised shadow render stop and replacing render below (circa 1m high strip where damaged) with galvanised render stop and exposing minimum 2 courses brickwork margin below to suit ground levels of adjoining phases. Render and paint finish specifications as per no. 15.

**RESIDUAL RISK**

Wherever possible unnecessary risk is designed out of these proposals. Where residual risk remains this is assessed and identified on the relevant drawings with this symbol. Refer to the note and the relevant measures in the Health + Safety documentation

a

b

c

d

H Window format updated to new casement style windows where required as contract VE to 3 & 2 storey range. External door styles revised & updated. | MAW 30/10/2020

G Drawing generally updated as 27155\_A(02)31R to show passageways either side of A3 unit & retention of existing electrical (Bemco) building. Replacement sliding sash windows [5A] to Garden Street & Courtyard. Replacement casement windows elsewhere to 3 storey range. Issued for planning approval | MAW 23/10/2020

F Elevation 1 GF opening to existing range changed to solid timber boarded door. Notes updated | MAW 14/09/2020

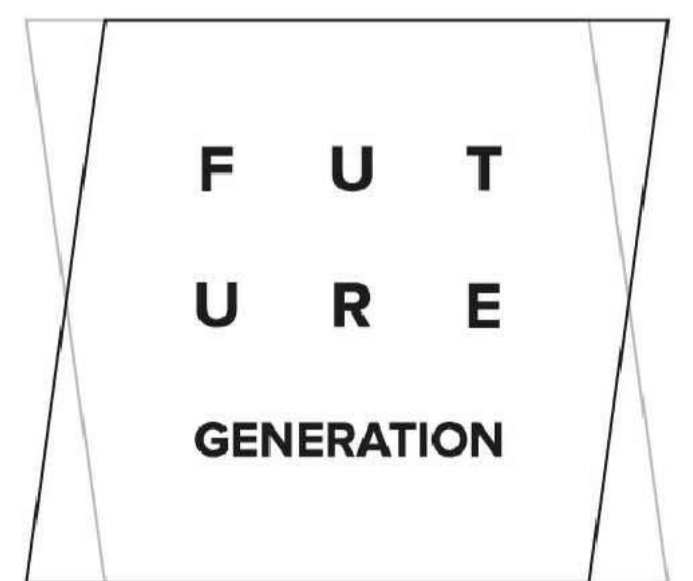
E Repair annotations amended | JW 15/08/2019

D Proposed Elevation 1 Amended in Line With Plans | JW 05/08/2019

C Proposed Floor Levels Amended | JW 11/03/2019

B Proposed Design Revised in Line With Planner Comments | JW 06/03/2019

A Tender Status Issue | JW 28/01/2019



Revision



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**STEEL CITY SITE 3**  
 RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
 FUTURE GENERATION

**FABRIC WORKS**  
 ELEVATIONS SHEET 1

A1 Scale A3 Scale Date Drawn By  
 1:50 1:100 JAN 2019 JW

Drawing Number  
**27155\_A(04)30**

Revision  
**H**

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**RESIDUAL RISK**  
 Wherever possible unnecessary risk is designed out of these proposals. Where residual risk remains this is assessed and identified on the relevant drawings with this symbol. Refer to the note and the relevant measures in the Health + Safety documentation

**FABRIC WORKS KEY**

**GENERAL**

Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners

Refer to separate Asbestos Report carried out by Cordtape Limited  
 Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited

Pigeon guano removal to be carried out by Main Contractor and to include temporary protection to window openings where glass broken to prevent pigeon ingress

Main Contractor to allow for removal of redundant cabling / services, light fittings, extract vents etc from façade and making good as required

Main Contractor to allow for soft-strip of listed buildings in line with discussions with Planning / Conservation Officer, following walk-around of site Friday 18th January 2019

Main Contractor to allow for specialist damp and timber condition surveys, with implementation of recommendations and associated costs to be agreed with the Client

Main Contractor to allow for carefully raking out and complete re-pointing of existing Listed Ranges, using non-hydraulic lime mortar, following completion of brickwork / building fabric repairs and alterations to create new openings

**BUILDING FABRIC REPAIRS / UPGRADE**

**BRICKWORK REPAIRS**

**KEY**

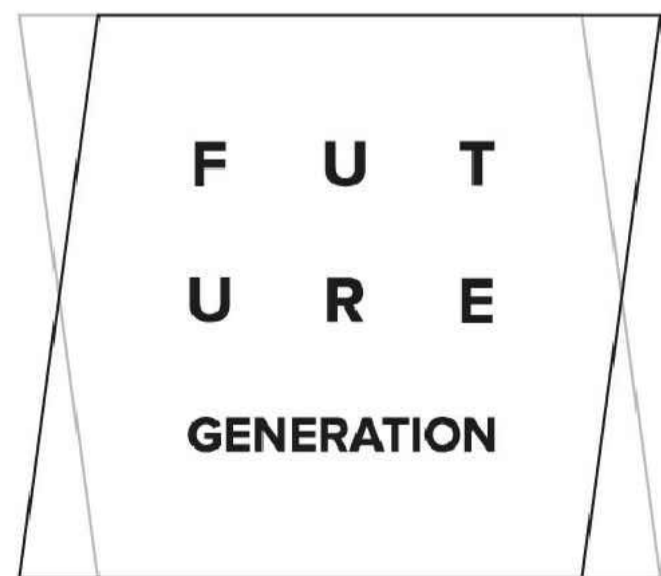
- Areas of brickwork to be propped and carefully dismantled and rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar
- Area of localised / patch repair to brickwork using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar

- 1** - Existing slate roof covering removed, roof timbers exposed and checked for rot / structural capacity and repaired / replaced as necessary.  
 Refurbishment to allow for open roof construction, with circa 100mm thick mineral fibre flexible insulation batts to provide tight fit between rafters and underdrawn with 22mm insulated plasterboard with integral vapour control layer and plaster skim finish.  
 Roof covering replaced with Spanish or Canadian Slate with matching ridge tiles, subject to Planning / Conservation Officer approval on tannalised SW battens on breathable membrane.  
 Allowance for existing chimney stacks to be repointed, chimney pots added where missing / re-bedded as appropriate and lead flashings replaced  
 NB Further discussion with Conservation Officer required during the 'soft strip' phase, to agree an area within the development for the re-installment of a lath and plaster ceiling

- 2** - Existing UPVC rainwater goods removed and replaced with cast aluminium type (Rainwater Direct or similar) pre-finished black with ogee gutters / collared round downpipes
- 3** - Paint removed from existing stone heads / cills / string course and plinth, using non-aggressive chemical treatment or light polystyrene bead blasting. Mortar joints repointed as necessary using non-hydraulic mortar mix
- 4** - Existing render finish removed from entire elevation and 400mm to side returns to allow for new build construction.  
 Surface thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied, carefully cutting in to existing stone detailing.
- 5** - Existing modern windows removed and replaced with new timber casement windows in hardwood with friction hinges, double glazing and paint finish.
- 5A** - Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Simlite' or similar double glazed units, putty beaded.
- 6** - Existing modern door removed and replaced with new solid timber boarded door fixed shut.
- 7** - Demolition of existing single storey brick building with allowance for grubbing up existing basement structure to suit new build foundations - refer to Structural Engineers, Eastwood and Partners latest drawings / details.  
 NB Contractor to allow for carefully removing / salvaging original cart entrance detail on corner of building for re-use in the new build, to be incorporated in the new entrance doorway.

- 8** - Brickwork above existing arched opening strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details
- 9** - Existing infill brickwork removed and re-instated as a window opening with 150 deep channel section lintol detail externally and concrete lintol detail internally - refer to Structural Engineers details
- 10** - Existing vertical joint strapped internally and repointed - refer to Structural survey report / Eastwood and Partners details
- 11** - 2 storey range traditional metal trades windows to be replaced in timber to match existing but with 'Simlite' or similar double glazing putty beaded.
- 12** - Existing stone string course / window cills repaired with non-hydraulic lime Stone Repair Mortar
- 13** - Cracked brickwork strapped internally, damaged bricks replaced and repointed as specification for patch repairs elsewhere - refer to Structural survey report / Eastwood and Partners details
- 14** - New opening formed with channel section lintol to our leaf / concrete lintol to inner leaf - refer to Structural Engineers details
- 15** - Existing render finish patch repaired where required; areas thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied. New paint finish applied with a breathable paint compatible with the lime render system (Earthborn Ecopro Silicate Masonry System or similar approved), colour BS 5252 00-A-03 'Grey'.
- 16** - GREEN HATCH - Allowance for carefully cutting back existing render, fitting galvanised shadow render stop and replacing render below (circa 1m high strip where damaged) with galvanised render stop and exposing minimum 2 courses brickwork margin below to suit ground levels of adjoining phases. Render and paint finish specifications as per no. 15.

H	Window format updated to new casement style windows where required as contract VE to 3 & 2 storey range. External doors to revised & updated. Notes added re internal windows on elevation 8.   MAW	30/10/2020
G	Drawing generally updated as 27155_A(02)31R to show passageways either side of A3 unit & retention of existing electrical (Bernco) building. Existing metal trades windows [11] to be replaced to match existing with simlite dg & putty beaded. Replacement casement windows elsewhere to 2 storey range. Issued for planning approval   MAW	23/10/2020
F	Elevation 3 - Middle door to ex stairway to be solid timber boarded door. Elevation 4 - door to roof changed to window and additional internal window shown   MAW	14/09/2020
E	Repair Annotations Amended   JW	15/08/2019
D	Elevation 4 Amended In Line With Plans 05/08/2019 and Existing Window Pattern   JW	05/08/2019
C	Proposed Floor Levels Amended   JW	11/03/2019
B	Proposed Design Revised In Line With Planner Comments   JW	06/03/2019
A	Tender Status Issue   JW	28/01/2019



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**STEEL CITY SITE 3**  
 RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
 FUTURE GENERATION

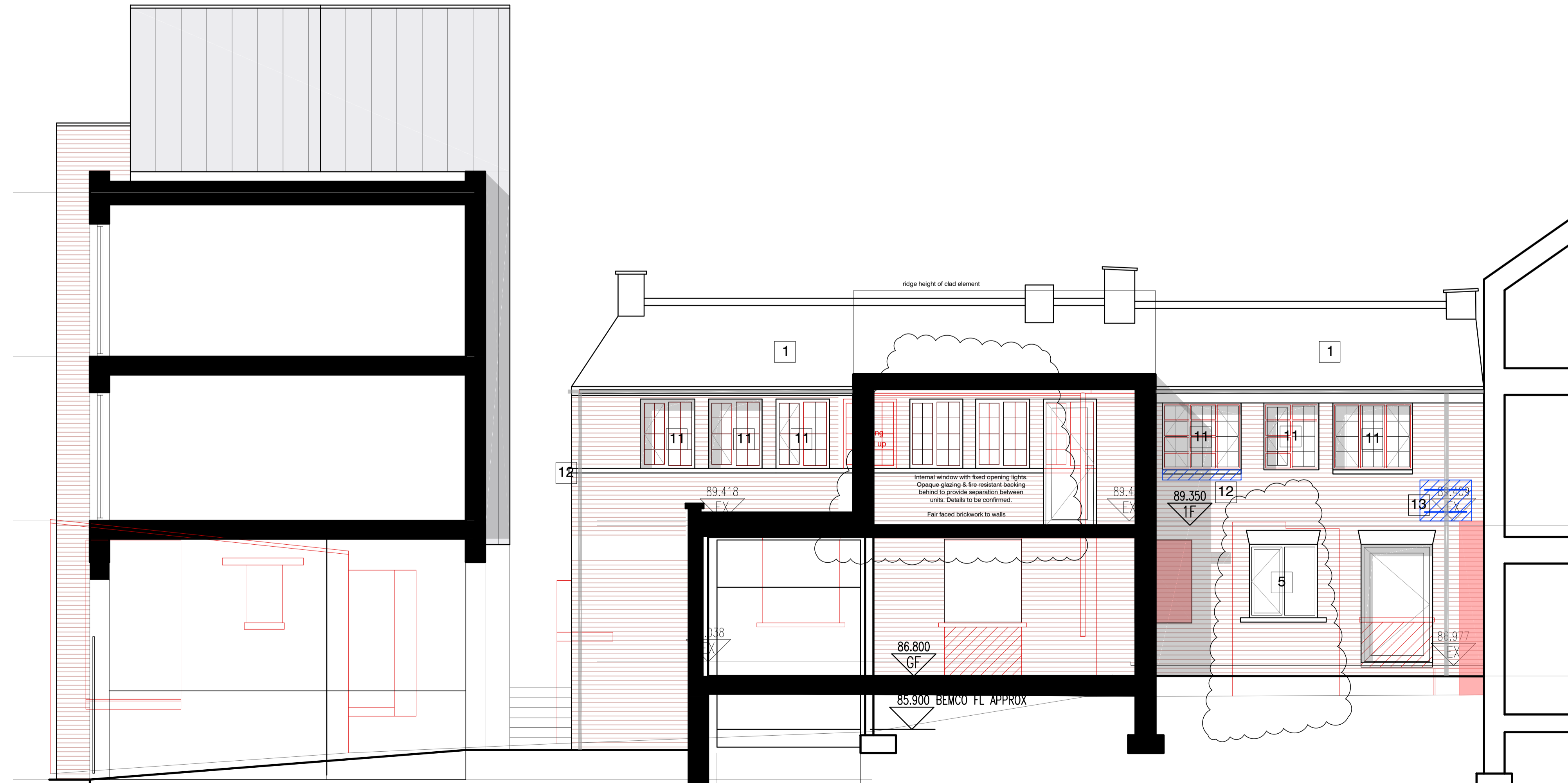
**PROPOSED ELEVATIONS**  
 EXISTING OVERLAY SHEET 2

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Drawing Number				Revision
<b>27155_A(04)31</b>				<b>H</b>

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**ELEVATION 3 - 2 STOREY RANGE WEST ELEVATION**



**ELEVATION 4 - 2 STOREY RANGE EAST ELEVATION**

**RESIDUAL RISK**  
 Whenever possible unnecessary risk is designed out of these proposals. Where residual risk remains this is assessed and identified on the relevant drawings with this symbol. Refer to the note and the relevant measures in the Health + Safety documentation

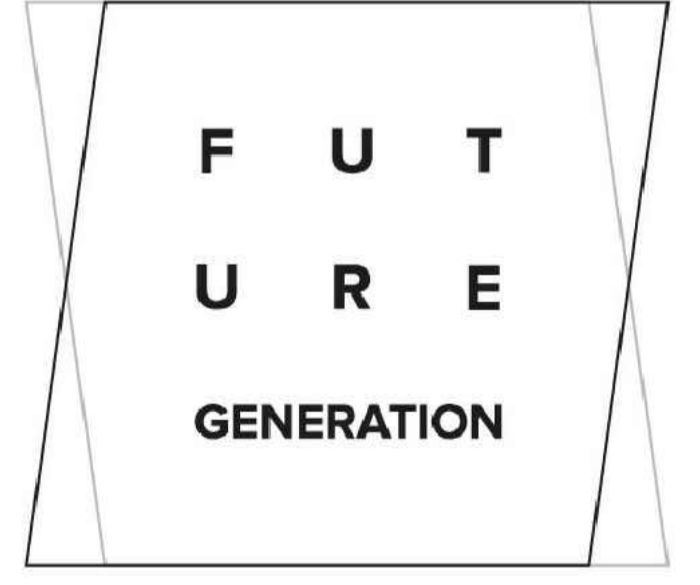
**FABRIC WORKS KEY**

- GENERAL**
- Refer to separate Structural Condition / Survey reports carried out by Eastwood and Partners
  - Refer to separate Asbestos Report carried out by Cordtape Limited
  - Asbestos Removal being carried out under separate contract by Specialist Sub-Contractor Cordtape Limited
  - Pigeon guano removal to be carried out by Main Contractor and to include temporary protection to window openings where glass broken to prevent pigeon ingress
  - Main Contractor to allow for removal of redundant cabling / services, light fittings, extract vents etc from façade and making good as required
  - Main Contractor to allow for soft-strip of listed buildings in line with discussions with Planning / Conservation Officer, following walk-around of site Friday 18th January 2019
  - Main Contractor to allow for specialist damp and timber condition surveys, with implementation of recommendations and associated costs to be agreed with the Client
  - Main Contractor to allow for carefully raking out and complete re-pointing of existing Listed Ranges, using non-hydraulic lime mortar, following completion of brickwork / building fabric repairs and alterations to create new openings

- BUILDING FABRIC REPAIRS / UPGRADE**
- BRICKWORK REPAIRS**
- KEY**
- Areas of brickwork to be propped and carefully dismantled and rebuilt using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar
  - Area of localised / patch repair to brickwork using reclaimed brickwork / specially made brickwork, cut toothed and bonded as required with matching coursing / pointing using non-hydraulic lime mortar

- 1** - Existing slate roof covering removed, roof timbers exposed and checked for rot / structural capacity and repaired / replaced as necessary. Refurbishment to allow for open roof construction, with circa 100mm thick mineral fibre flexible insulation batts to provide tight fit between rafters and underdrawn with 22mm insulated plasterboard with integral vapour control layer and plaster skim finish. Roof covering replaced with Spanish or Canadian Slate with matching ridge tiles, subject to Planning / Conservation Officer approval on tannalised SW battens on breathable membrane. Allowance for existing chimney stacks to be repointed, chimney pots added where missing / re-bedded as appropriate and lead flashings replaced. NB Further discussion with Conservation Officer required during the 'soft strip' phase, to agree an area within the development for the re-instatement of a lath and plaster ceiling.
- 2** - Existing UPVC rainwater goods removed and replaced with cast aluminium type (Rainwater Direct or similar) pre-finished black with ogee gutters / collared round downpipes
- 3** - Paint removed from existing stone heads / cills / string course and plinth, using non-aggressive chemical treatment or light polystyrene bead blasting. Mortar joints repointed as necessary using non-hydraulic mortar mix
- 4** - Existing render finish removed from entire elevation and 400mm to side returns to allow for new build construction. Surface thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied, carefully cutting in to existing stone detailing.
- 5** - Existing modern windows removed and replaced with new timber casement windows in hardwood with friction hinges, double glazing and paint finish.
- 5A** - Existing modern windows removed and replaced with new timber vertical sliding sash windows in selected s/w or paint grade h/w incorporating 'Slimlite' or similar double glazed units, putty beaded.
- 6** - Existing modern door removed and replaced with new solid timber boarded door fixed shut.
- 7** - Demolition of existing single storey brick building with allowance for grubbing up existing basement structure to suit new build foundations - refer to Structural Engineers, Eastwood and Partners latest drawings / details. NB Contractor to allow for carefully removing / salvaging original cart entrance detail on corner of building for re-use in the new build, to be incorporated in the new entrance doorway.
- 8** - Brickwork above existing arched opening strengthened to include bed joint reinforcement 2 courses apart to inner and outer leaf with vertical tie bars within centre of brickwork - refer to Structural Engineers details
- 9** - Existing infill brickwork removed and re-instated as a window opening with 150 deep channel section lintol detail externally and concrete lintol detail internally - refer to Structural Engineers details
- 10** - Existing vertical joint strapped internally and repointed - refer to Structural survey report / Eastwood and Partners details
- 11** - 2 storey range traditional metal trades windows to be replaced in timber to match existing but with 'Slimlite' or similar double glazing putty beaded.
- 12** - Existing stone string course / window cills repaired with non-hydraulic lime Stone Repair Mortar
- 13** - Cracked brickwork strapped internally, damaged bricks replaced and repointed as specification for patch repairs elsewhere - refer to Structural survey report / Eastwood and Partners details
- 14** - New opening formed with channel section lintol to our leaf / concrete lintol to inner leaf - refer to Structural Engineers details
- 15** - Existing render finish patch repaired where required; areas thoroughly prepared and new 3 coat non-hydraulic lime render (Cornish Lime or similar approved) applied. New paint finish applied with a breathable paint compatible with the lime render system (Earthborn Ecopro Silicate Masonry System or similar approved), colour BS 5252 00-A-03 'Grey'.
- 16** - GREEN HATCH - Allowance for carefully cutting back existing render, fitting galvanised shadow render stop and replacing render below (circa 1m high strip where damaged) with galvanised render stop and exposing minimum 2 courses brickwork margin below to suit ground levels of adjoining phases. Render and paint finish specifications as per no. 15.

E	Drawing generally updated as 27155_A(02)31R to show passageways either side of A3 unit & retention of existing electrical (Bemco) building. Issued for planning approval   MAW	23/10/2020
D	Repair Annotation Amended   JW	15/08/2019
C	Proposed Floor Levels Amended   JW	11/03/2019
B	Proposed Floor Level Amended To Suit Planning Officer Comments   JW	08/03/2019
A	Tender Status Issue   JW	28/01/2019

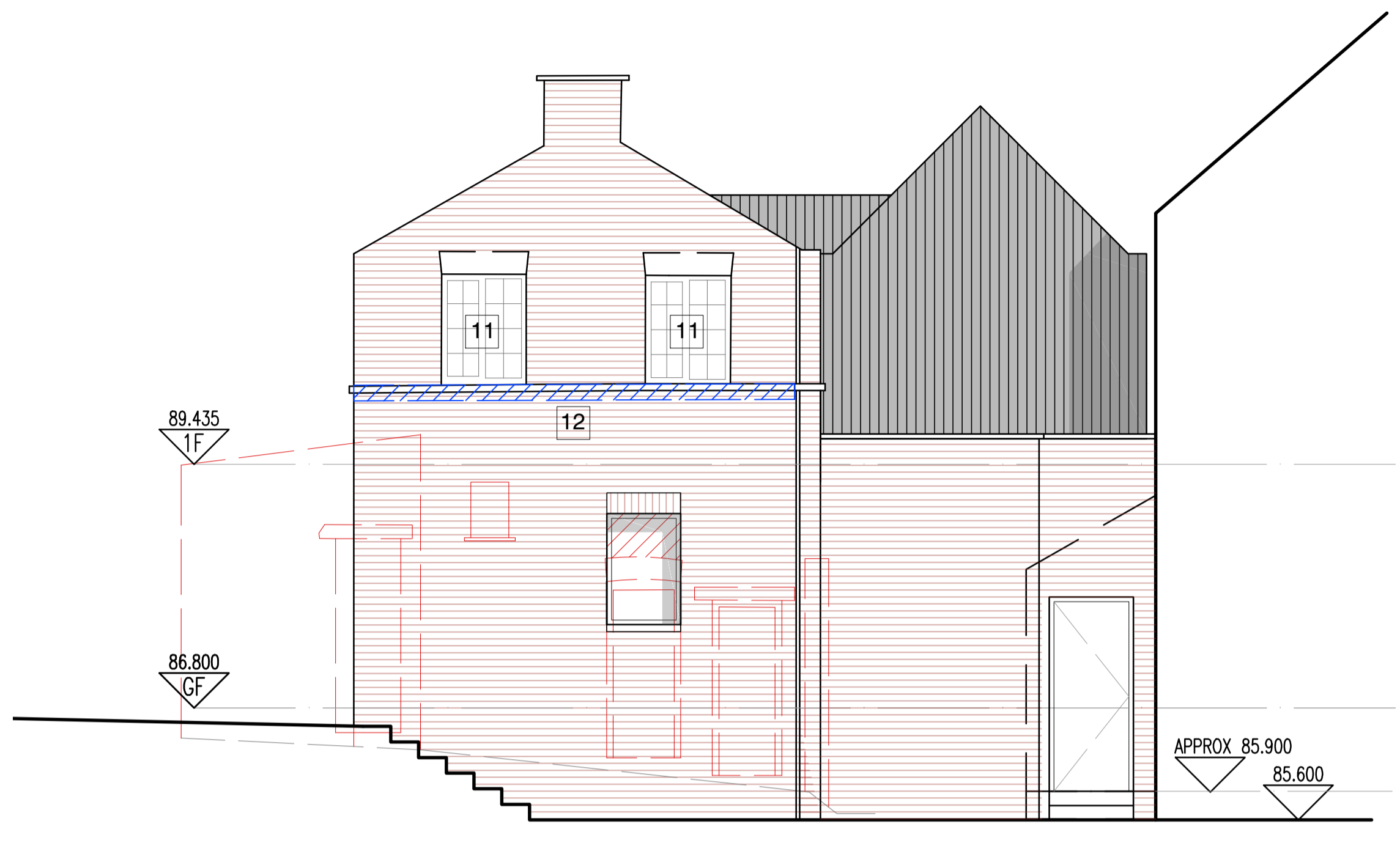


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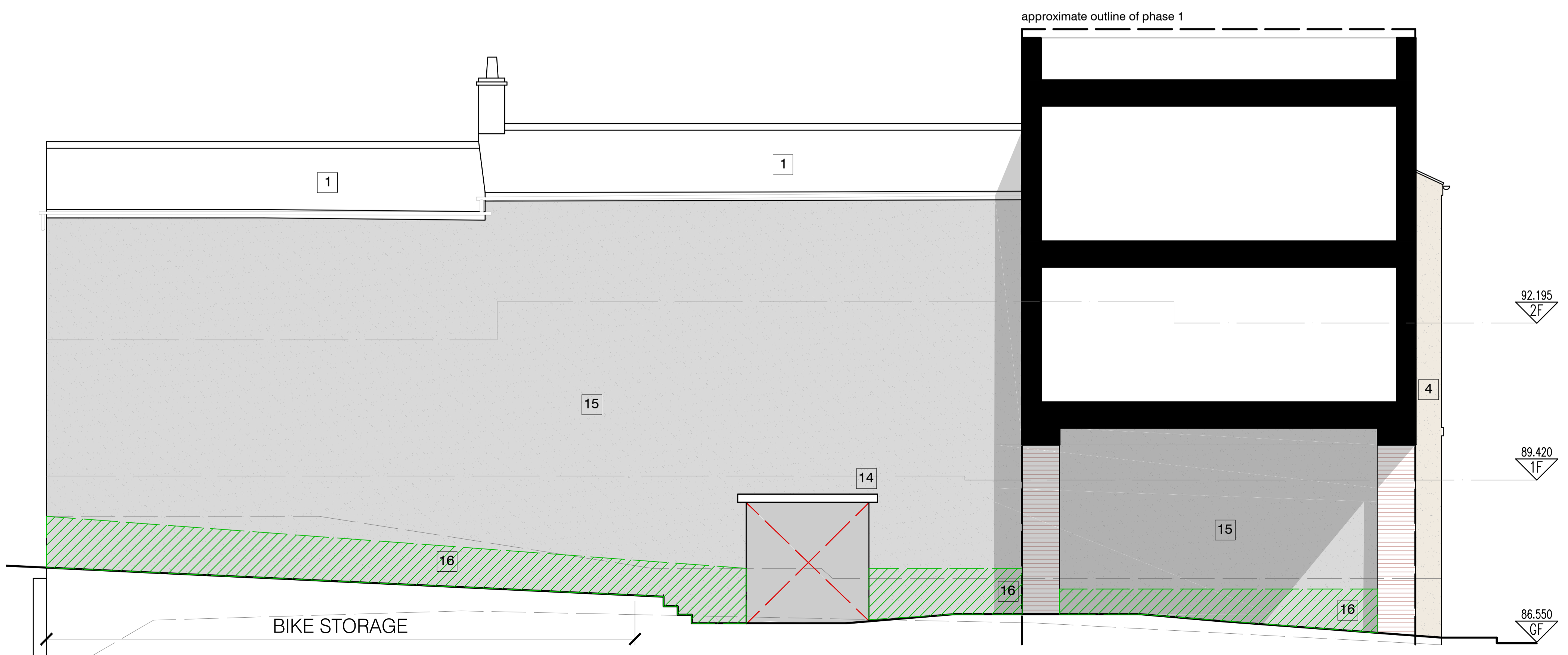
**STEEL CITY SITE 3**  
 RESIDENTIAL DEVELOPMENT  
**SHEFFIELD**  
 FUTURE GENERATION

**PROPOSED ELEVATIONS**  
**EXISTING OVERLAY SHEET 3**

A1 Scale	A3 Scale	Date	Drawn By	REV #
1:50	1:100	JAN 2019	JW	
Drawing Number		Revision		
27155_A(04)32		E		



**ELEVATION 5 - 2 STOREY RANGE SOUTH ELEVATION**



**ELEVATION 6 - 3 STOREY RANGE WEST ELEVATION**