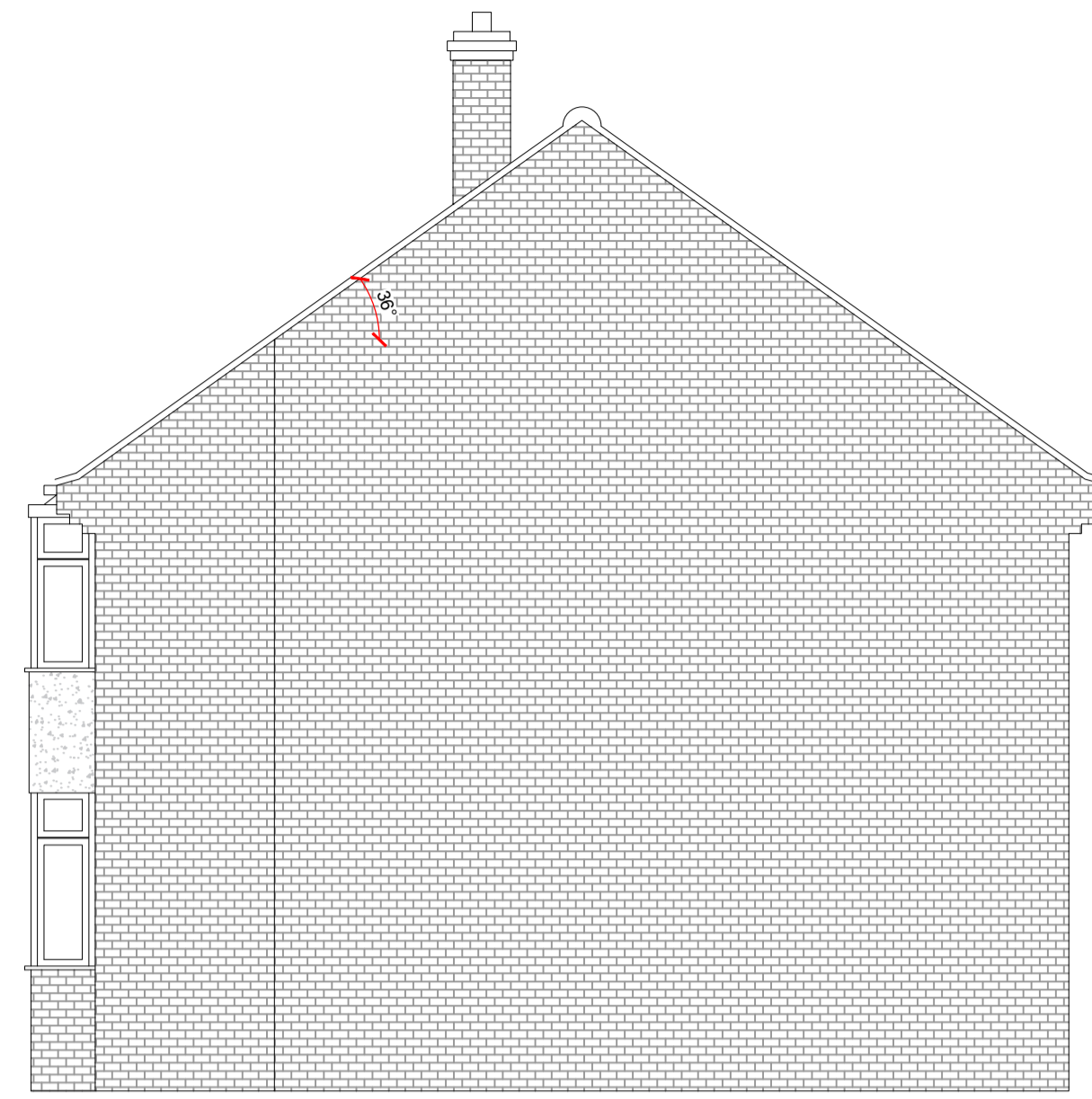
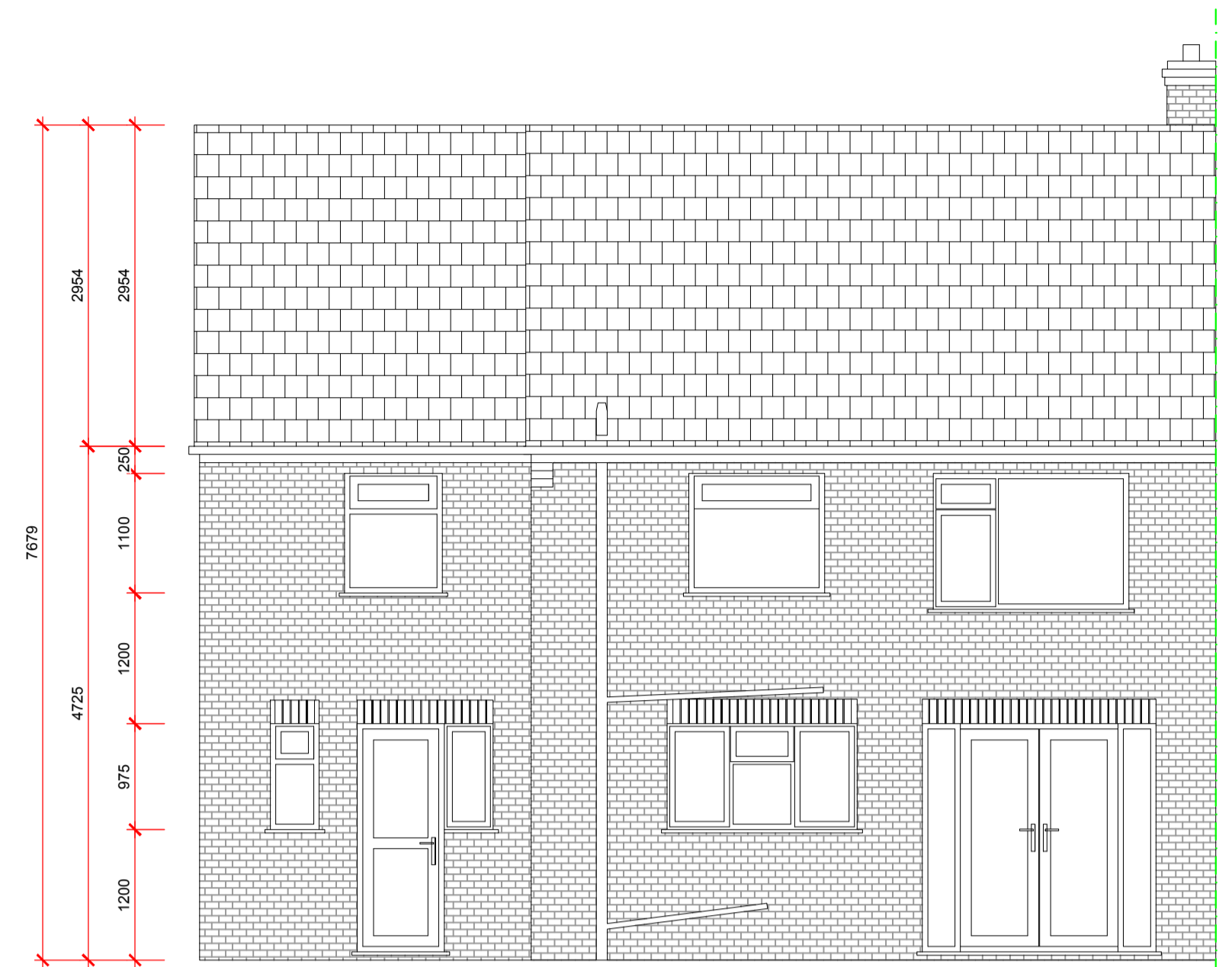


FRONT ELEVATION
1:50



EAST SIDE ELEVATION
1:50



REAR ELEVATION
1:50



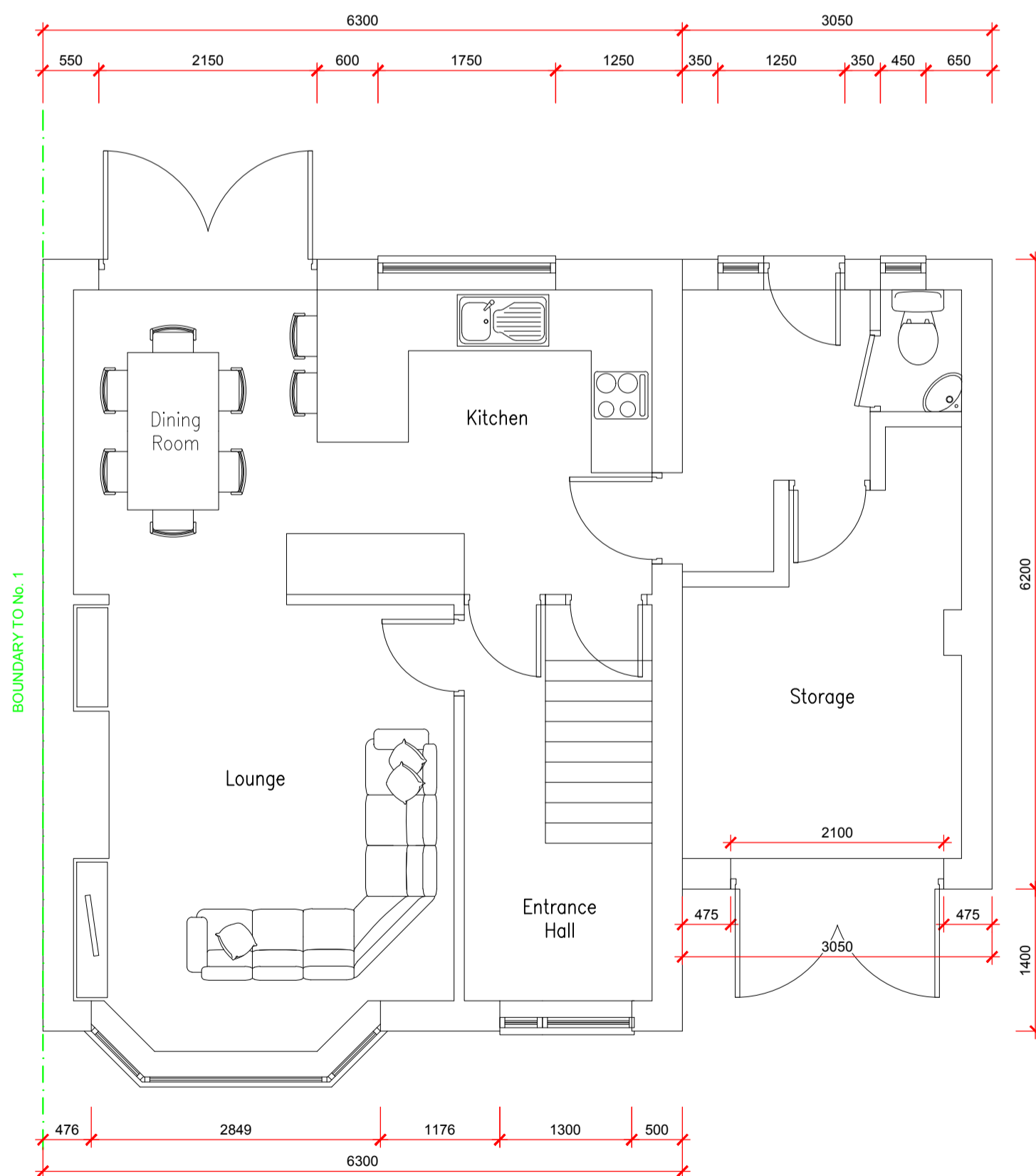
LOCATION PLAN
1:1250

MATERIALS AND EXTERNAL FINISHES

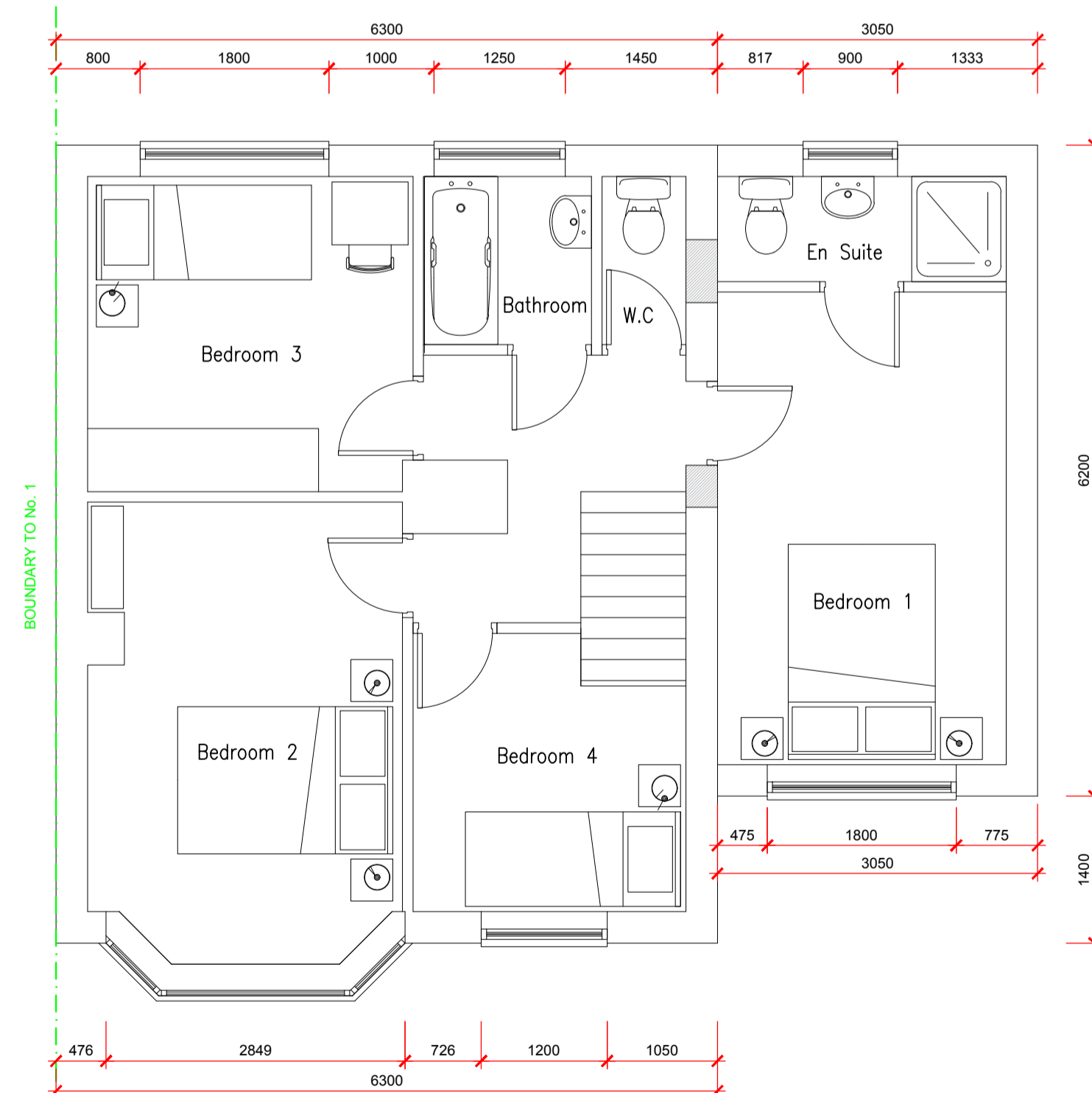
ROOF ADAPTATIONS:
DUE TO THE CONDITION OF THE REAR CHIMNEY IT IS BEING REMOVED TO BELOW THE ROOF LEVEL FOR HEALTH AND SAFETY REASONS. THE EXTENSION SHALL MATCH THE EXISTING PITCH AND USE OF DARK CONCRETE INTERLOCKING PANTILES. IN ADDITION THE WHITE UPVC SOFFIT AND FASCIA SHALL BE CONTINUED TO MATCH THE EXISTING.

WALL ADAPTATIONS:
THE EXISTING STRETCHER BOND RED BRICK SHALL BE USED TO CREATE THE OUTER MASONRY LEAF OF THE SIDE EXTENSION.

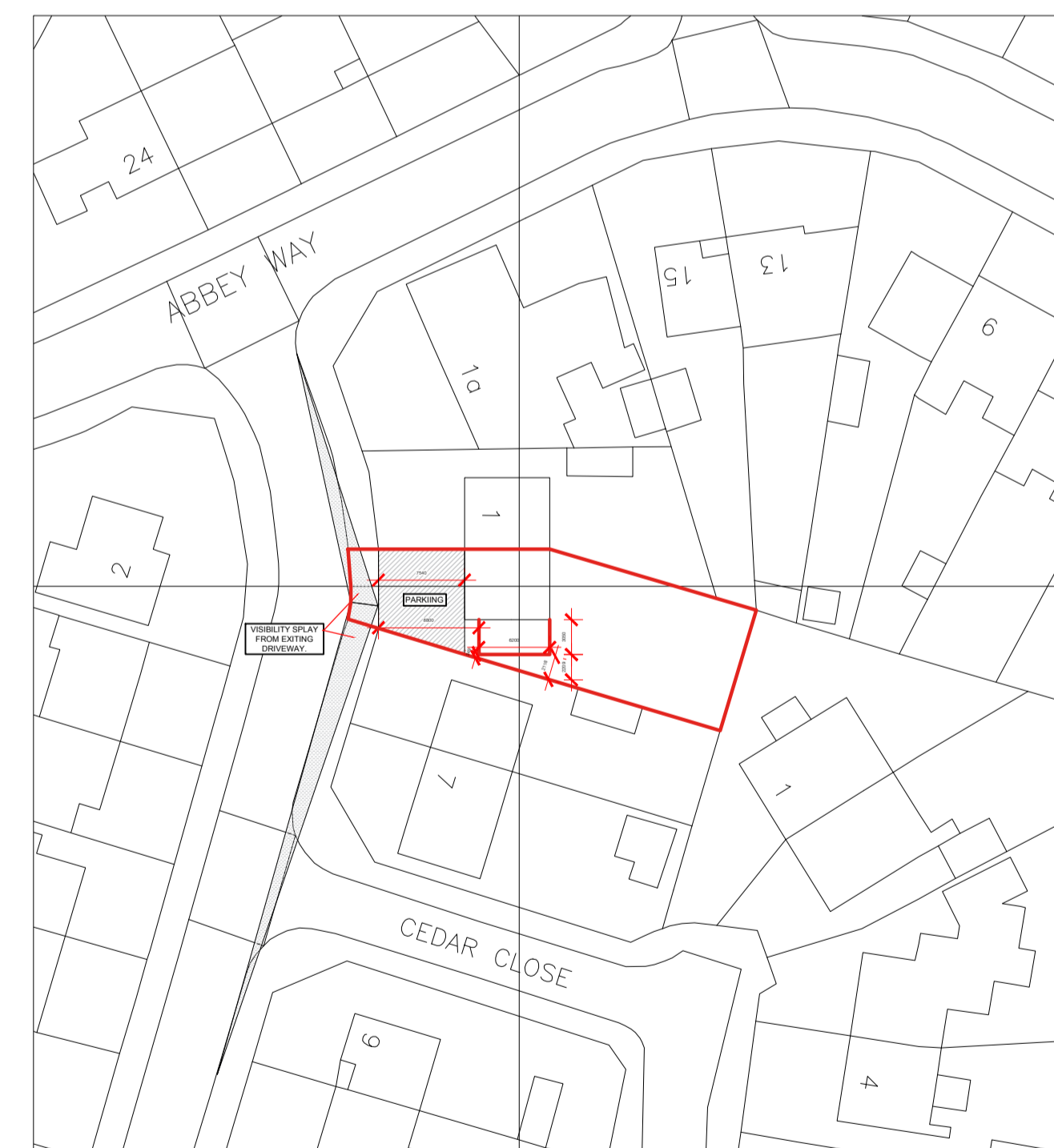
WINDOWS AND DOORS:
WHITE UPVC WINDOWS AND DOORS SHALL BE USED THROUGHOUT THE NEW SIDE EXTENSION IN ORDER TO TIE IN WITH THOSE USED FOR THE EXISTING PROPERTY. IT IS INTENDED TO USE WHITE UPVC FRENCH DOORS AT THE FRONT.



PROPOSED GROUND FLOOR PLAN
1:50



PROPOSED FIRST FLOOR PLAN
1:50



BLOCK PLAN
1:500

PROJECT
3 LODGE ROAD
RUSHDEN
NN10 9HA

TITLE
PROPOSED PLANS AND ELEVATIONS

DRAWN	AUTHORISED	DATE	SCALE AT A1
TCARE		FEB-2021	VARIES
PROJECT NO.	DRAWING NO.	REV	
2020-02-13	03	B	

STAGE:-
PLANNING