

Design and Access Statement

766 - 768 High Road, Finchley N12 9QH



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Introduction

PROPOSED & EXISTING

Proposal

This design and access statement supports our proposal to create 5 window openings to the rear side of the site. This elevation is located along the rear elevation and east facing elevation (shown in the design proposal). This is to ensure that the existing internal spaces are provided with adequate natural lighting and ventilation, both of these are major issues with the existing building.

Existing Conditions

The existing building is currently vacant but previously was occupied by WHSmiths and commercial units on the Ground and First floor and residential units on the Second Floor, as per the previous application reference, 19/5970/PNJ. The building is located within a main parade of shops, and currently has 2 points of access to the ground floor. The rear elevation of the building currently has rear windows, these are situated on the Second Floor.

KEY

 Application Site



Fig 01: Site Plan

Location

Site Location



Fig 02: Site Location Plan

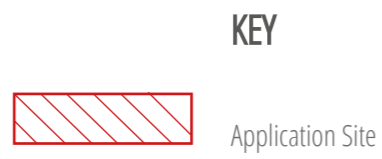


Fig 03: Indication of site application

Site Assessment

SITE PHOTOGRAPHS

Site and Surroundings

The application site is situated to on a busy shopping high street in North Finchley. The area is mixed use with a variety of shops, restaurants .

The building styles vary from 19th Century to modern with typical roof heights being between 2 and 4 storeys.



Fig 04 Southern Approach











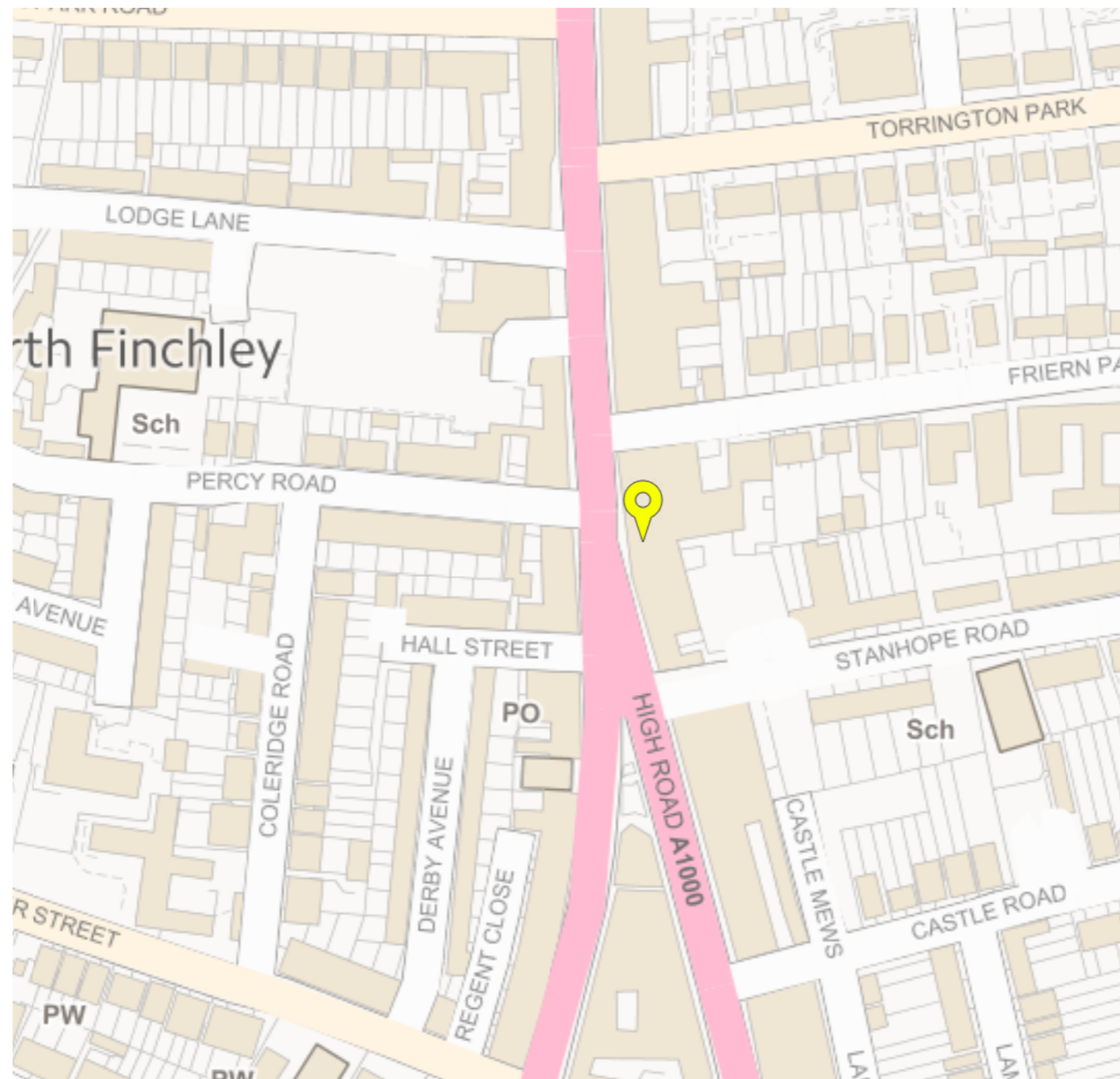
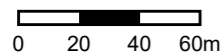
Fig 05 Northern Approach



Flood map for planning

Your reference
766-768 High
 Location (easting/northing)
526352/192296
 Scale
1:2500
 Created
1 Nov 2018 11:11

-  Selected point
-  Flood zone 3
-  Flood zone 3: areas benefitting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Flood storage area



The flood map to the left illustrates that the application site is within flood zone 01. Therefore, the likelihood of flooding is minimal and there is no need to undertake any further investigation as to the risk of flooding.

Fig 06 Flood Risk Map

Site Assessment

TRANSPORT & ACCESSIBILITY

The WebCAT PTAL map to the right indicates that our site lies within zone 4, even though this is an average rating there is still a high level of connectivity to multiple forms of public transport including, National Rail, London Overground, Tube, DLR, Tram & Buses.

The nearest underground services are Woodside Park Station, West Finchley Station and North Finchley Station. The duration via walking to these are 10 minutes from the site and the stations are located on the Northern line, with regular links into the city.



Fig 07 WebCAT PTAL Map

[-] Movement	
	<input checked="" type="checkbox"/> Rapid Transport Link
	<input checked="" type="checkbox"/> Road network - GLA
	<input checked="" type="checkbox"/> Road network - SoS
	<input checked="" type="checkbox"/> Road network - tier2
	<input checked="" type="checkbox"/> Road network - tier3
	<input checked="" type="checkbox"/> Transport Schemes
[-] Open Environment	
	<input checked="" type="checkbox"/> Green Belt
	<input checked="" type="checkbox"/> Green Chains
	<input checked="" type="checkbox"/> Local Nature Reserve
	<input checked="" type="checkbox"/> Major Development Sites in Green Belt
	<input checked="" type="checkbox"/> Metropolitan Open Land
	<input checked="" type="checkbox"/> Site of Borough Importance for Nature Conservation
	<input checked="" type="checkbox"/> Site of Local Importance for Nature Conservation
	<input checked="" type="checkbox"/> Site of Metropolitan Importance for Nature Conservation
	<input checked="" type="checkbox"/> Site of Special Scientific Interest
[-] Town Centre and Retailing	
	<input checked="" type="checkbox"/> Main Retail Frontage
	<input checked="" type="checkbox"/> Primary Retail Frontage
	<input checked="" type="checkbox"/> Secondary Retail Frontage

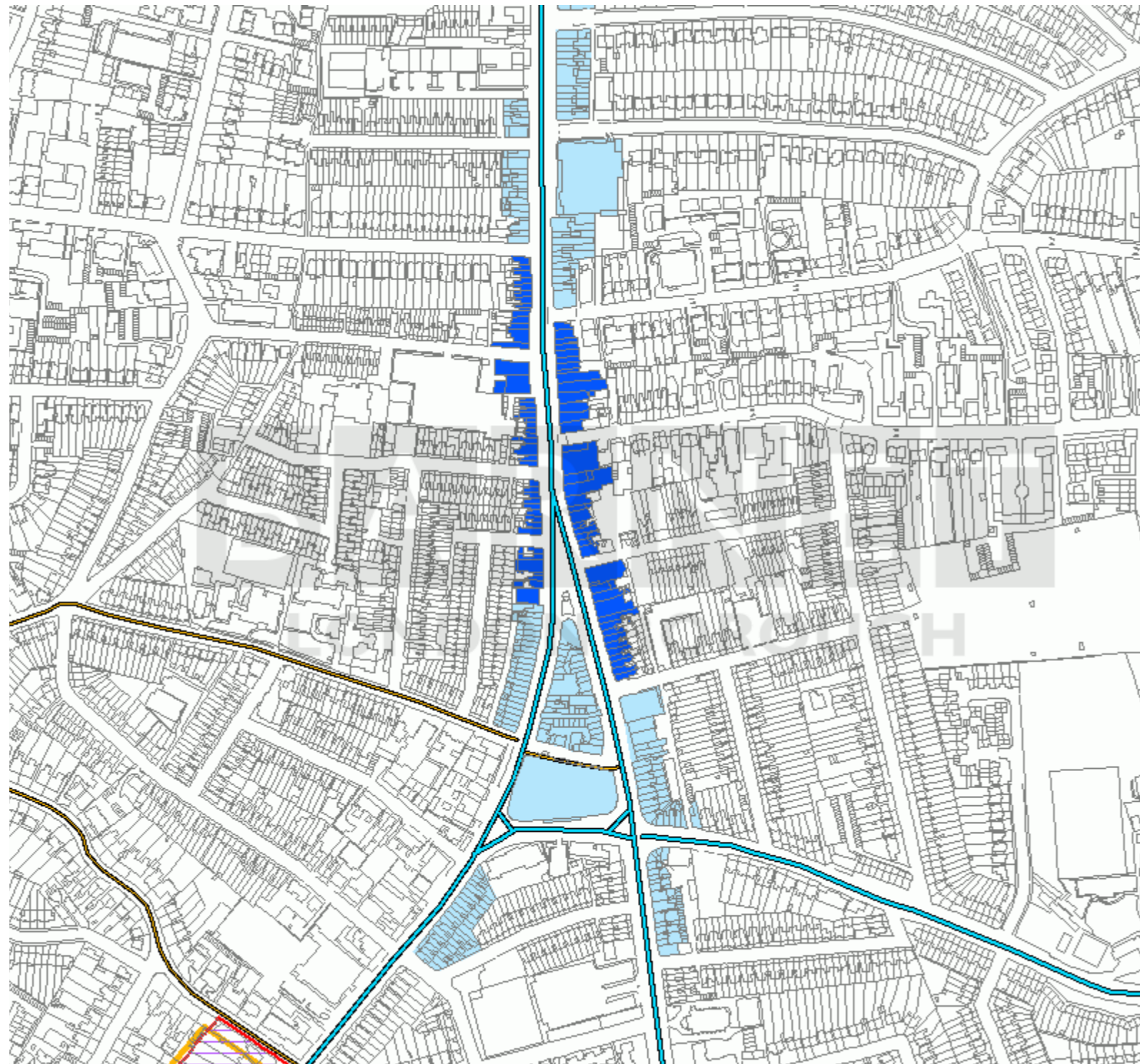


Fig 08 Barnet Policies Map

As shown on the map to the right the only applicable policies from the Barnet Local plan which are applicable to our site is those which relate to primary shop frontage and any regarding the regeneration of the town center. However, the majority of policies tend to apply to the ground floor use and the front elevation both of which will only be changed in a minor way. Hence our proposal will not heavily influence the retail use.

Policies applied to our site:

North Finchley Town Centre Framework SPD

3.6 Character: the SPD Area includes a mixed townscape with significant proportion of traditional frontage that contributes to local character. There is a distinctive division between the wider Tally Ho gyratory area of mixed quality and form and the area to the north, which is broadly of more traditional character.

Local Plan - Core Strategy

7.4.1 Enhancement

Proposals that come forward in the growth areas should be creative and innovative, be sensitive to existing buildings and surrounding areas

10.5.1 High Quality

High quality design creates places that are welcoming, make people feel safe and are enjoyable and easy to use.

Planning History

766 - 768 High Road London N12 9QH

The proposal comprises of the change of use from retail (class A1 use) to residential (class C3 use) on the second floor of the building, with the creation of 2 studio units and a 1 bedroom flat. The proposal is to provide 3 x Residential Units on to the second floor, whilst the first and the ground floor will continue to be used as retail. The access for said units will be via a new entrance to the front of the building with a proposed staircase to access the upper floor residential.

Ref. No: 19/5970/PNJ | Received: Wed 06 Nov 2019 | Validated: Thu 07 Nov 2019 | Status: Prior Approval Required and Approved

766 - 768 High Road London N12 9QH

Raising of the flat roof to the rear extension by 650mm

Ref. No: 19/3677/FUL | Received: Tue 02 Jul 2019 | Validated: Thu 04 Jul 2019 | Status: Approved subject to conditions

766 - 768 High Road London N12 9QH

Change of use from Class A1 or A2 to Class C3 (2 Units on second floor)

Ref. No: 18/6598/PNR | Received: Tue 30 Oct 2018 | Validated: Fri 07 Dec 2018 | Status: Prior Approval Required and Approved

776 High Road, London, N12 9QH

Installation of 2 externally illuminated fascia signs, 1 non illuminated fascia sign, 2 non illuminated fascia boards, 1 non illuminated hanging sign and 1 non illuminated brand awning

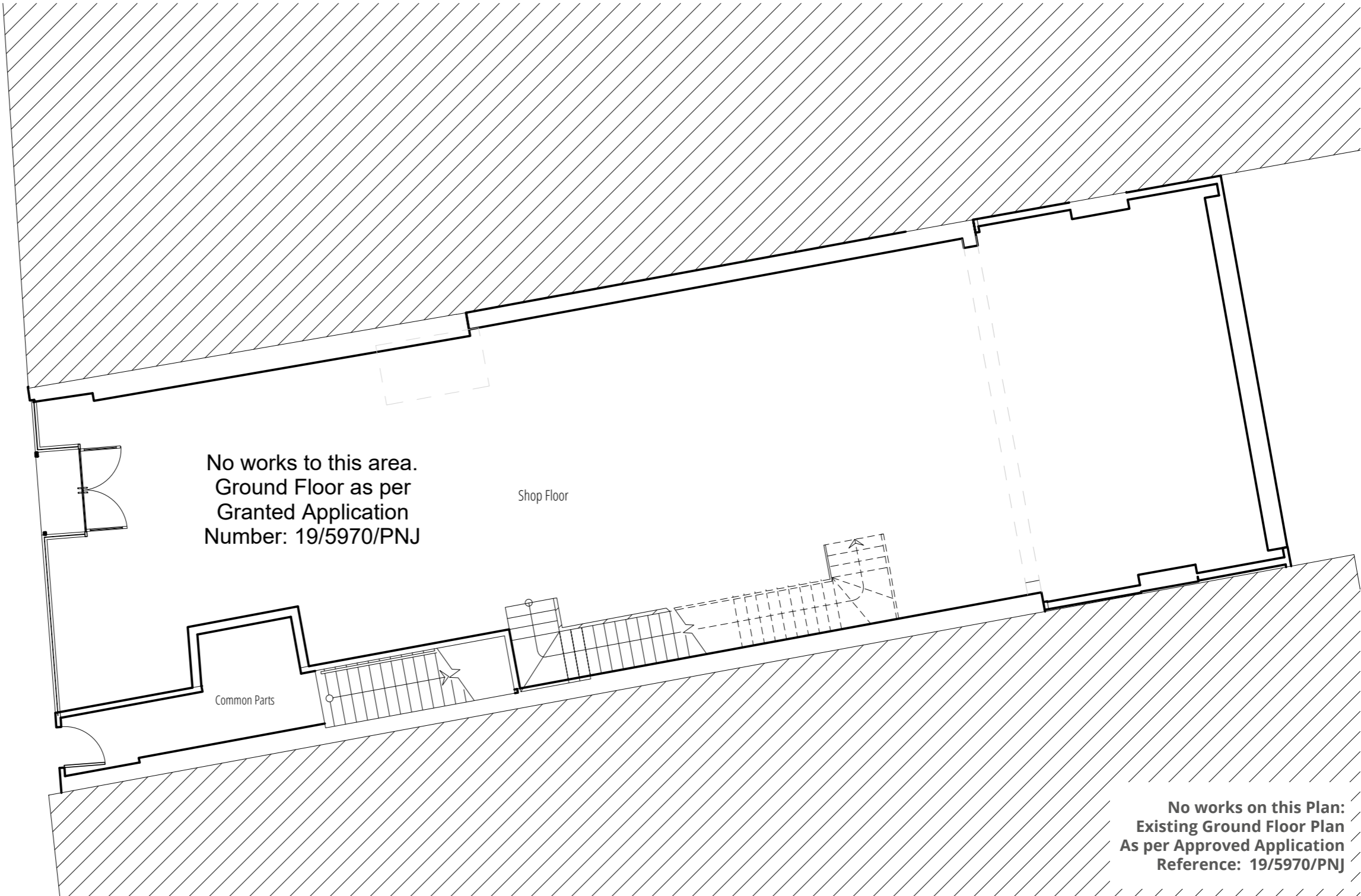
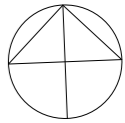
Ref. No: F/04354/13 | Received: Sat 21 Sep 2013 | Validated: Mon 23 Sep 2013 | Status: Approved

Existing

EXISTING FLOOR PLANS Scale 1:100 @ A3

As stated in the Introduction, The existing building is vacant and has been previously occupied by WHSmiths. There is a commercial use for the Ground Floor and First Floor, and residential use for the Second Floor, as per the previous application reference, 19/5970/PNJ.
Due to the layout of the building there are no windows in the rear office on the First Floor, this has lead to the internal levels of natural lighting and ventilation creating a poor environment.

FLOOR PLANS Scale 1:100 @ A3



No works on this Plan:
Existing Ground Floor Plan
As per Approved Application
Reference: 19/5970/PNJ

Fig 09: Existing Ground Floor Plan

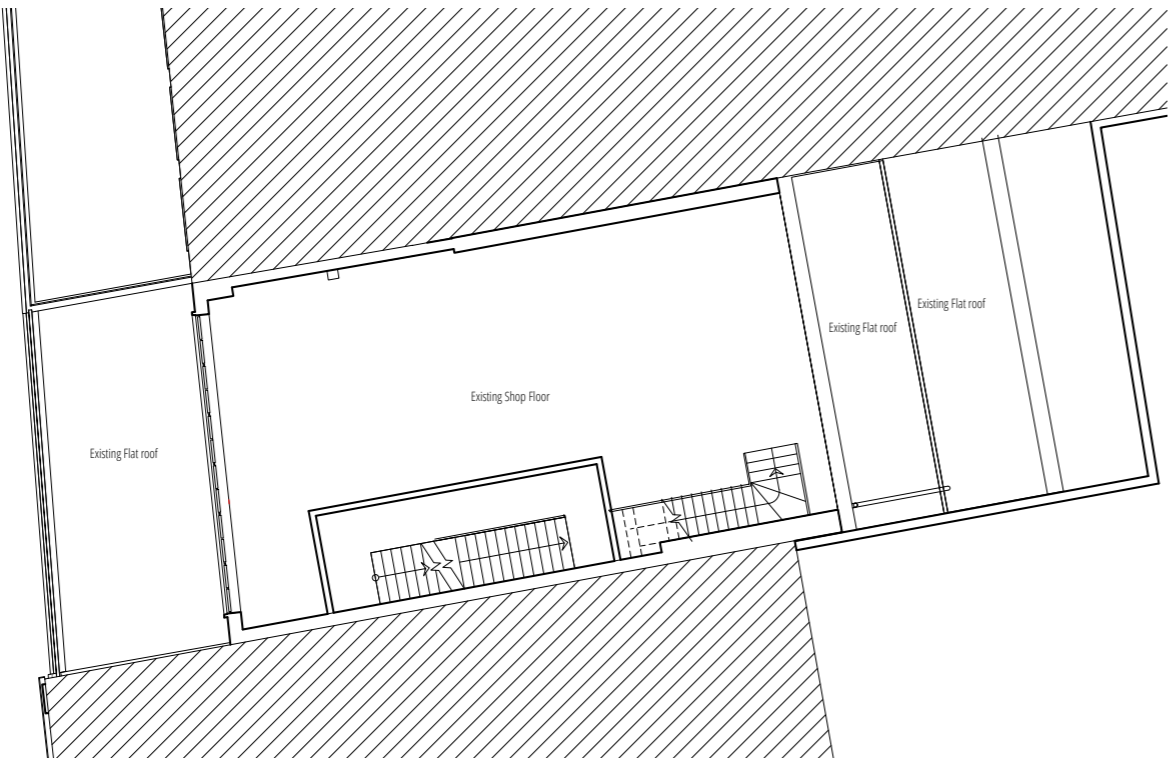
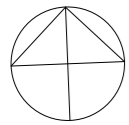


Fig 10: Existing First Floor Plan

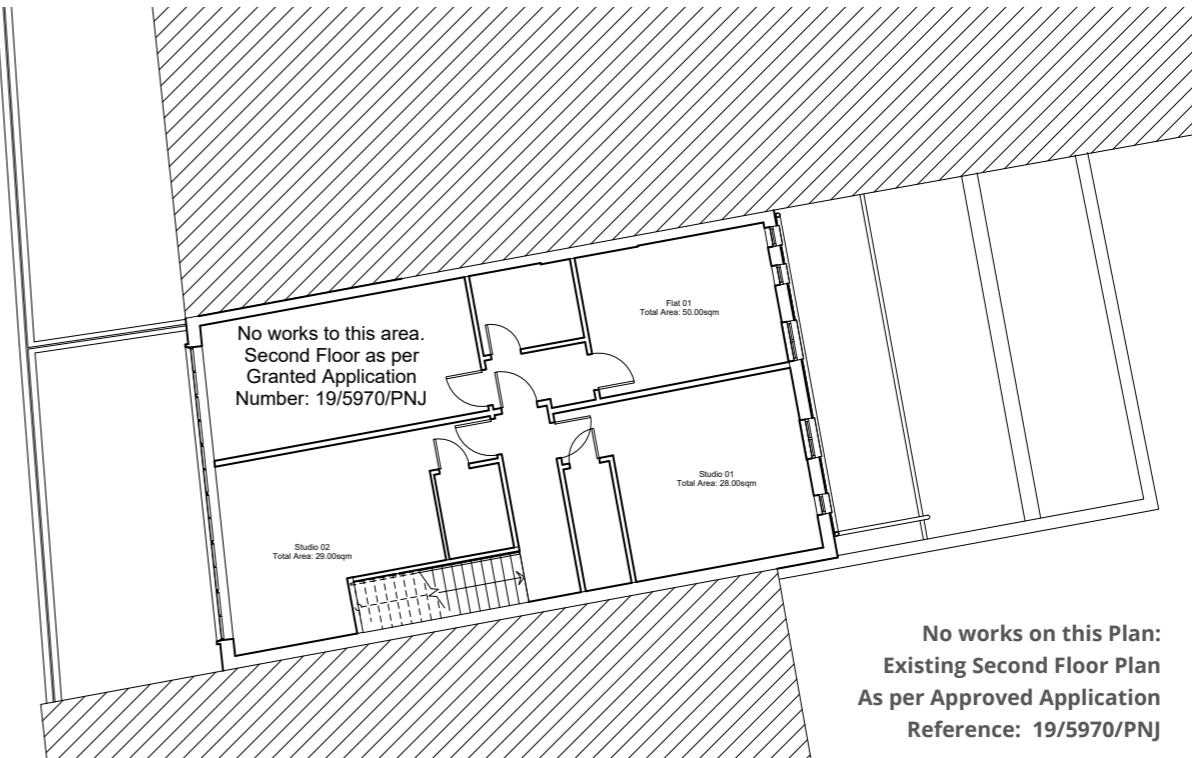


Fig 11: Existing Second Floor Plan



No works on this Elevation: Existing Front West Elevation As per Approved Application Reference: 19/5970/PNJ

Fig 12: Existing Front Elevation

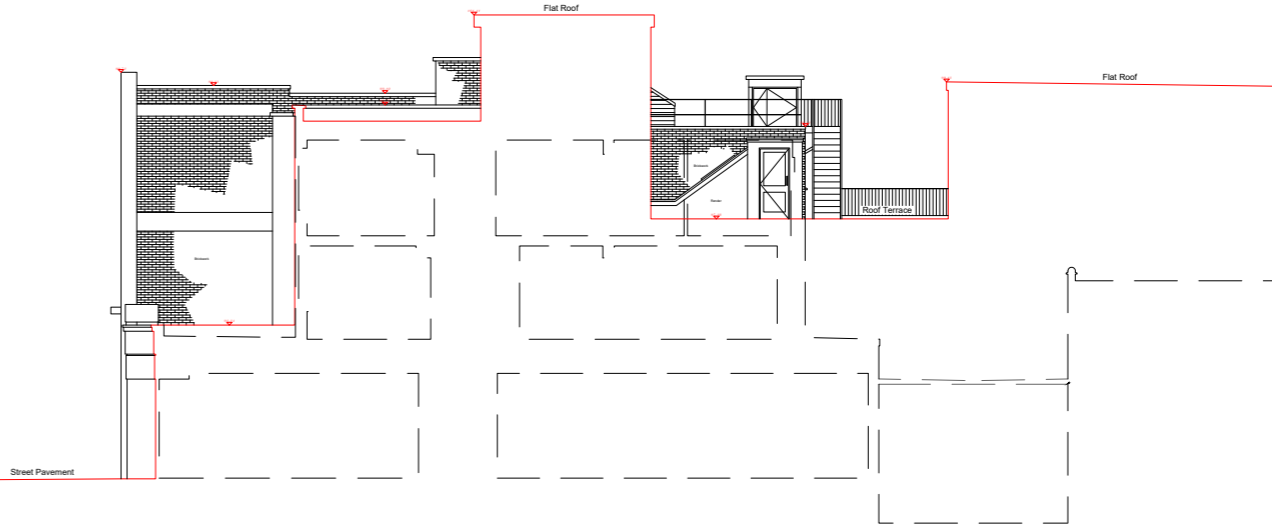


Fig 13: Existing Section

Existing

EXISTING ELEVATION Scale 1:100 @ A3

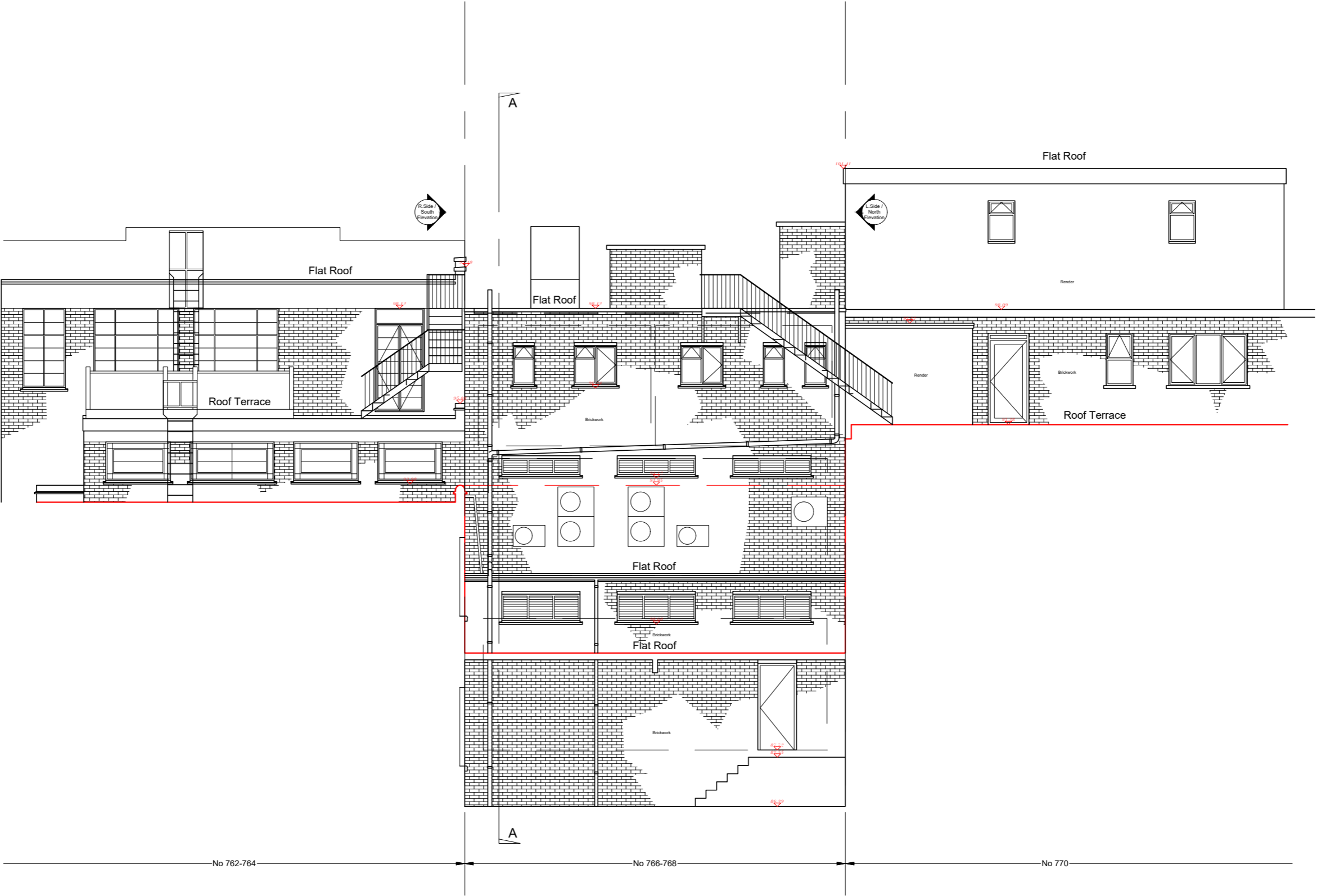


Fig 14: Existing Rear Elevation

PROPOSAL

The proposal will look to create 5 new window openings to the rear of the building to allow natural light and ventilation into the building.

The windows will be similar or to match that of the neighbouring building and the existing building's use of windows on the existing Second Floor.

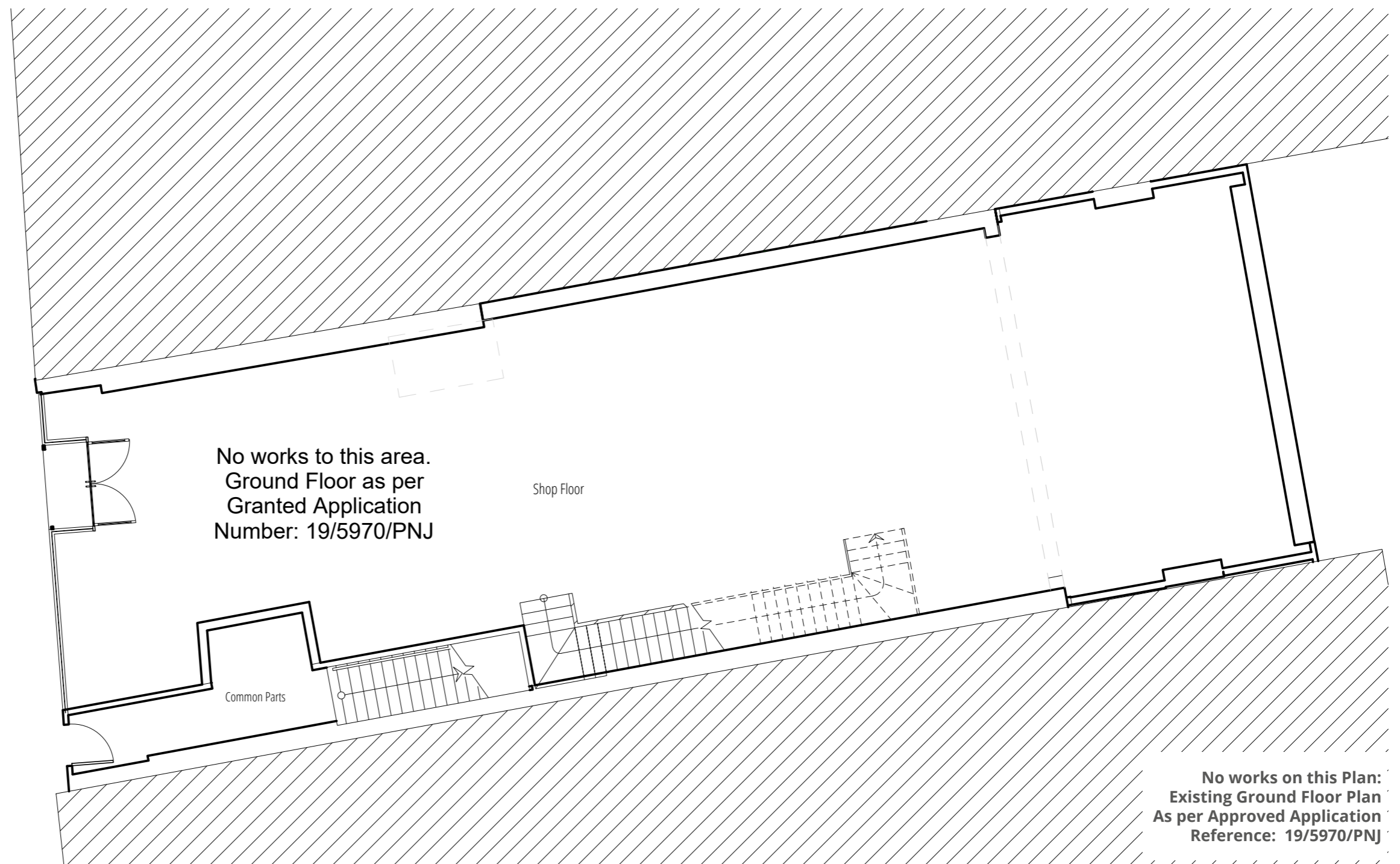
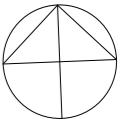


Fig 15: Ground Floor Plan

Design Proposal

FLOOR PLANS Scale 1:100 @ A3

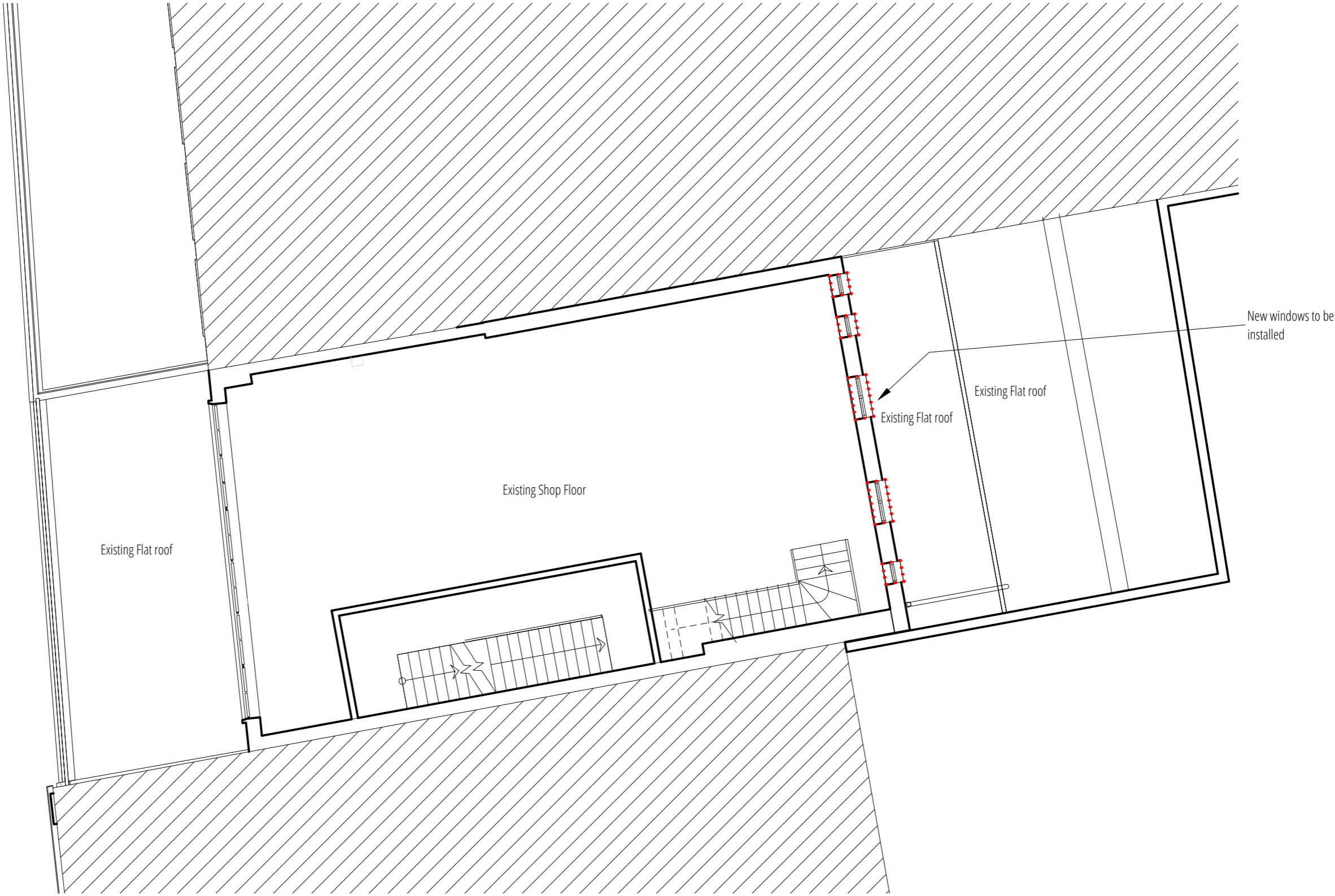
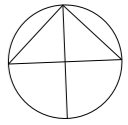
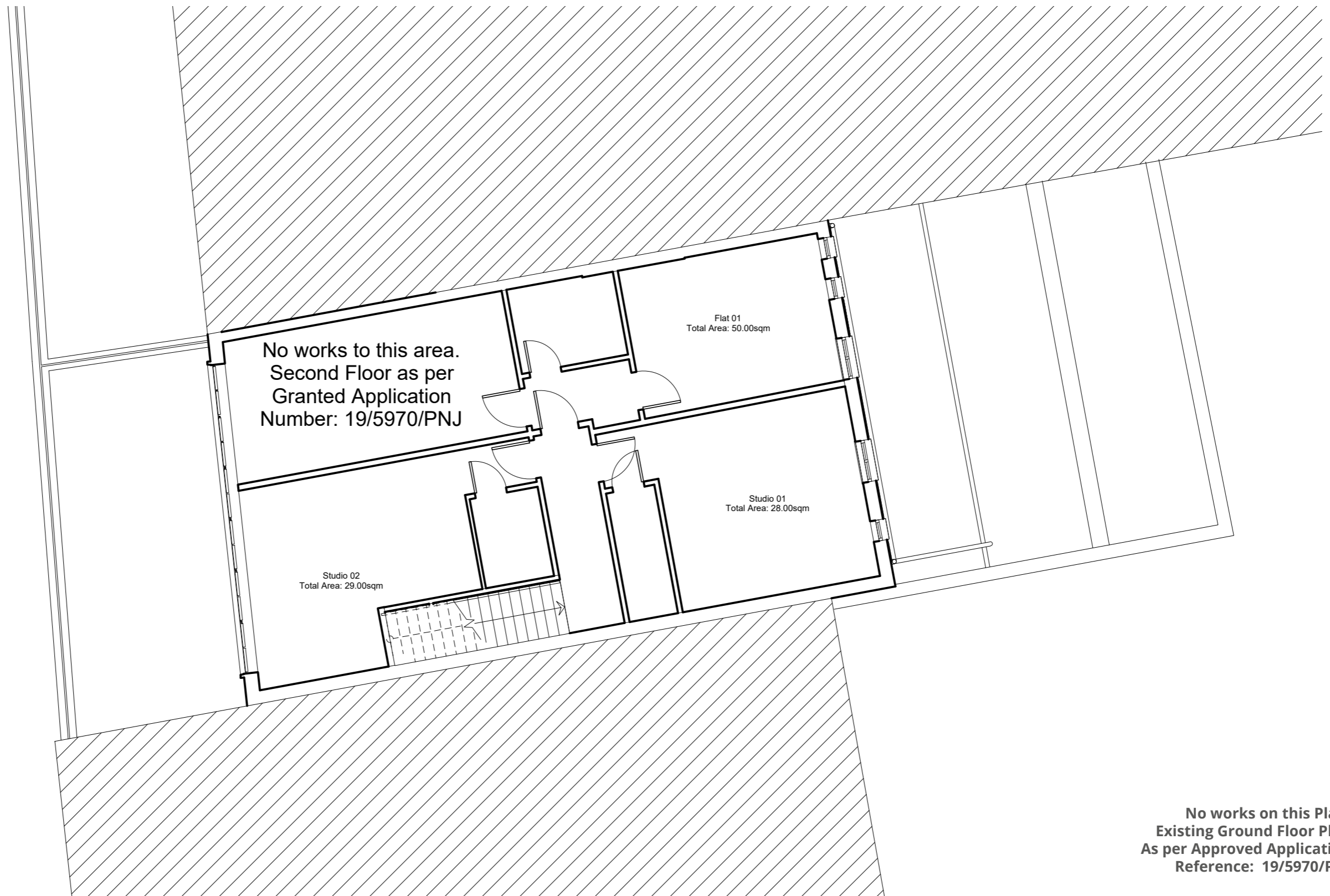
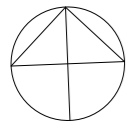


Fig 16: Proposed First Floor Plan



**No works on this Plan:
Existing Ground Floor Plan
As per Approved Application
Reference: 19/5970/PNJ**

Fig 17: Second Floor Plan

Design Proposal

FLOOR PLANS Not to Scale



Fig 18: Front Elevation

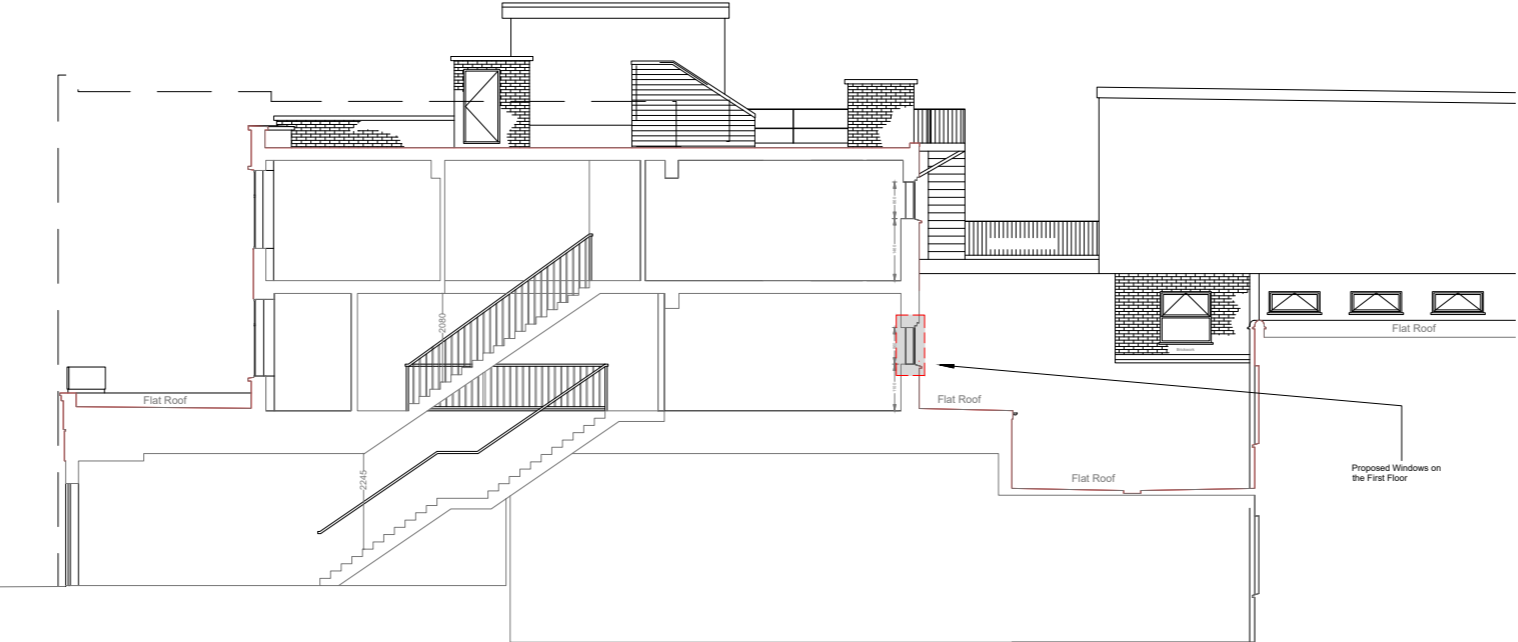


Fig 18: Proposed Section

Design Proposal

PROPOSED SECTION Scale 1:100 @ A3

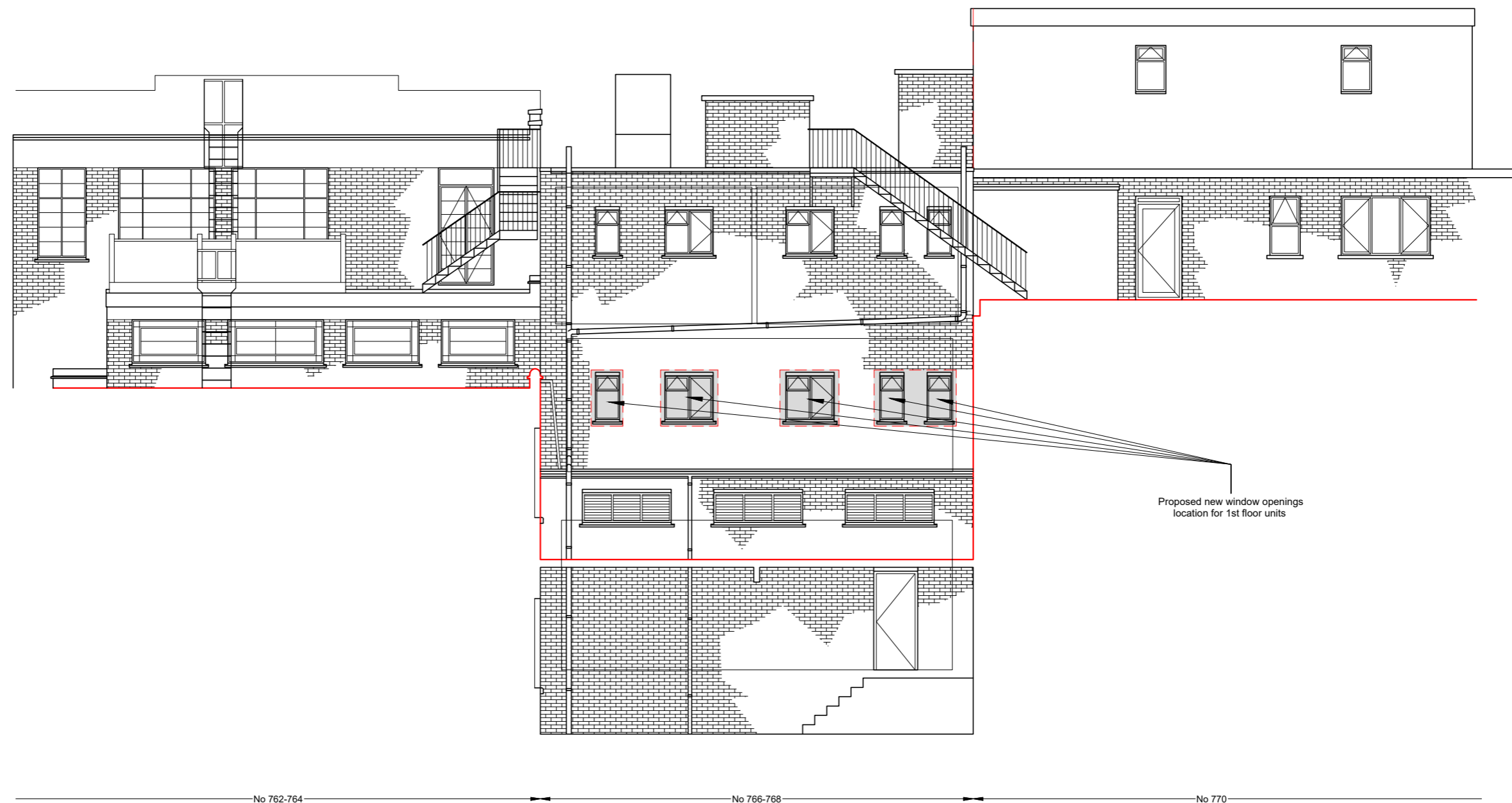


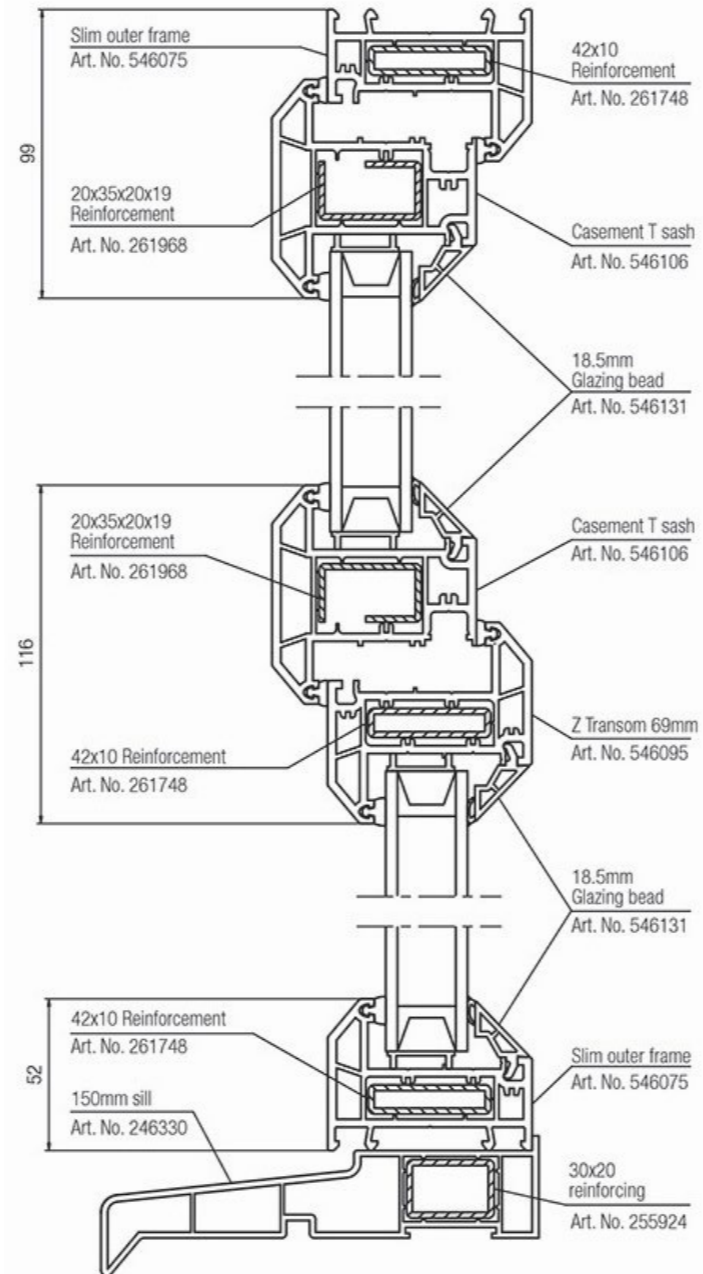
Fig 19: Proposed Rear Elevation

Others

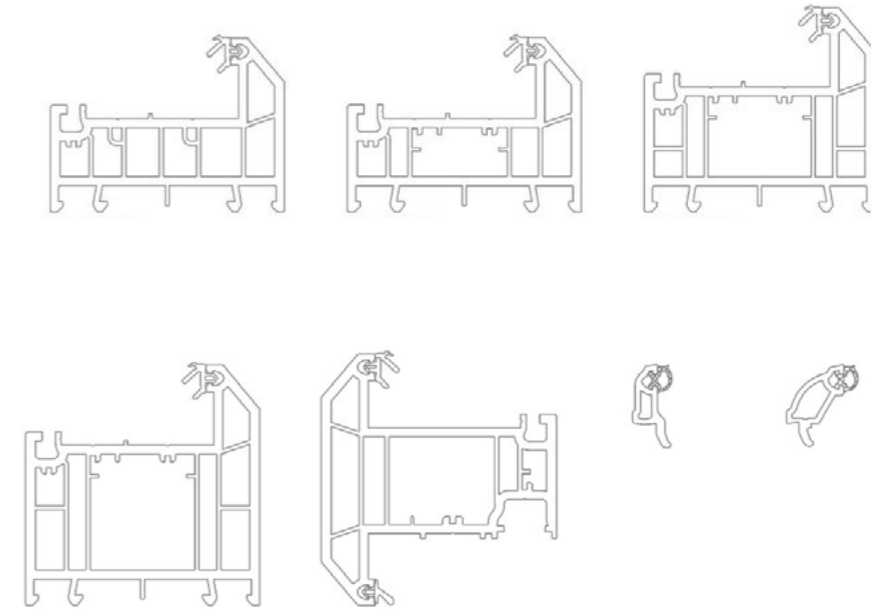
The proposed windows will look to match that of the neighbouring buildings, through further study it is evident that the windows on the rear elevation of 776-768 High Road, Finchley.

To the right are some detail drawings showing vertical and plan details of certain elements of the casement window. Details taken from the "Quality Trade Window Group", windows proposed to be similar or to match these. The Details, to the right, illustrate uPVC Casement windows, these are a viable option due to their improved insulation properties, cost efficiency and durability.

Horizontal section through mullion detail



Profile types:



Conclusion

In conclusion our proposal will look to create 5 new window openings to the rear of the building to allow natural light and ventilation into the first floor. The changes to the exterior will be minimal and the new windows will be to match or similar to that of the existing neighbouring building. They aim to match the materials of the existing.

Given the provided information we kindly request that you review our proposal and grant the necessary approvals.



g a a . d e s i g n