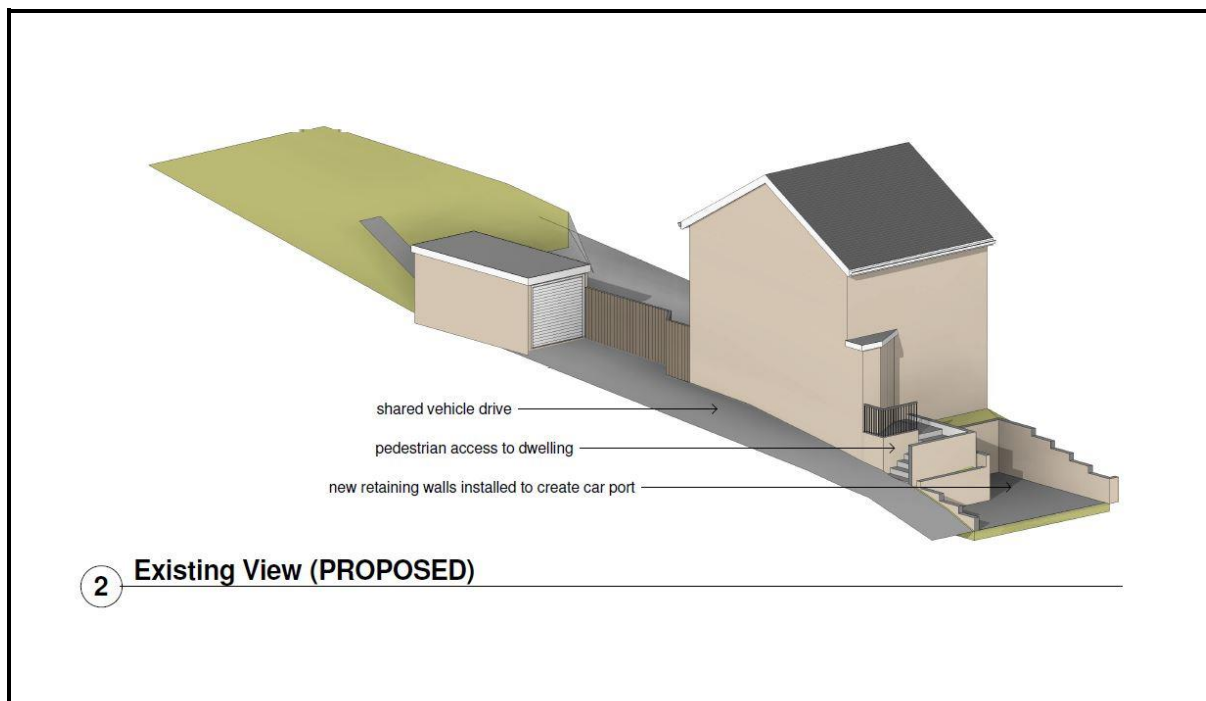


161_Design and Access Statement



Proposed front view

153 Dudley Road, Plymouth, PL7 1SA

Karen Barnfield

28.02.2021

Introduction

The site is located in the residential area of Plympton. The plot includes a semi-detached dwelling, raised above the external street level.

The dwelling is accessed via a set of external concrete steps via a shared driveway. The front of the plot is grassed a grades quite steeply down to a low-level retaining wall.

Parking within the area is an issue. The streets are over-crowded with vehicles parked on the highway.

A number of neighbouring dwellings further up the road have installed off-road parking areas within the bank, in an effort to alleviate some of this pressure.

The plots do have garages; however these are access via a narrow shared drive which is not wide enough to park 2 vehicles. This mean all residents park on the highway.

Figure 1.1



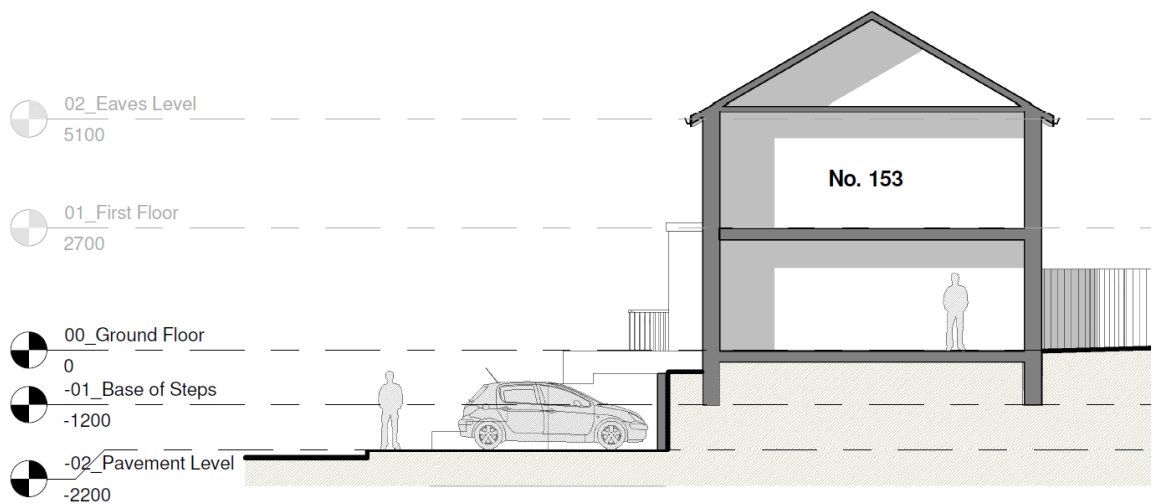
View of the front elevation

Proposals

In an effort to reduce some of the pressure on parking within the area; the intention is to cut in to the bank and create a level surface (graded) which can be accessed from the highway.

New retaining walls will be installed to support the existing land and foundations – to Engineers details. Walls will be finished with render and painted.

The surface will be permeable and any excess surface water will be collected using a linear drain and piped into a soakaway located below the surface.



3 Section B-B 1 : 100

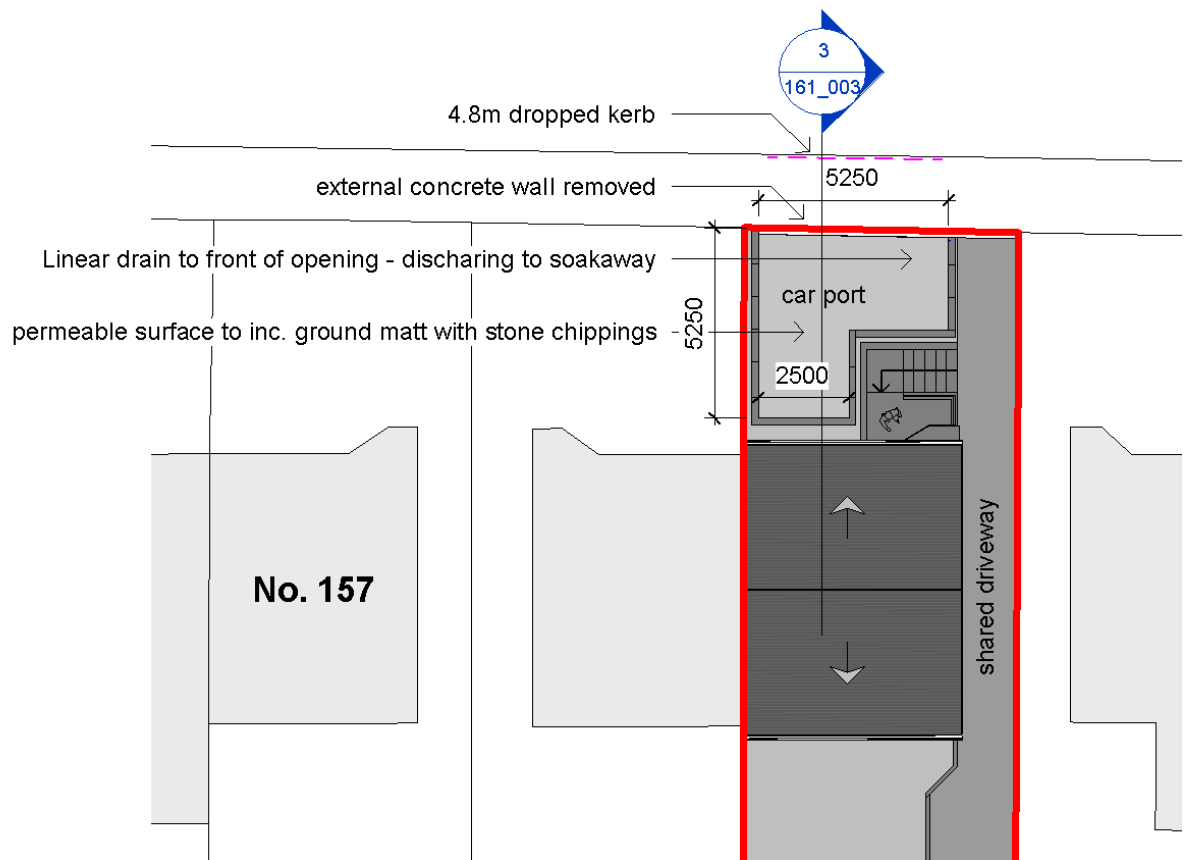
Proposed section

Conclusion

We believe the proposals included within this application will greatly improve the quality of the street scape by removing vehicles.

The proposals include good building materials which will provide a quality finish.

We trust you would agree with the above and hope to gain your support.



Proposed plan

