

DESIGN & ACCESS STATEMENT

FOR REMODELLING OF REAR DORMER WINDOW
NO.9 POWIS GROVE, BRIGHTON, BN1 3HF



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1.0 INTRODUCTION

The application site is No. 9 Powis Grove, which is a semi detached property located to the south side of Powis Grove, Brighton.

The rear boundary of the site forms a back to back boundary with properties on Vine Place.

The site is not listed but is located within the Montpelier & Clifton Hill Conservation Area, served by Brighton and Hove City Council.

The building does not benefit from an Article 4 Directive.

1.1 Proposal Summary

The proposed scheme is to lower the cill of the existing rear dormer window and construct a traditional roof guarding to form a very modest area of roof terrace to the benefit of the occupants. (Also a replacement make shift rooflight and frame with a low profile conservation rooflight of similar overall proportion).

The proposal seeks to be subservient to the existing roof-line, relate to the existing verticality of the building and its fenestration pattern, and respects the materiality of the existing house and conservation at large by using a traditional palette of materials to complement and conserve the special character of the host building.

The following report aims to explain each one of these design strategies in further detail.

1.2 Design Brief

The existing occupants of No. 9 Powis Grove have resided at the house for 18 years, and occupy the upper maisonette. Their desire is to use the proportions of the existing dormer to create a small area of terrace where they can comfortably stand / sit and enjoy the views out to sea.

They wish to maximise light into the top floor room by using a fully glazed door and use traditional construction methods and materials to reflect their love of the traditional features of the parent building.

The design is to be respectful and neighbourly, and both neighbours and local Conservation Group have been consulted during the design process; these are long standing relationships.

The proposal seeks to create a small respite from the confines of internal living endured during the previous, ongoing and potentially pending COVID 19 national and local lock-down restrictions. The necessity for external space for health and well-being is both self evident and essential.

Access to external space, however modest, will reduce/negate the need for the occupants to venture out into the community, both protecting them and conversely benefiting the community at time's of restricted movement (which currently have no end in sight).

The neighbour at No. 8 Powis Grove is seeking to submit an identical proposal to maintain symmetry to the rear elevation.

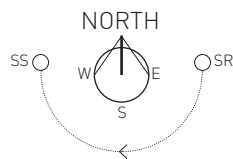
2.0 SITE AND CONTEXT APPRAISAL

2.1 Site Location

The site is located within the Montpelier & Clifton Hill Conservation Area and in close proximity to transport links such as Brighton railway station.



Aerial photographs of site (Courtesy of Google Maps)



2.1 Site Description

No. 9 Powis Grove (PG) is a 3 storey semi-detached dwelling with converted roof space and together with No.8 forms one of the central Villas, on Powis Grove, Brighton.

No. 9PG is divided into two properties (both owned by the applicant) consisting of a upper maisonette formed from Ground floor to 2nd floor and 9A, a separate flat at Lower Ground floor level.

The front of the house is constructed in white stucco and is simply detailed. There is a central full height projecting bay with timber framed sash windows painted white, with a cast iron balconette to the piano nobile window (serving the raised ground floor) and a single molded cornicing below a deep eaves. The front door is sited to the left of the front elevation raised from street level atop a short flight of steps, with a panelled door and rectangular light over. The front light-well is enclosed with a stucco dwarf wall with a black metal railing above. A black metal gate is positioned in alignment with the front door between 2no. stucco columns. An additional flight of steps leads from the front gate down to the front light-well to access the entrance of the Lower Ground floor level flat.

The front elevation of No.8 PG is a mirror of No.9PG, Together the mirrored elevation forms a single villa frontage.

The roof is finished in slate and hipped on 3 sides, with prominent rendered chimney stacks and a rendered projecting firewall. There is a central dormer with timber casement window to the rear sloping hip and a single roof light to the flank sloping hip (serving the attic staircase below).

The flank elevation is finished in painted render, with the neighbouring garage of No.10 PG abutting at street level.

The rear elevation is in un-painted render with varying window styles within a consistent and original fenestration opening pattern, with the roof dormer aligning with the window openings below.

Like the front elevation, the rear elevation of No. 8PG is a mirror of No.9PG with the exception of the single storey extension at Lower Ground floor level of 8PG. Together the mirrored elevation forms a single rear elevation to the villa.

There is a 3 storey closet wing outrigger, also finished in painted render, that is positioned to the right of rear elevation. The outrigger has a mono pitch roof with slate finish and together with the mirrored outrigger of No.8 forms an enclosed garden area at Lower Ground floor level, which is finished in hard landscaping.

The rear garden wall backs onto the rear single storey elevation of no.10 Vine Place (Vine place is a narrow twitten running between Powis Villas and Dyke Road accessing the rear gardens of Clifton Terrace and the front gardens of 1-11 Vine Place).

The rear elevations of both No. 8 & 9 PG are completely obscured from the surrounding roads of Powis Villas and Clifton Place to the West, Clifton Terrace to the South, Dyke Road to the East and Powis Grove to the North. (See Photos 01 & 02 & Figs. 01 & 02 for details)

3.0 SITE PHOTOGRAPHS



Photo 01. View from existing roof dormer of No. 9 Powis Grove illustrating no over-looking to neighbouring properties.



Photo 02. View from 1st floor rear closet wing window of No. 9 Powis Grove illustrating no over-looking to neighbouring properties.

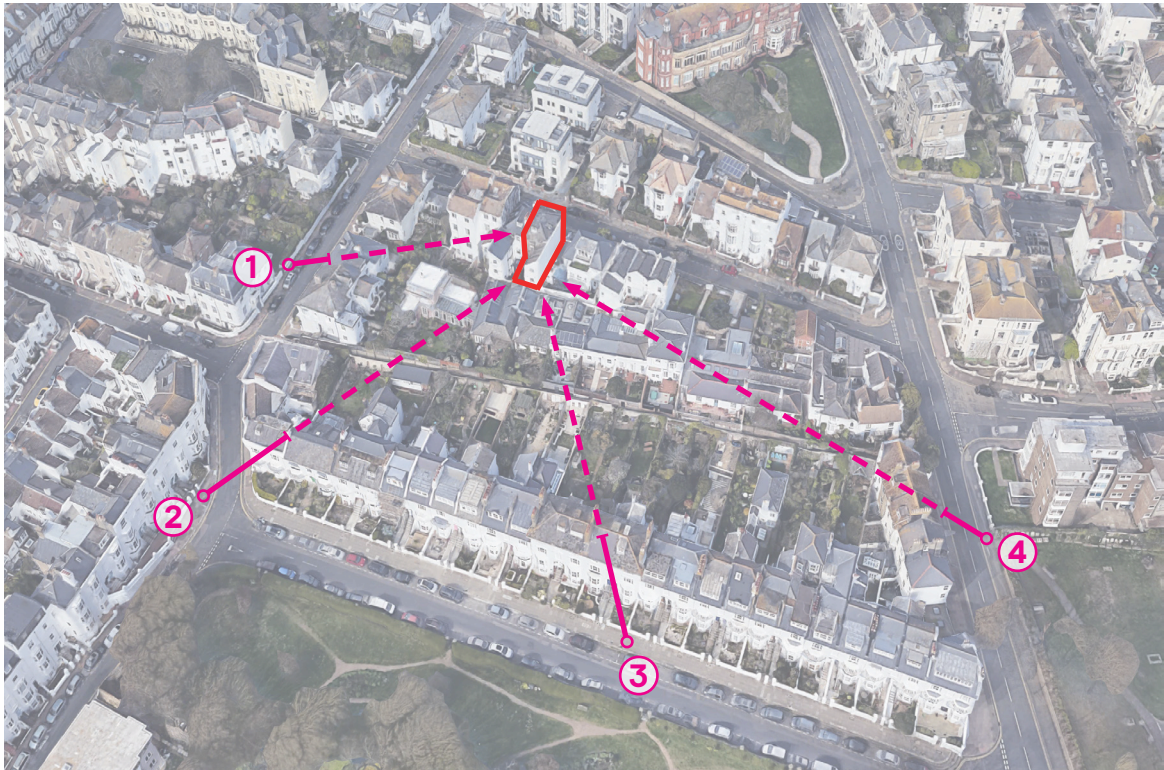


Fig. 01. Southern aerial view (Courtesy of Google Maps) illustrating obscured views to rear elevation of No.9 Powis Grove from:
1/ Powis Villas 2/ Clifton Place 3/ Clifton Terrace 4/ Dyke Road.



Fig. 02. Westerly aerial view (Courtesy of Google Maps) illustrating block of roofing massing directly behind No.9 Powis Grove

4.0 SITE CONSTRAINTS

4.1 Montpelier & Clifton Hill Conservation Area

The site sits within Montpelier & Clifton Hill Conservation Area.

The site forms one of the residential villas along the southern side of Powis Grove.

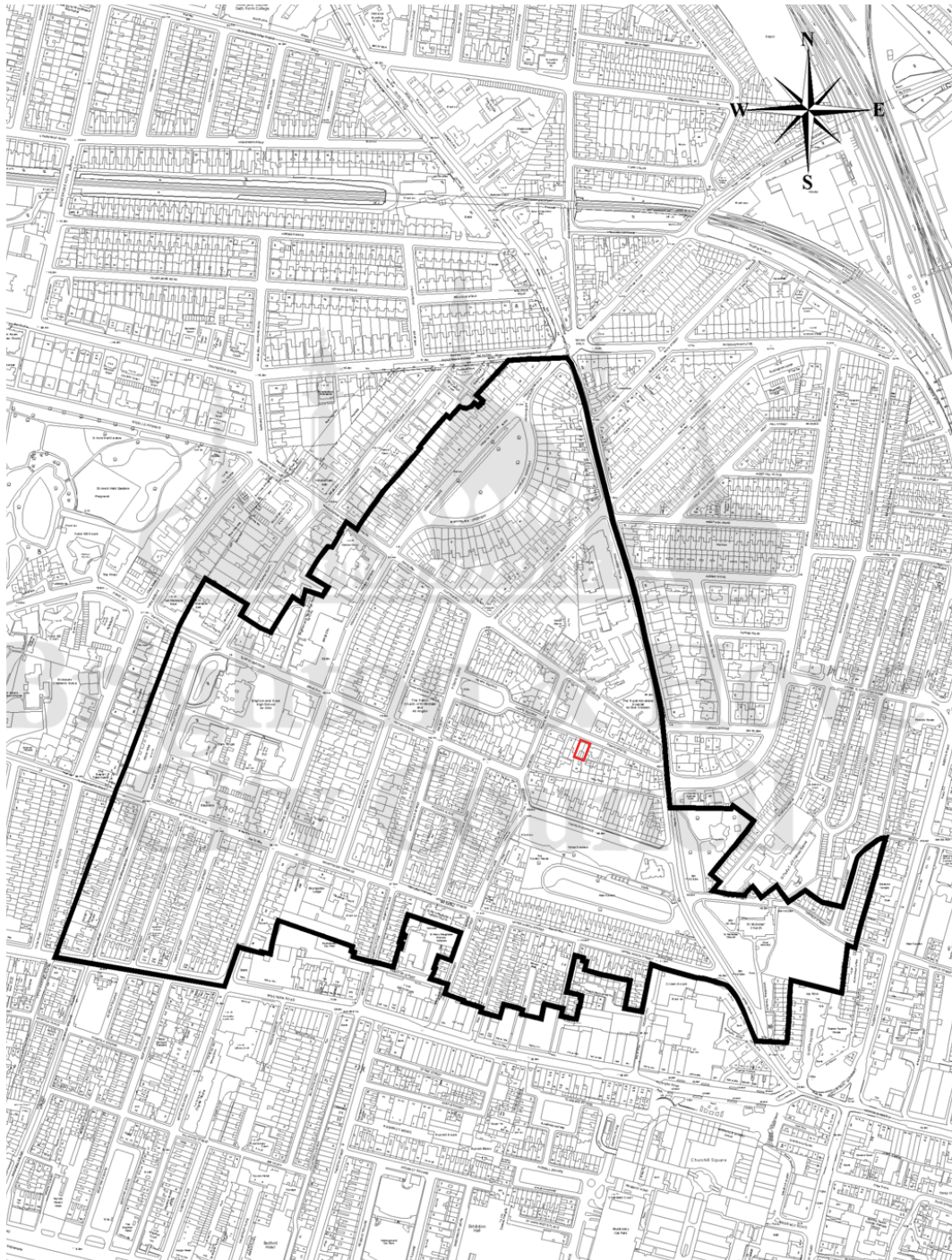


Fig. 03. Montpelier & Clifton Hill Conservation Area Map

5.0 DESIGN

5.1 Existing and Proposed Massing

As previously described the view from the existing dormer window is directly onto the roof tops of Vine Place (see Photos 01 & 02), which align the rear boundary of No. 8 & 9 PG (there are no back gardens, only front gardens, to the houses on Vine Place).

When paired with No.8 PG, the symmetrical massing of the combined villa creates a notional horse-shoe shape in plan, limiting downward views to 66 degs. This horse shoe massing when combined with the gradient of the hill and the unusual fact that our site backs directly onto other buildings rather than gardens (the massing of the houses on Vine Place visually block any views from our site into their front gardens), means that all views to neighbouring gardens are obscured up to a distance of approximately 40meters away. See Fig.4 & Fig.5.

As such any proposal at roof level will not compromise the privacy of any or the direct or indirect neighbours.

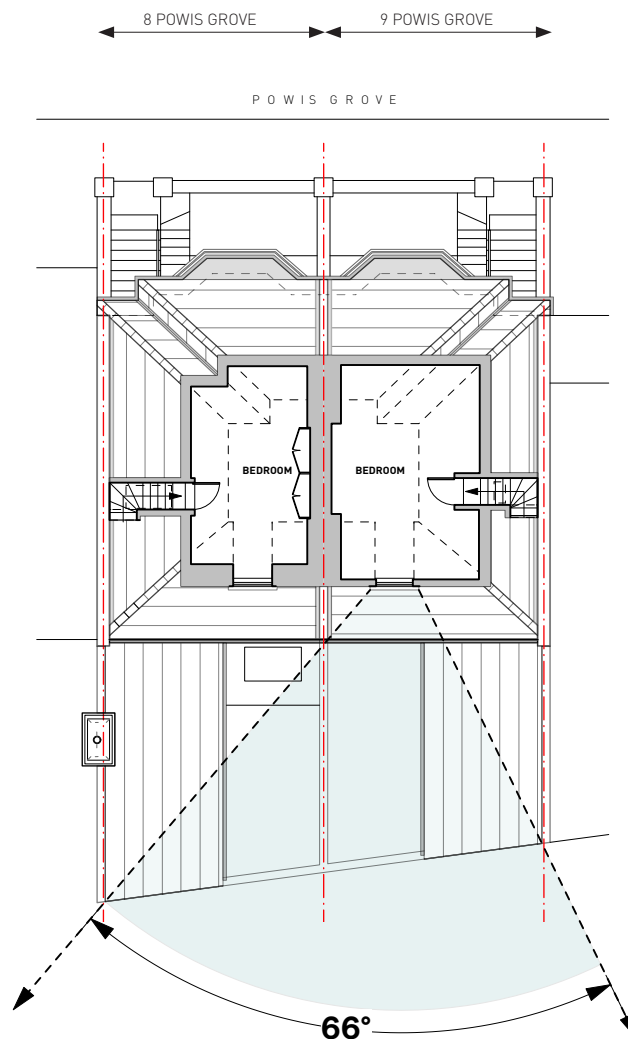


Fig. 04. Existing Attic Plan Illustrating Restricted View from Window

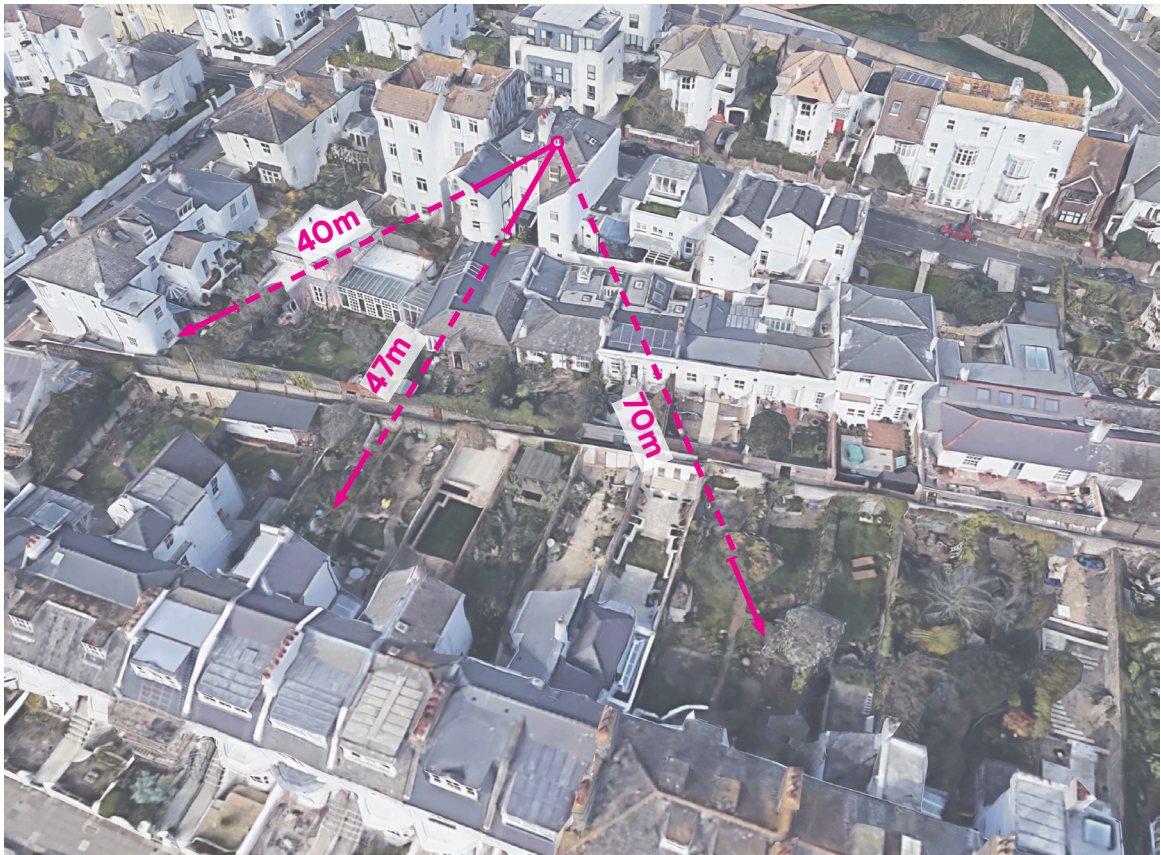


Fig. 05. View from 1st floor rear closet wing window of No.9 Powis Grove illustrating no over-looking to neighbouring properties.

5.2 Proposed Fenestration

It is proposed that the cill of the dormer window be lowered and the window be replaced with a single glazed door. The height of the dormer roof will remain the same and the width will align with the windows below.

As such the existing fenestration pattern and vertical alignment will be preserved.



Fig. 06. Existing Elevation Illustrating the Retained Window Pattern.

5.3 Villa Symmetry - Rear Elevation

To preserve the symmetry of the combined Villa, both No. 8 & 9 PG are simultaneously applying for matching proposals. This way the symmetry of the overall villa is retained in proportion, materiality and massing.



Fig. 07. Proposed Elevation of 8 & 9 Powis Grove Illustrating the Proposed Villa Symmetry

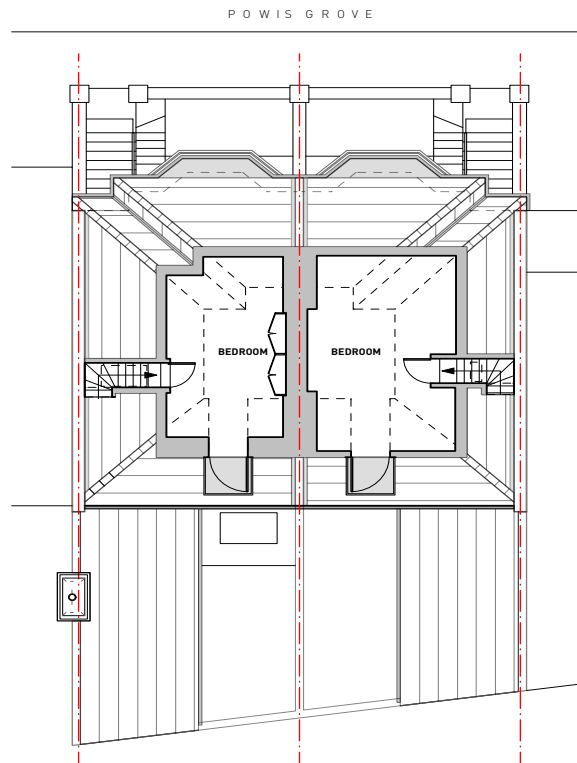


Fig. 08. Proposed Plan of 8 & 9 Powis Grove Illustrating the Proposed Villa Symmetry

5.4 Proposed Materials and Construction

The proposed construction and materials of the dormer and terrace are to match those of the host building.

The dormer roof will be retained in felt as per the existing. We propose that the flanks of the dormer are timber framed with glazed in-filled panels - matching the material and characteristics of some of the rear dormers to the listed Clifton Terrace. See Photo 03.

The proposed door is to be of timber construction with glazed panel to maximise light into the attic floor room. The door is to be painted white to replicate the windows and doors of the surrounding Conservation Area.

Taking a cue from the existing ground floor bay window balconette, the proposed railings will be a black painted metal. We propose a modest design with a flat bar handrail with 12mm circular spindles so as to be as unassuming as possible. The metal guarding will be 1100mm in height with the spindles at 100mm centres to meet the requirements of building control.



Photo 03. View of glazed flank elevation to dormer on Clifton Terrace.

6.0 CONCLUSION

In summary our proposal seeks to:

- Be respectful of the neighbours to both sides in terms of overbearing and any loss of light by retaining the proportions of the existing dormer.
- Relate to the parent building fenestration pattern in both proportion and alignment.
- Relate to the parent building and wider Conservation Area in materiality.
- Is subservient in its massing.
- Retains a strong visual symmetry between No.'s 8 & 9 Powis Grove.
- Introduces additional daylight to the internal spaces.

As our site is incredibly well obscured from both views into and views out of, and with the proposed symmetry to the rear Villa elevation and overall sympathetic detailing in keeping with the parent building and wider Conservation Area, we feel that (with the neighbouring application at No.8 PG) this proposal causes no harm to the character and appearance of the parent building and the Conservation Area at large.

7.0 PLANNING APPLICATION DRAWINGS

- 20107-0P-001 Site Location & Block Plans
- 20107-0P-101 Existing Attic & Roof Plans
- 20107-0P-102 Existing Elevations and Section
- 20107-0P-103 Proposed Attic & Roof Plans
- 20107-0P-104 Proposed Elevations and Section