

Safety Glazing to be to BS 6206  
Provide safety glazing as follows  
windows - within 1500mm of floor  
windows - within 300mm of door  
doors - within 1500mm of floor  
and as directed by L.A. Rep

At least one window in each newly  
created habitable room shall have  
a minimum full opening size of  
450mm x 733mm for escape

Smoke alarms shall be positioned  
7.5m max from door within a  
habitable room  
300mm min. from walls, light fittings  
but NOT over stairs

Note:

Door D2 to be 1/2hr FRSC(FD20)  
onto 35mm x 25mm stop beads,  
glued and screwed to frame

All new windows, patio doors and  
external doors with windows to be  
glazed, with 16mm air gap and  
"soft" low 'e' glass, to achieve  
1.6 W/sq m K, all in accordance  
with Approved Doc. L1B. (2006)  
manufactured and installed by  
"FENSA" member. Who shall also  
provide a certificate of compliance  
to Client & L.A. Rep

Note:

**[S]** Battery Back-up Smoke  
Detector Interlinked to  
all other floors, in  
accordance with BS5446  
Also link Heat detector  
in kitchen  
Positions of Smoke  
detectors as shown on  
proposed floor plans

All materials to be used on the project  
shall be in accordance with BS 8000 series  
of documents and other accepted good  
practice (Quality assured to ISO 9000series)

New balanced flue gas boiler to be sized,  
installed and commissioned by registered  
"Gas Safe" operative, who is to provide a  
compliance certificate upon completion for  
Client and L.A. Rep  
Guard required to flue if within 2m of ground

#### Part P - Electrical Safety

All wiring & electrical work carried  
out in association with this project  
shall be designed, installed, tested  
and certified by a  
"registered competent electrician"  
who will issue a  
"Domestic Inspection Certificate"  
to the Local Authority stating that  
compliance with Part P & BS 7671  
has been met upon project  
completion

Area of glazing shall  
not Exceed

- Existing as  
covered in by  
new work
- + 25% new  
floor area

Note:

Dimensions quoted  
should be checked for  
accuracy on site.

#### CONSTRUCTION NOTES

See Drg. No. 01

##### Conservation of Fuel and Power

##### Lighting

Provision shall be made for 1No. Light fitting  
which will only take lamps having a luminous  
efficiency greater than 40 lumens per circuit  
watt per 3No. habitable rooms and pro rata  
**Limiting Air Leakage**

Adopt "robust" construction details for  
insulation continuity between floors, walls and  
roofs. Details as shown on the drawings

##### Heating - Central Heating Boiler

The new gas new central heating boiler shall  
have a minimum SEDBUK value of 86%. The  
boiler controls shall include provision for  
separate heating & hot water functions

##### Heating - Hot Water Storage

All pipework shall be insulated. 35mm factory  
applied insulation to hot water storage tanks

##### Heating - Radiators

Each newly created room shall be heated with  
a new radiator sized by the "heating" installer  
Each radiator shall be fitted with a thermostatic  
valve

##### Heating - Commissioning

The heating & hot water system shall be fully  
commissioned by a "Gas Safe" registered  
operative to ensure that the system is  
operating at maximum efficiency and that all  
controls work as intended. The "Gas Safe"  
engineer shall provide a certificate confirming  
that the commissioning has been carried  
satisfactorily to client & L.A. Rep

E		Issued for Estimating
B		Issued for B.R.
A		Issued for Planning
Rev	Date	Description

**OLIVERS** Building Consultants  
& Chartered  
Structural Engineers

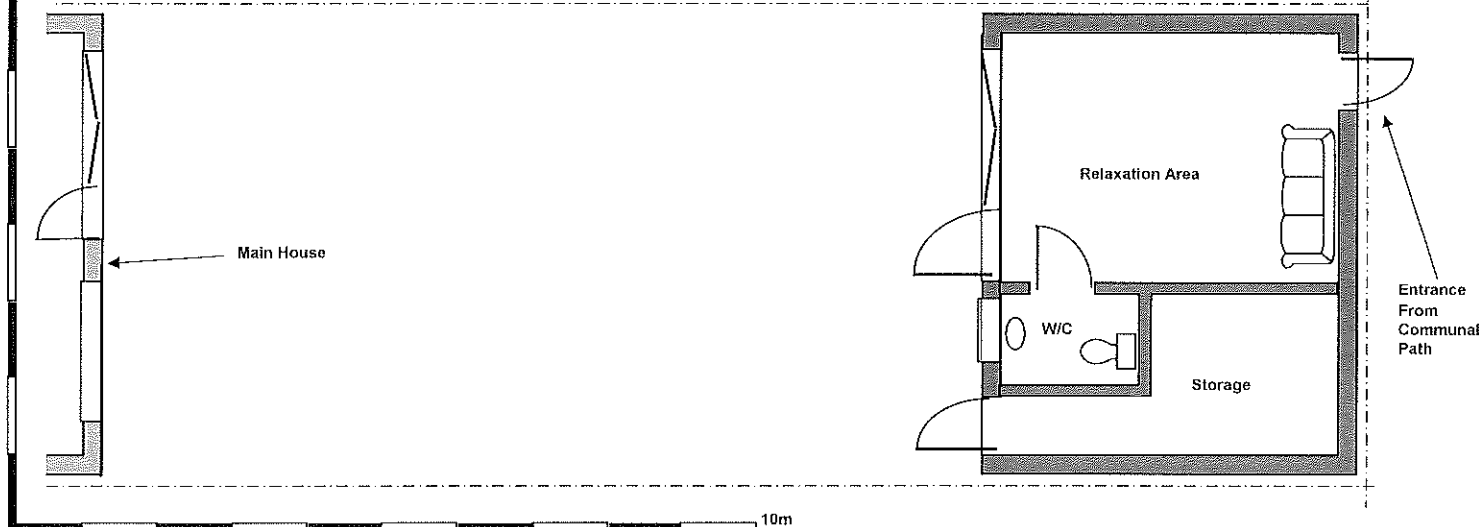
Client: Mr. & Mrs. Taraf

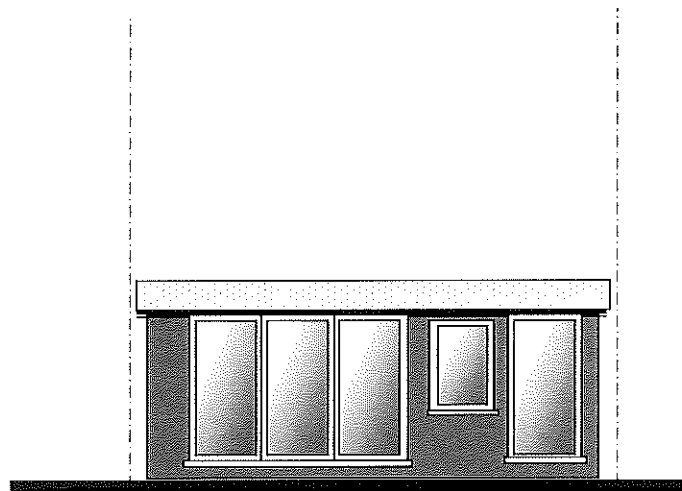
Project Summer House/Study  
33 Summerlee Avenue  
London, N2 9QP

Drg. Title Proposed  
Ground Floor  
Plan

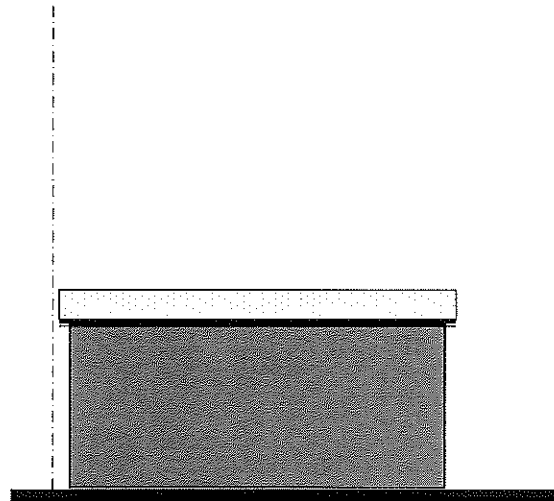
Drn			
Date	January '21	Scale	1:100@A4
Drg.No.	SA/33/ 02	Rev.	E

10m

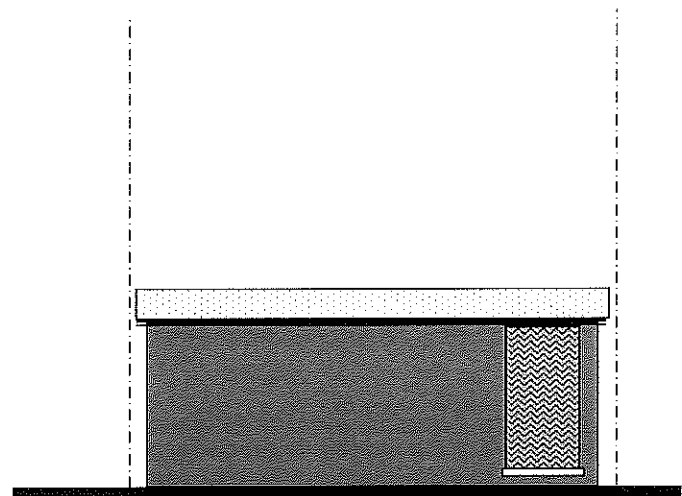




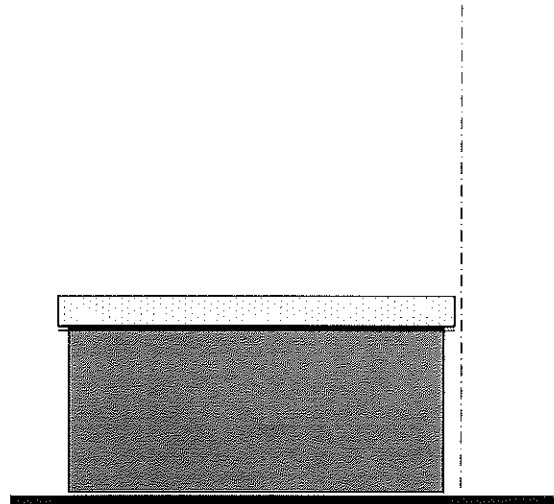
Proposed - Front Elevation



Proposed - Side Elevation



Proposed - Rear Elevation



Proposed - Side Elevation

Elevations comply with current Permitted Development Rights

## CONSTRUCTION NOTES

1) See Drg. No. 01

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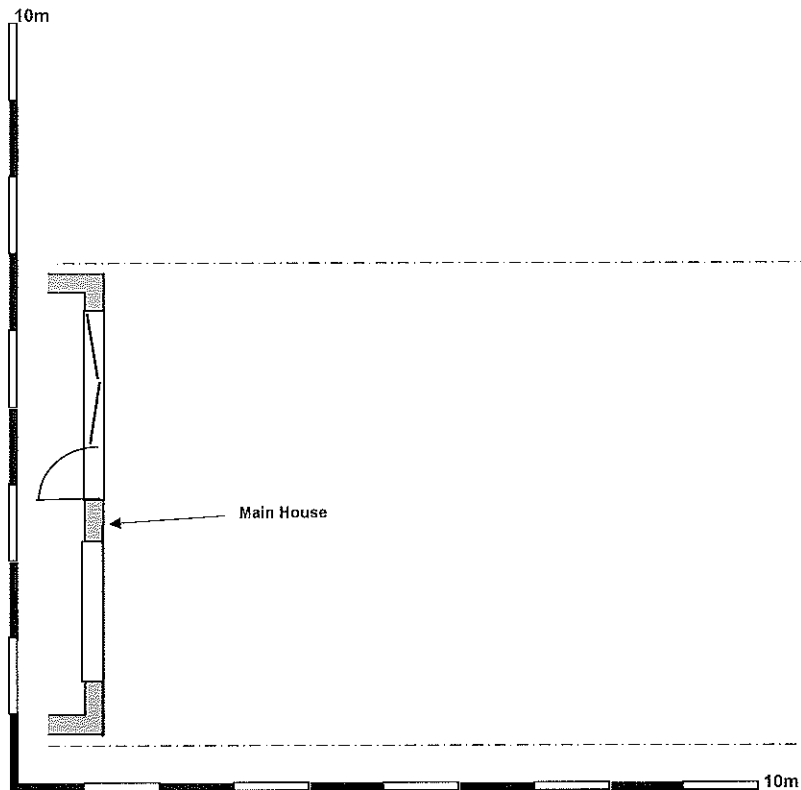
**OLIVERS** Building Consultants  
& Chartered  
Structural Engineers

Client: Mr. & Mrs. Taraf

Project Summer House/Study  
33 Summerlee Avenue  
London, N2 9QP

Drg. Title Proposed  
Front, Side & Rear  
Elevations

Drn			
Date	January '21	Scale	1:100@A4
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### CONSTRUCTION NOTES

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**OLIVERS**

Building Consultants  
& Chartered  
Structural Engineers

Client: Mr. & Mrs. Taraf

Project Summer House/Study  
33 Summerlee Avenue  
London, N2 9QP

Drg. Title Existing  
Ground Floor  
Plan

Dn			
Date	January '21	Scale	1:100@A4
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