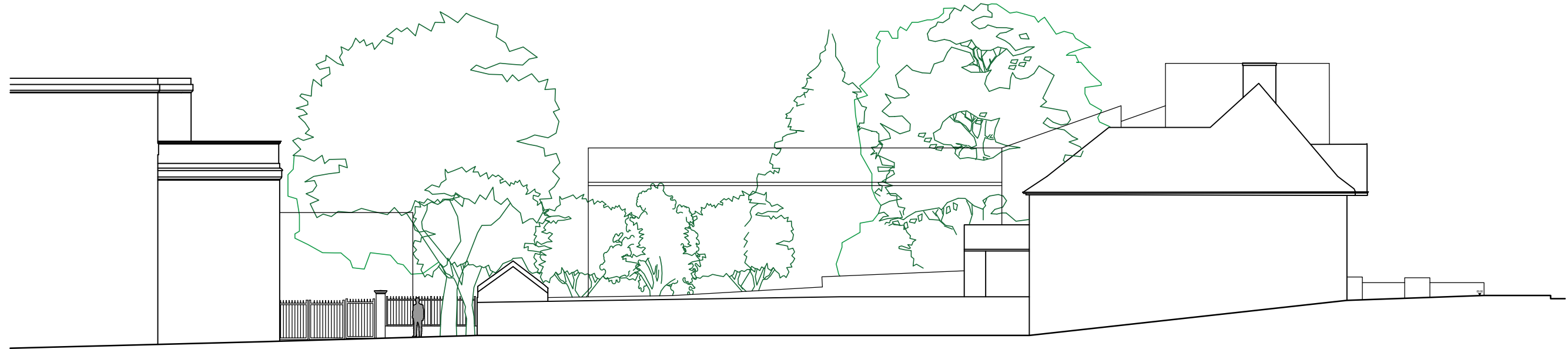
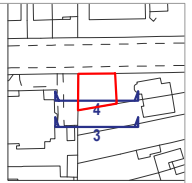


NORTH ELEVATION (STREET - 1)

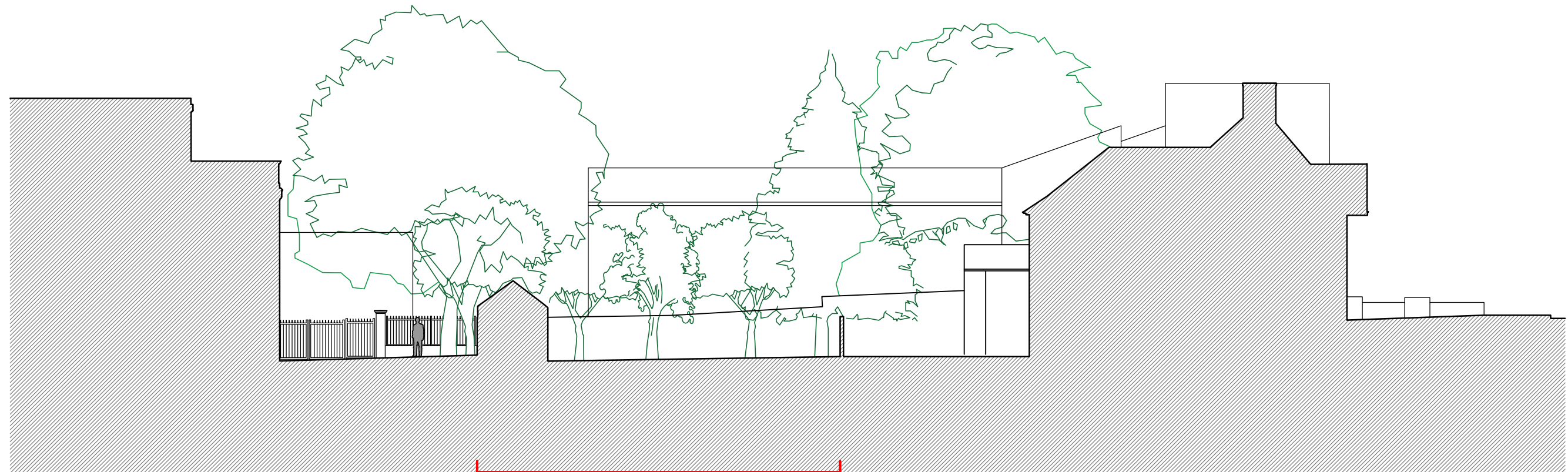


NORTH ELEVATION (SITE - 2)

0 10m



SOUTH ELEVATION (STREET - 3)



SOUTH ELEVATION (SITE - 4)

0 10m

ARCHITECTED

130 Old Street, London, EC1V 9BD 0207 101 3872 info@architected.co.uk

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REV: DESCRIPTION:
- First Issue

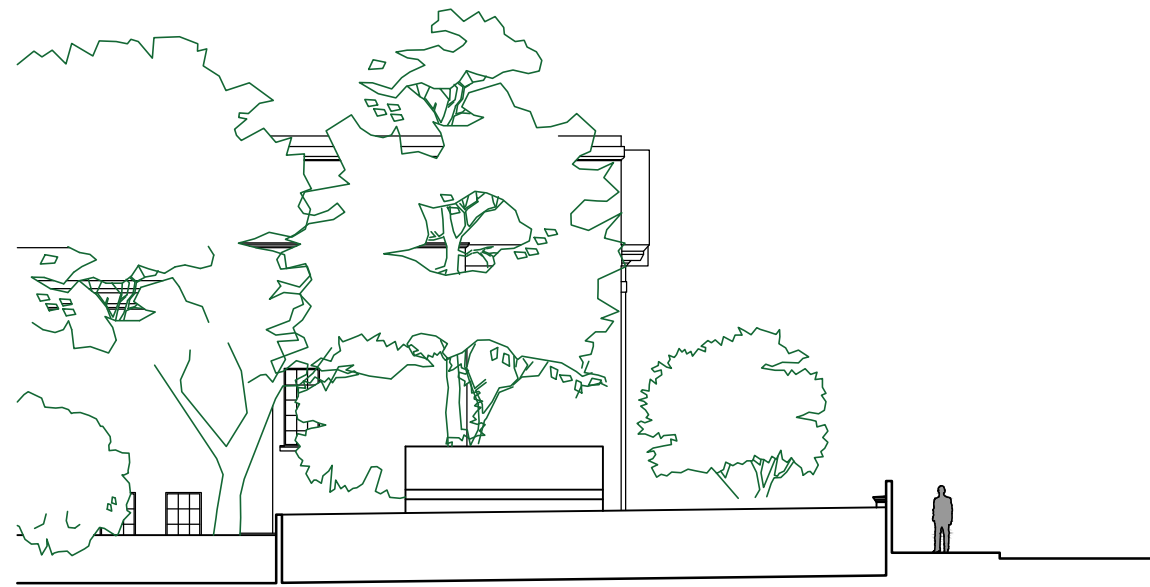
BY: DATE: NOTES:
JD 22.01.21

Address
Drawing
Number
Revision
Scale

REAR OF 63 HODFORD ROAD, LONDON, NW11 8NL
EXISTING: SOUTH ELEVATIONS
2050_PL_022 FOR PLANNING PURPOSES ONLY
-
1:100 @ A1 / 1:200 @ A3



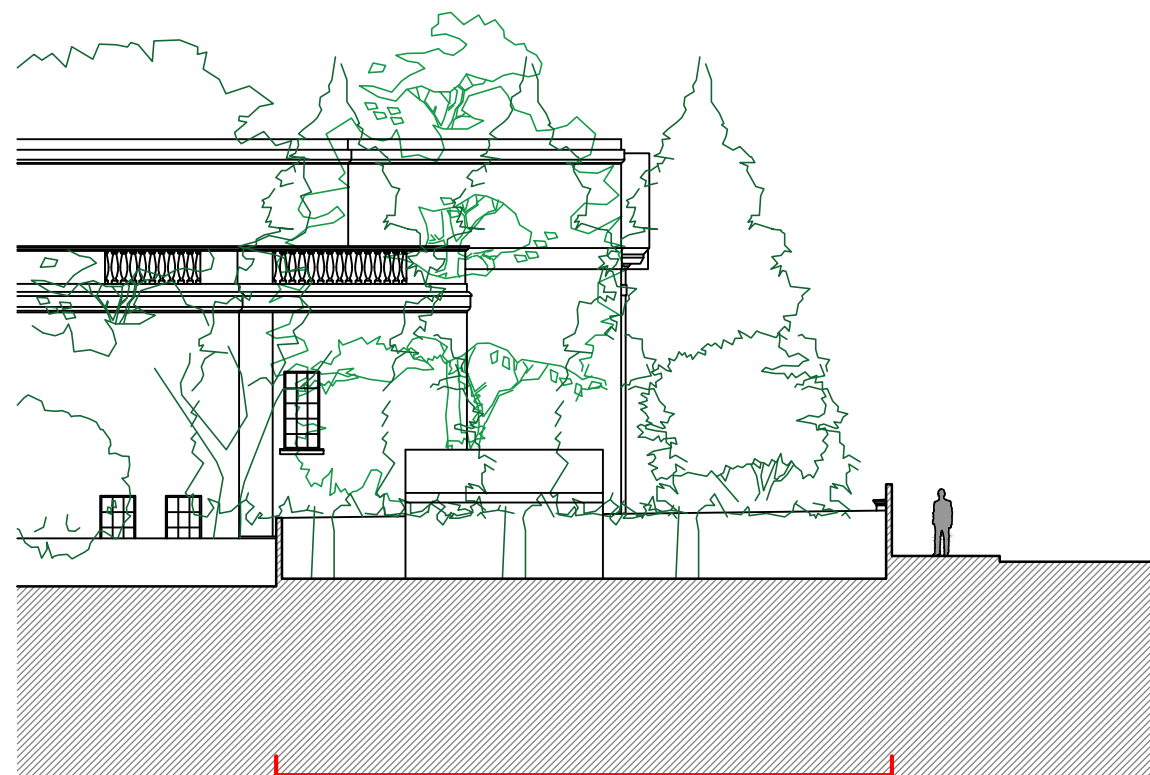
EAST ELEVATION (STREET - 5)



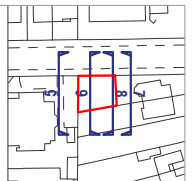
WEST ELEVATION (STREET - 7)



EAST ELEVATION (SITE - 6)



WEST ELEVATION (SITE - 8)



0 10m

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REV: DESCRIPTION:
- First Issue

BY: DATE: NOTES:
JD 22.01.21

Address
Drawing
Number
Revision
Scale

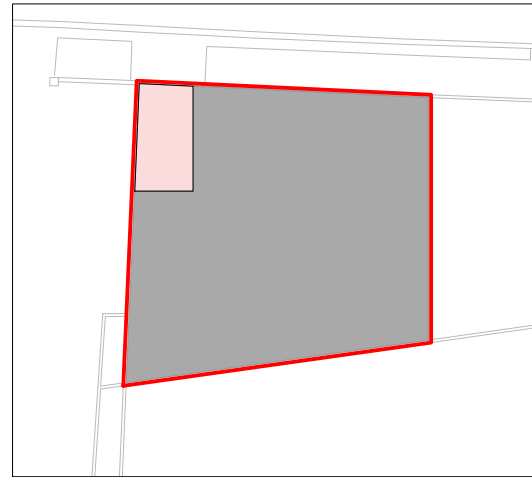
REAR OF 63 HODFORD ROAD, LONDON, NW11 8NL
EXISTING: EAST & WEST ELEVATIONS
2050_PL_023 FOR PLANNING PURPOSES ONLY
-
1:100 @ A1 / 1:200 @ A3

MASSING DEVELOPMENT



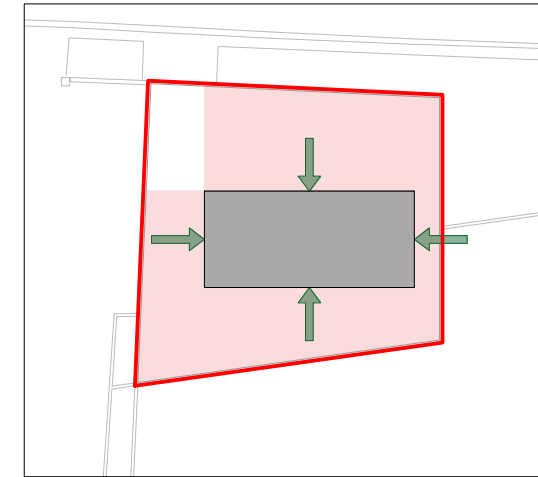
1 - Maximum Development Area

Full extent of existing site with development potential.



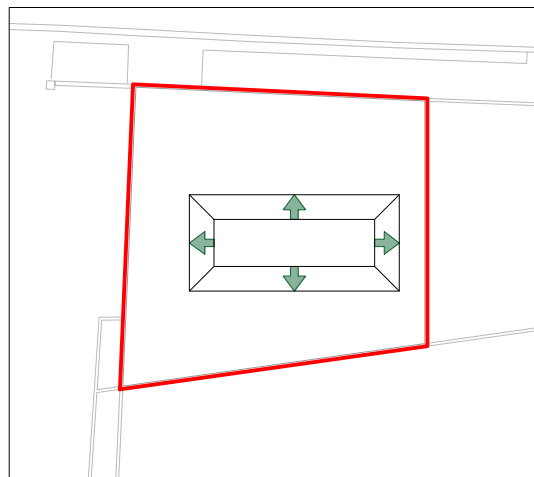
2 - Access

Retention of existing vehicular access and parking space.



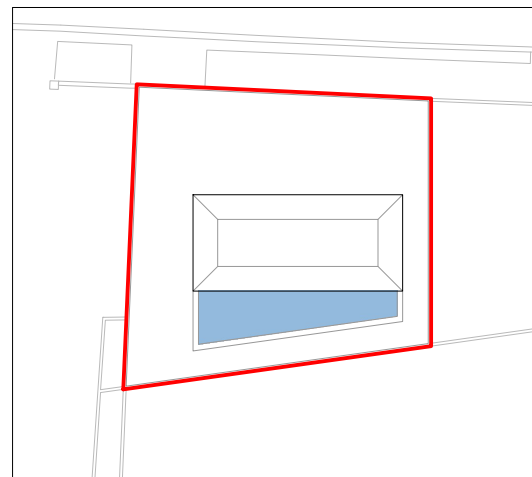
3 - Existing Context

Building line pulled back from all site boundaries / neighbours.



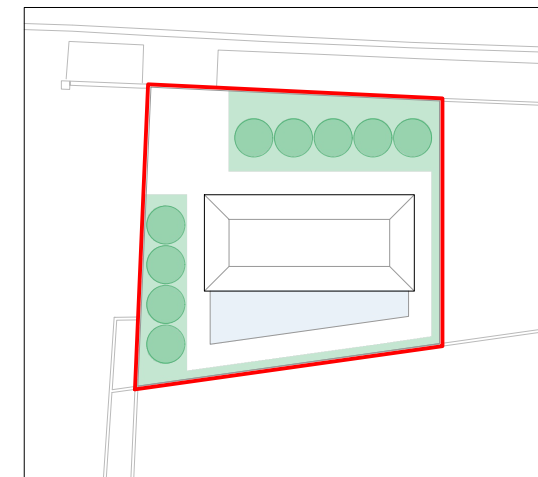
4 - Reduced Building Volume

Massing reduced further by sloping roofs down to each building edge



5 - Lightwell

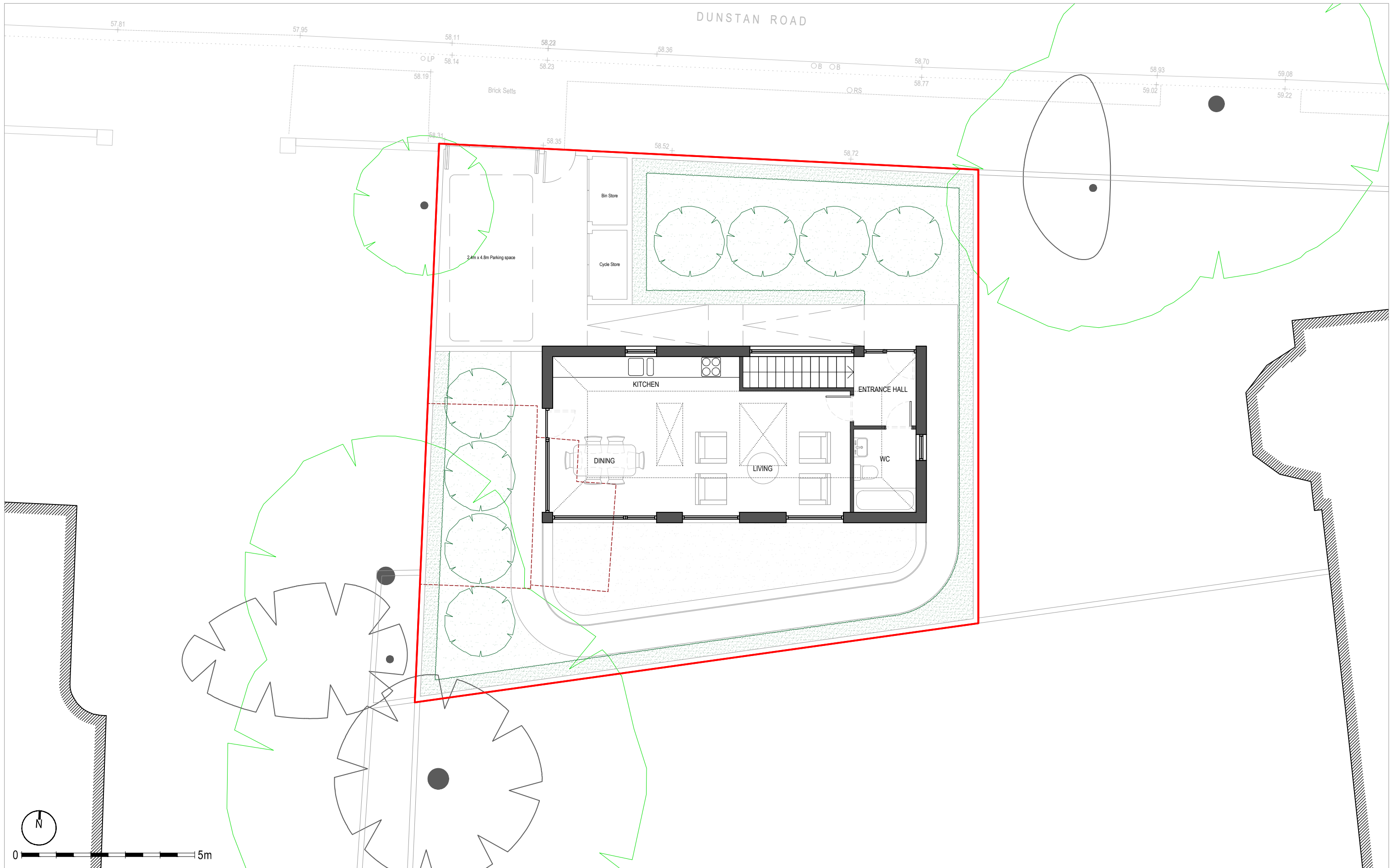
Introduction of lightwell to allow for lower ground floor level.



6 - Gardens and Treelines

Heavily planted gardens to soften context and reintroduce trees.





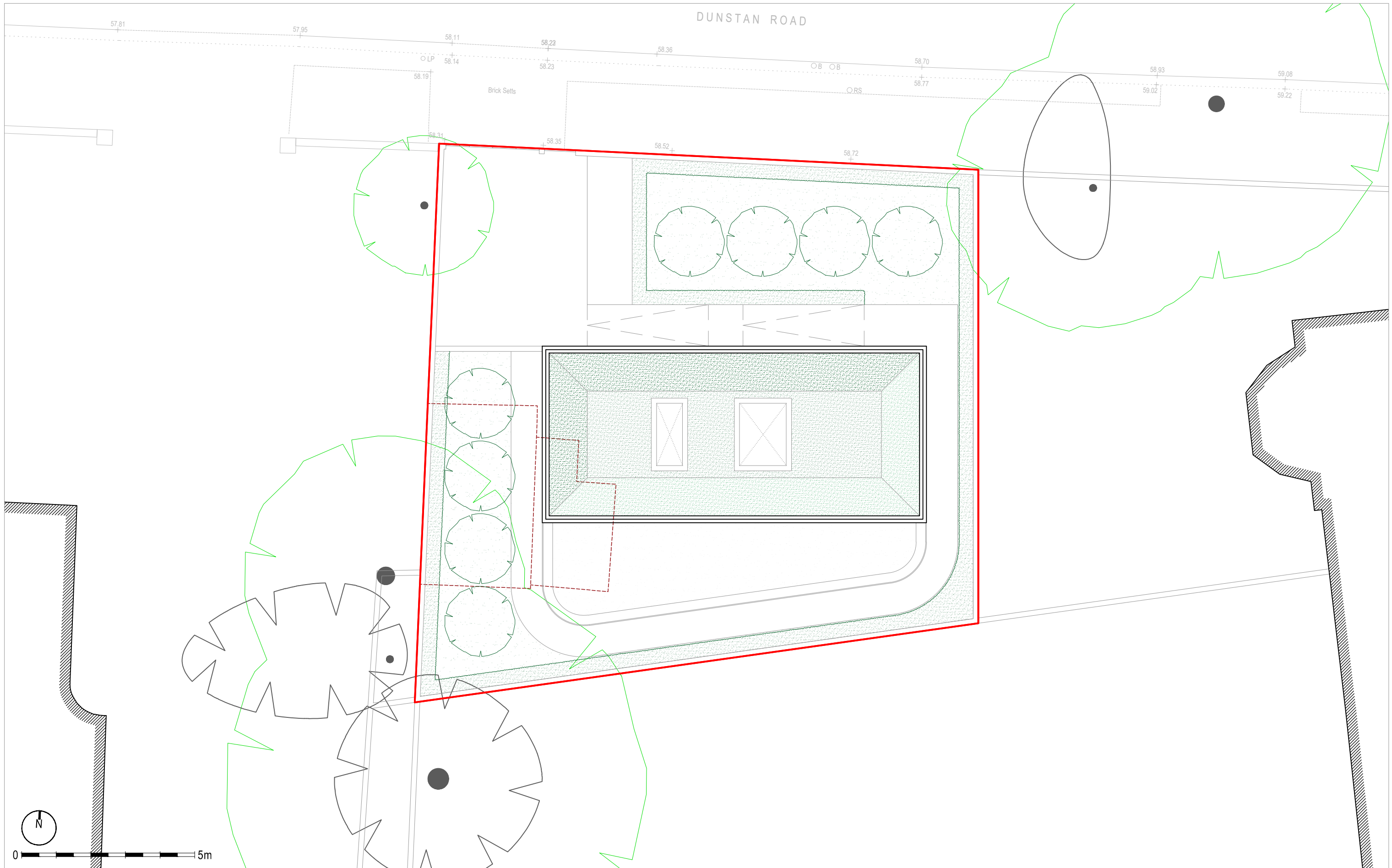
DUNSTAN ROAD

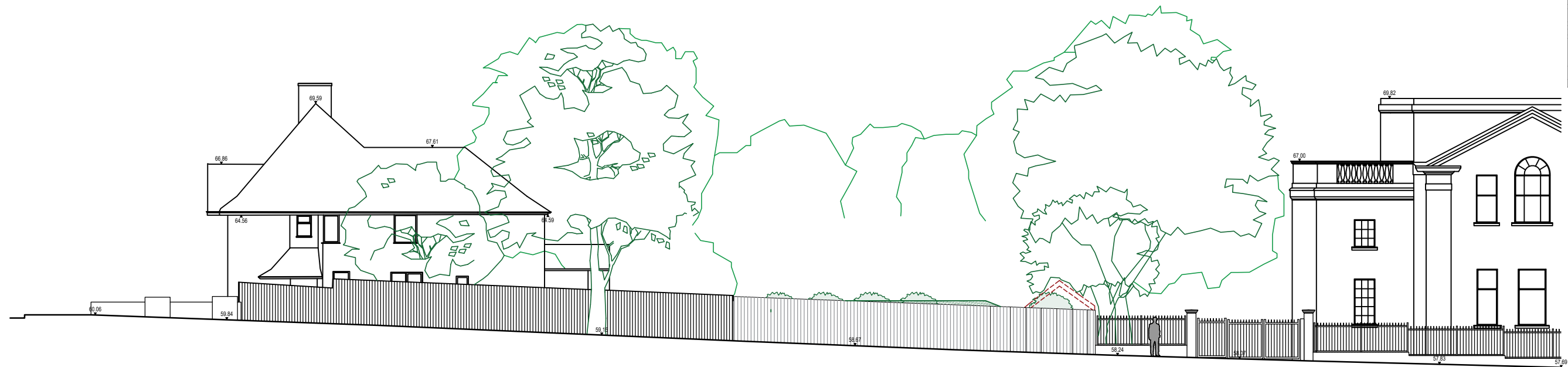
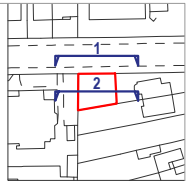


0 5m

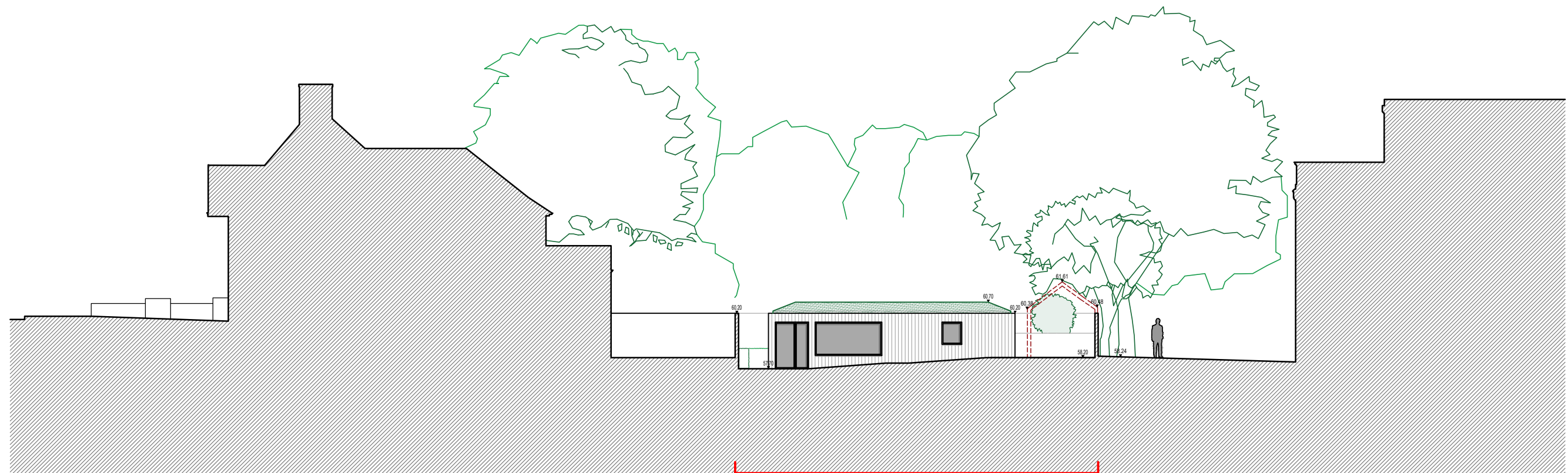
REV:	DESCRIPTION:	BY:	DATE:	NOTES:
-	First Issue	JD	22.01.21	

Address	REAR OF 63 HODFORD ROAD, LONDON, NW11 8NL
Drawing Number	PROPOSED: LOWER GROUND FLOOR PLAN
Revision	2050_PL_211 FOR PLANNING PURPOSES ONLY
Scale	-
	1:50 @ A1 / 1:100 @ A3



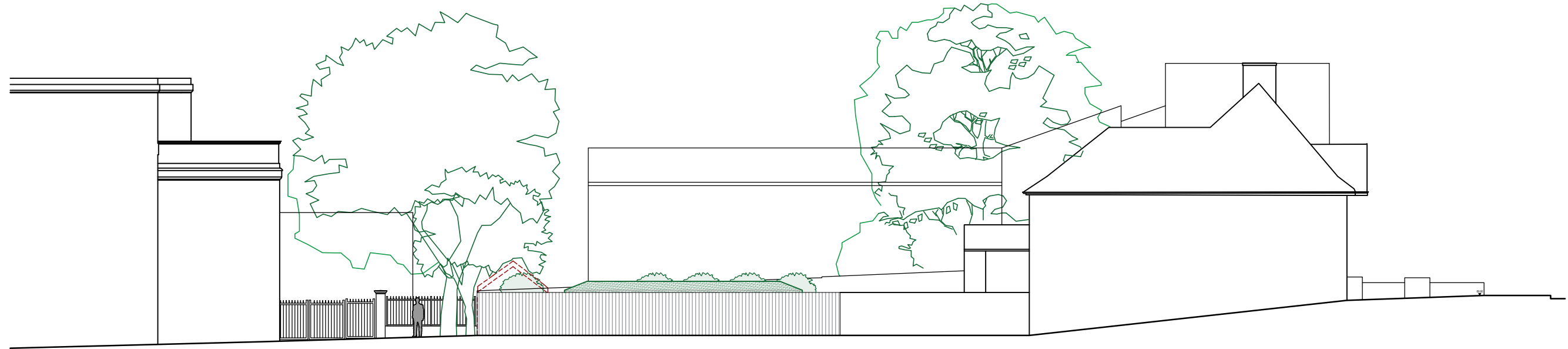
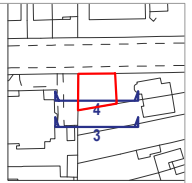


NORTH ELEVATION (STREET - 1)

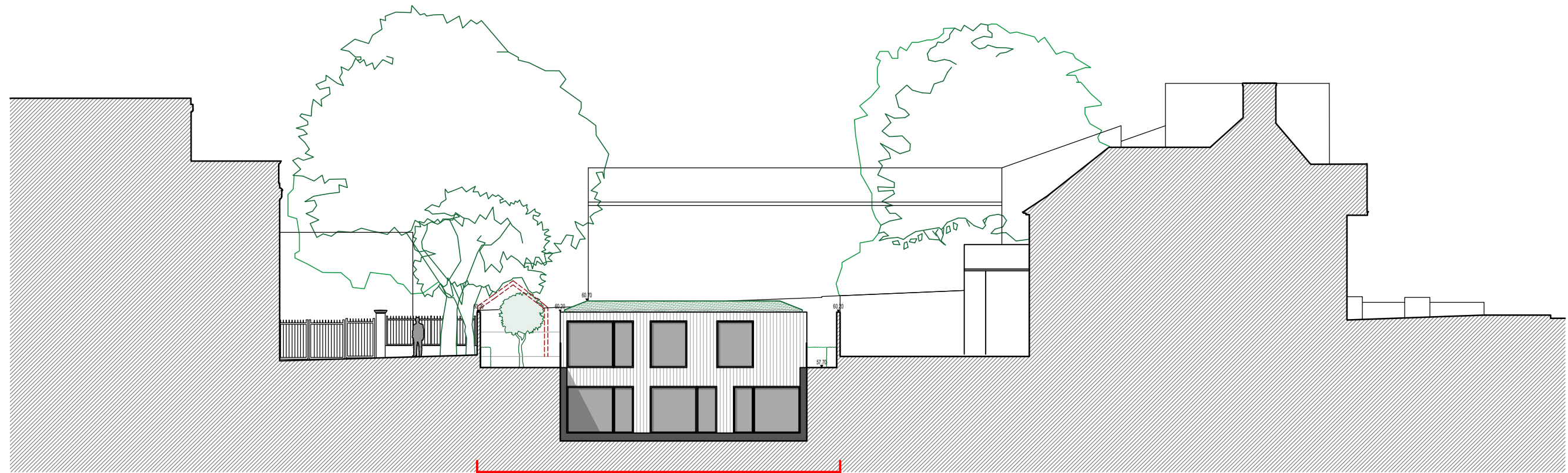


NORTH ELEVATION (SITE - 2)

0 10m

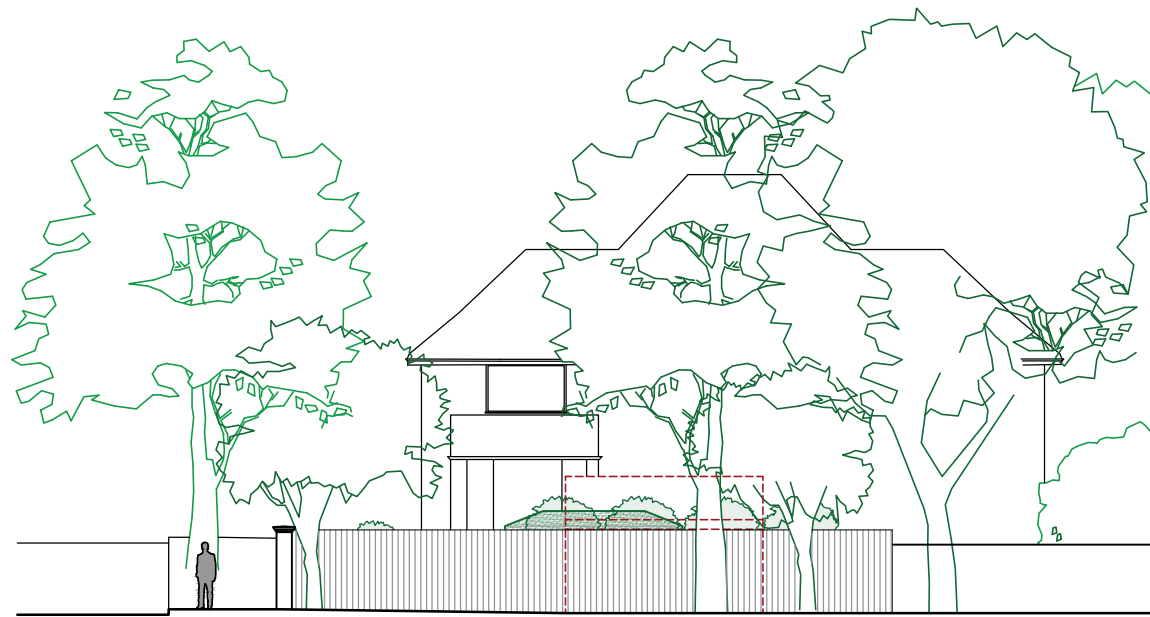
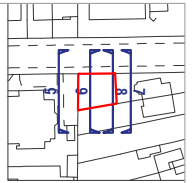


SOUTH ELEVATION (STREET - 3)

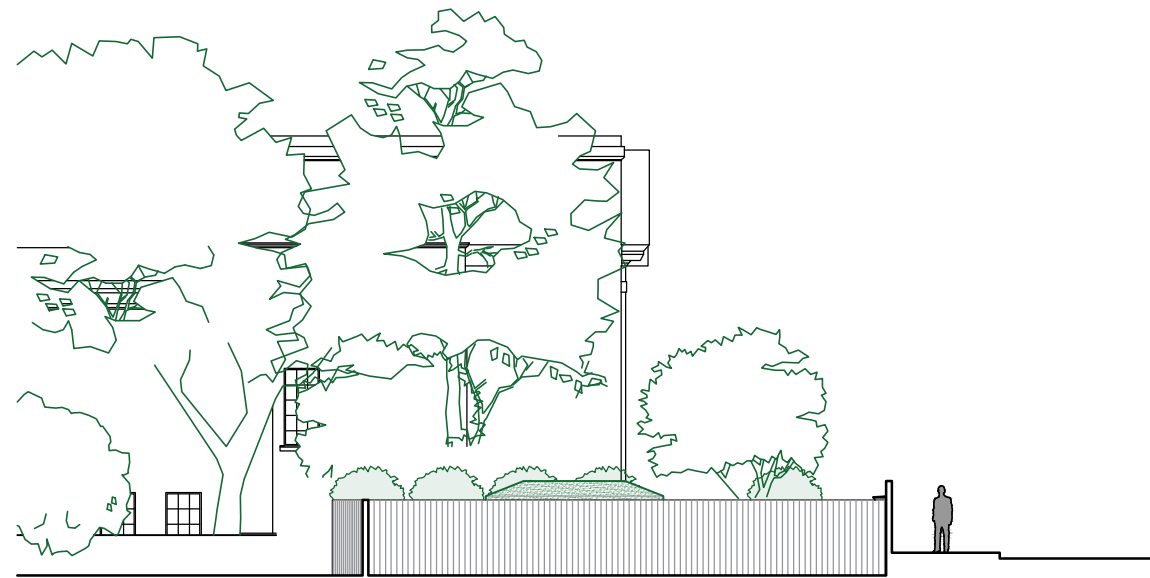


SOUTH ELEVATION (SITE - 4)

0 10m



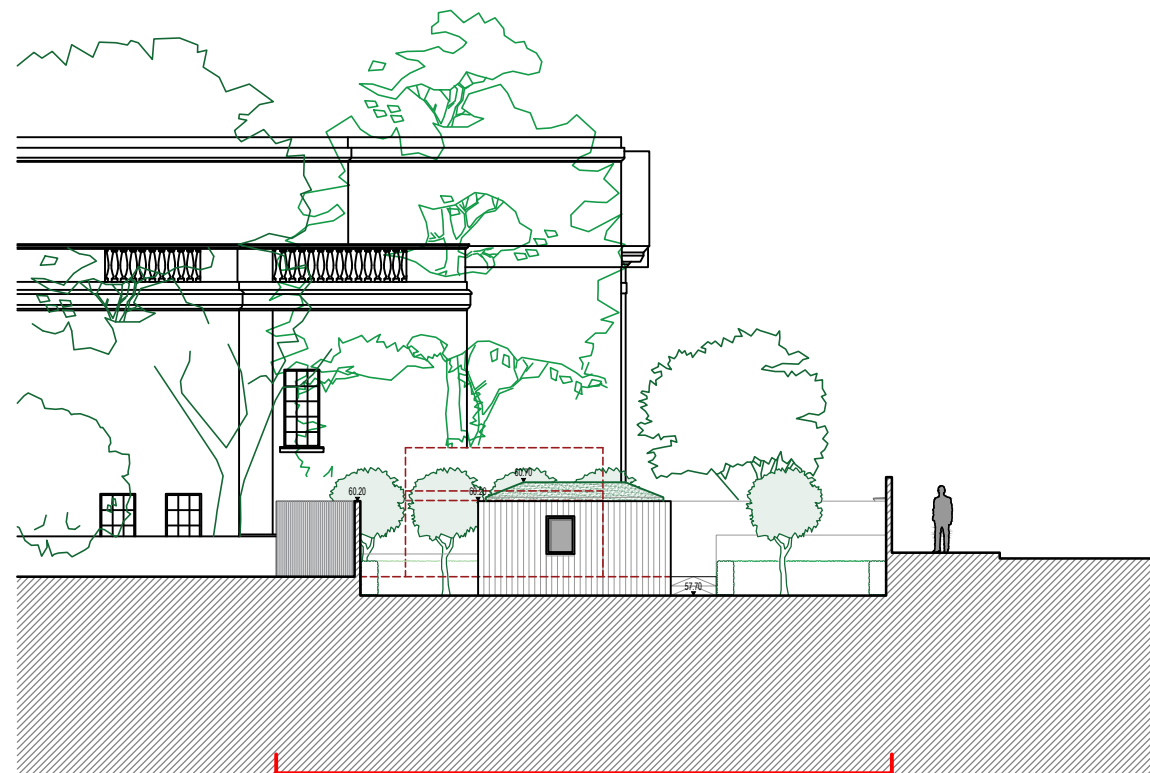
EAST ELEVATION (STREET - 5)



WEST ELEVATION (STREET - 7)



EAST ELEVATION (SITE - 6)



WEST ELEVATION (SITE - 8)

0 10m

