

**Appraisal: Site**

On appraisal of the site there were a few key factors to consider in the siting of any additions to the existing structure and the impact that would have on both the existing property itself, but also the surrounding context.

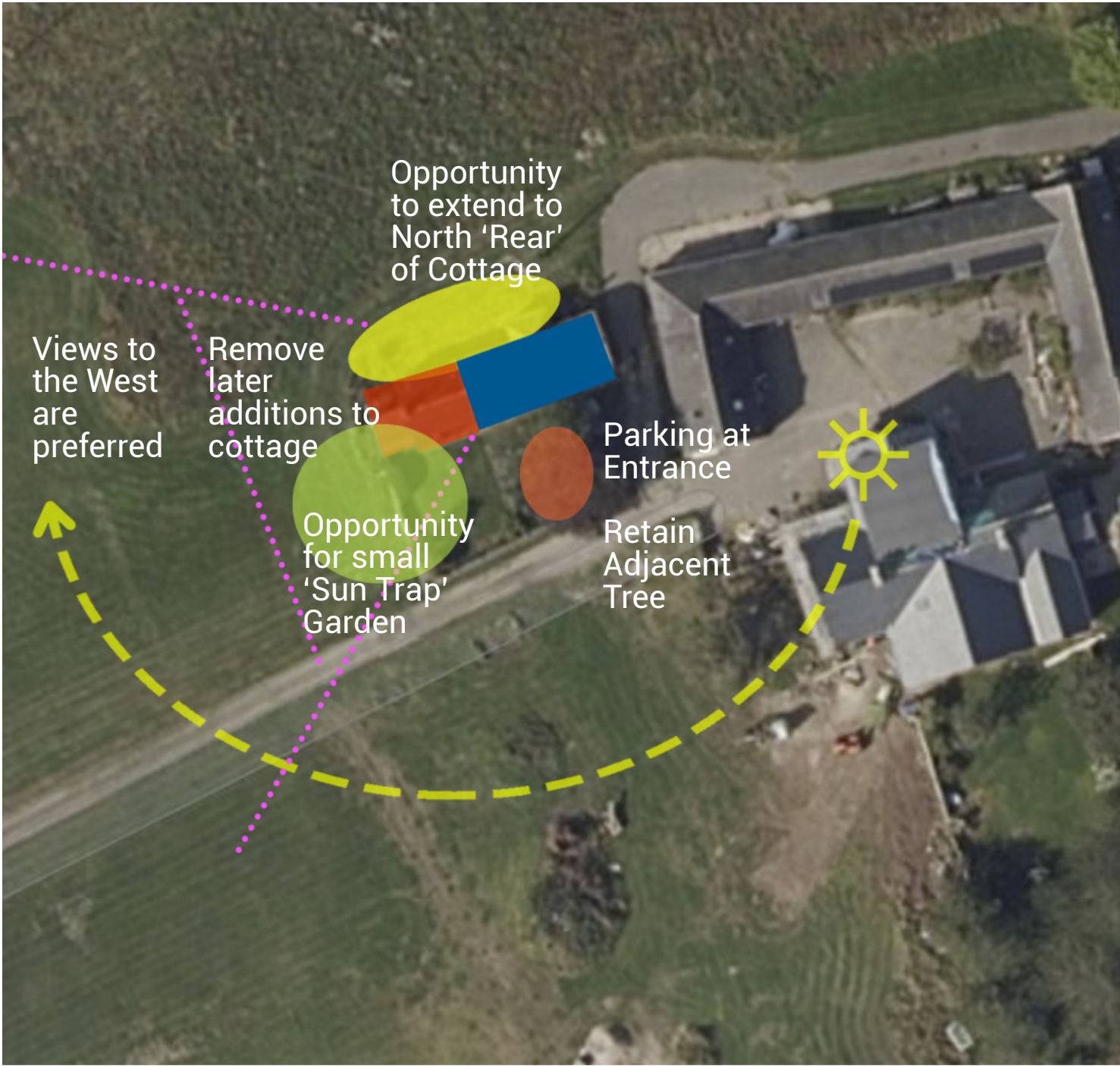
The siting of the existing building in relation to the adjacent buildings is very strong. It benefits from being to the West of both the Steading and Farmhouse, removing risk of overshadowing beyond the early morning sun. Its orientation and position in relation to the existing track has It well placed to create new outdoor spaces alongside well lit internal spaces.

The orientation of the building and any new proposals will clearly benefit from focusing views to the West, South and North. This will negate any privacy issues with the existing farm house.

Removal of the later additions to the cottage will be essential as they are no longer fit for purpose. This then creates further opportunity to construct an extension that can better control the light and views to the building.

Development to the South and North East corners of the site is not possible beyond appropriate landscaping due to the existing access requirements and proximity of the Steading.

The dry stone walled garden forms a clear site boundary to the South and West of the proposals and any materials from these walls should they be moved would best be retained and reused onsite in the boundary treatment.





Precedent



Cottage at Meadowhead Farm, Newmachar, AB21 7NY  
Reuse and Extension of Existing Cottage Building  
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Sketch Proposals

A fundamental outcome to the success of the project was to develop a plan that delivered a solution fulfilling the applicants brief. In the conceptual stages a number of options were considered and developed prior to reaching the proposed solution.

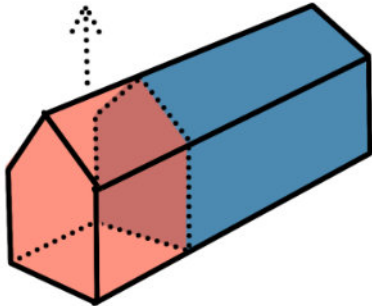
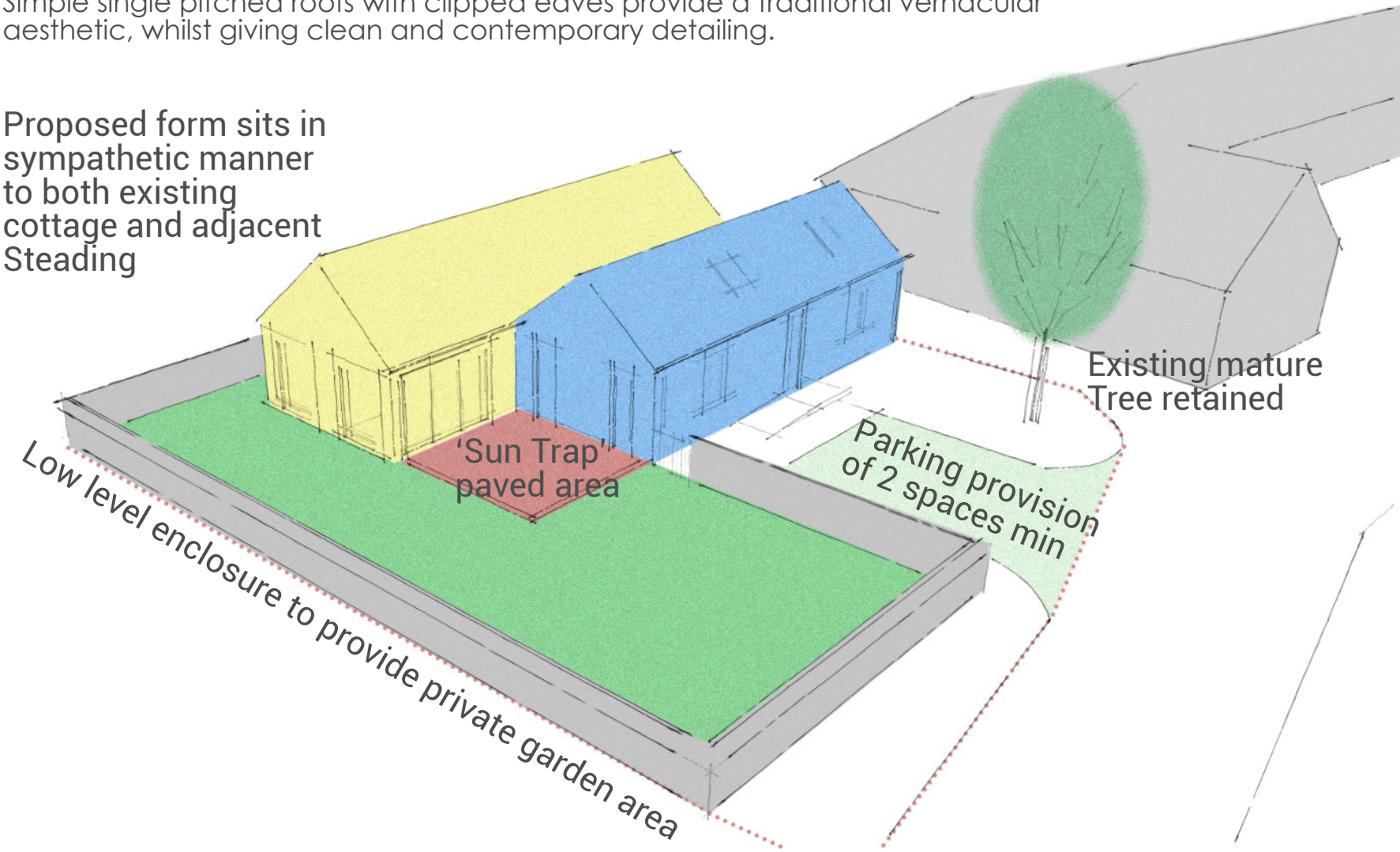
Beyond the plan it essential that the form and mass of the proposals are considered in detail, ensuring they do not adversely impact the surrounding context, or the existing property. A series of volumetric studies led to a proposed massing that removes the existing additions to the West and North to return to cottage to its original vernacular form. This form was then replicated to the North with a simple form to the North sitting parallel and stepped in plan, utilising the existing opening of the extension to the North to connect the two structures internally.

The stepping in plan naturally forms private external areas, notably to the Southern corner which creates a private 'sun trap'. Re purposing the dry stone walling to create an enclosed garden to the West forms a new formal boundary to the domestic proposals and ensures younger residents can enjoy outdoor amenity without risk from traffic on the shared access road.

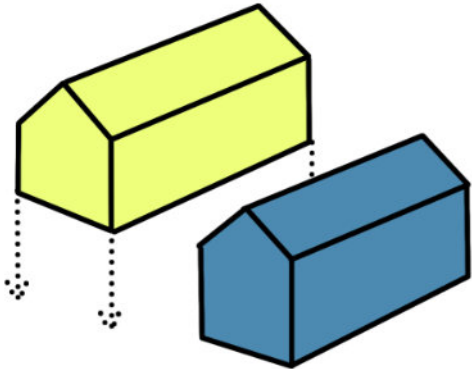
Parking is to be provided are the reinstated entrance to the cottage off the shared track whilst maintaining the existing mature tree with soft landscaping to the East.

Simple single pitched roofs with clipped eaves provide a traditional vernacular aesthetic, whilst giving clean and contemporary detailing.

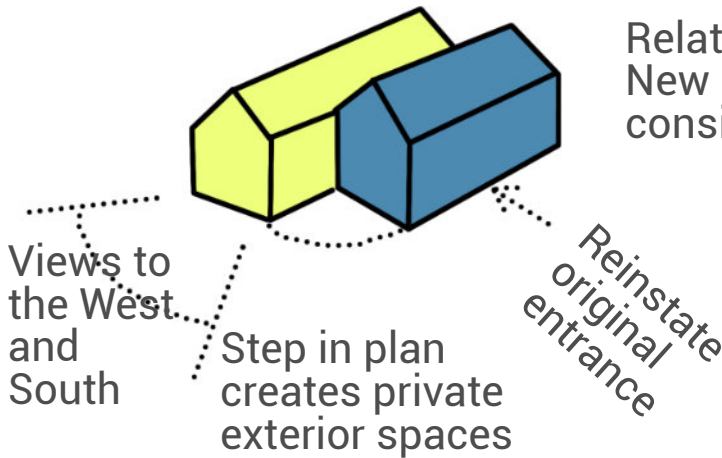
Proposed form sits in sympathetic manner to both existing cottage and adjacent Steading



Retain original cottage  
Remove all later additions

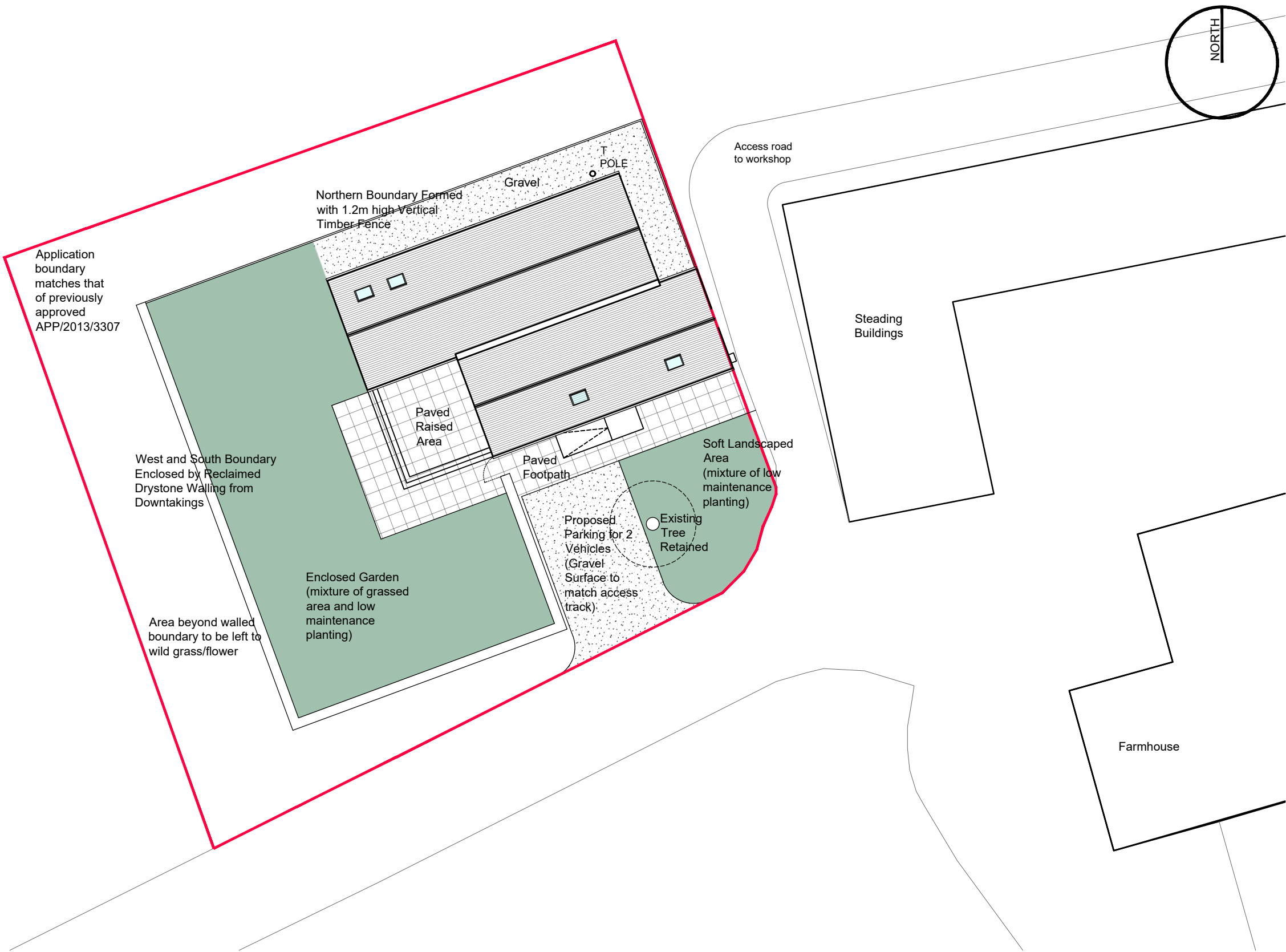


Introduce a traditional formed extension to the rear. Ensures the original cottage can be 'read'



Relationship of Old and New is confident and considerate.

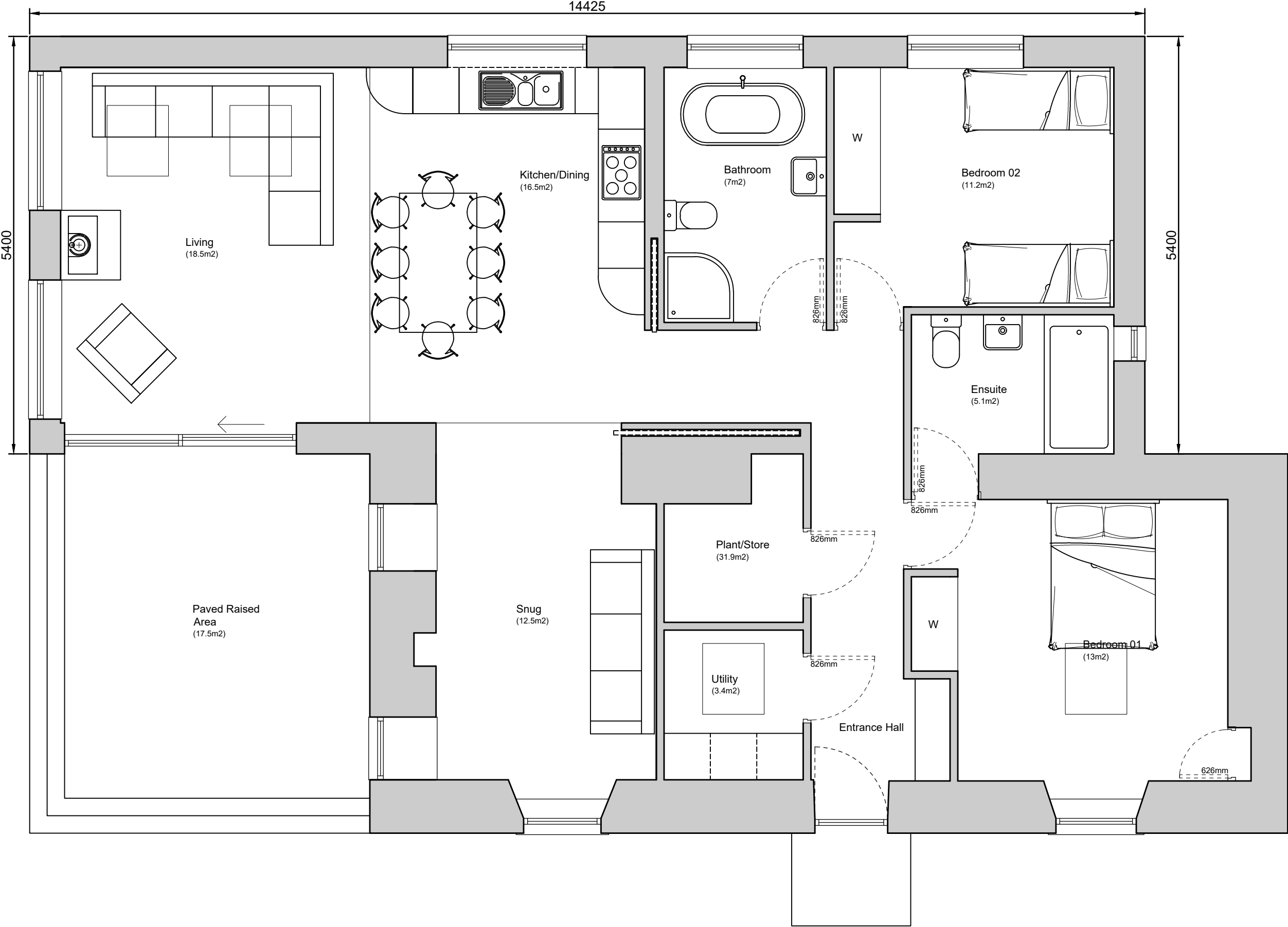
Proposed Site Plan



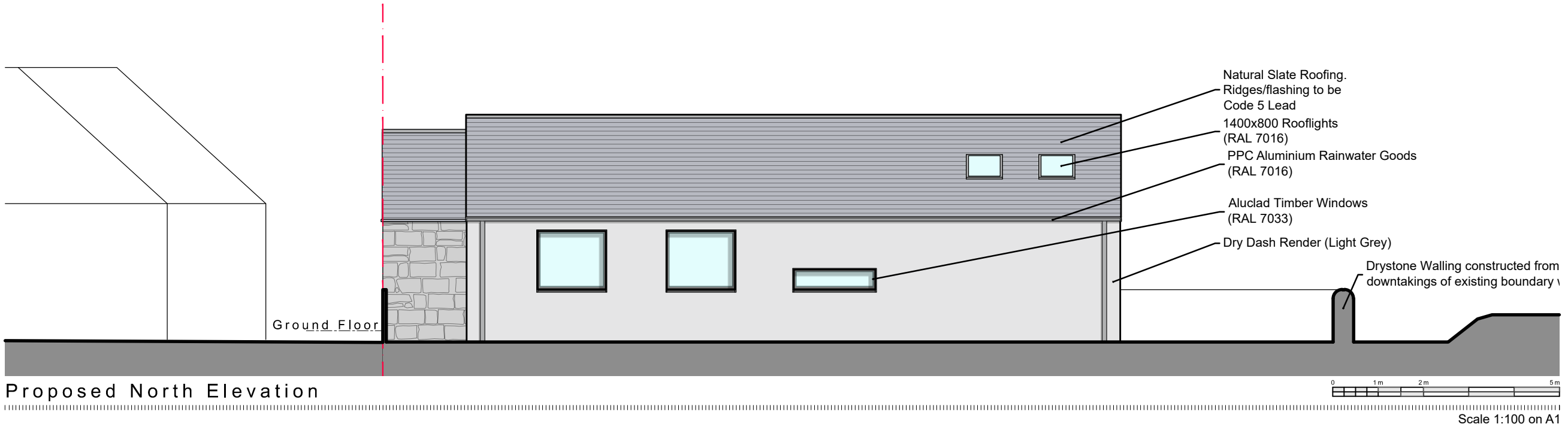
Proposed Site and Roof Plan

0 1m 2m 5m  
Scale 1:200 on A1

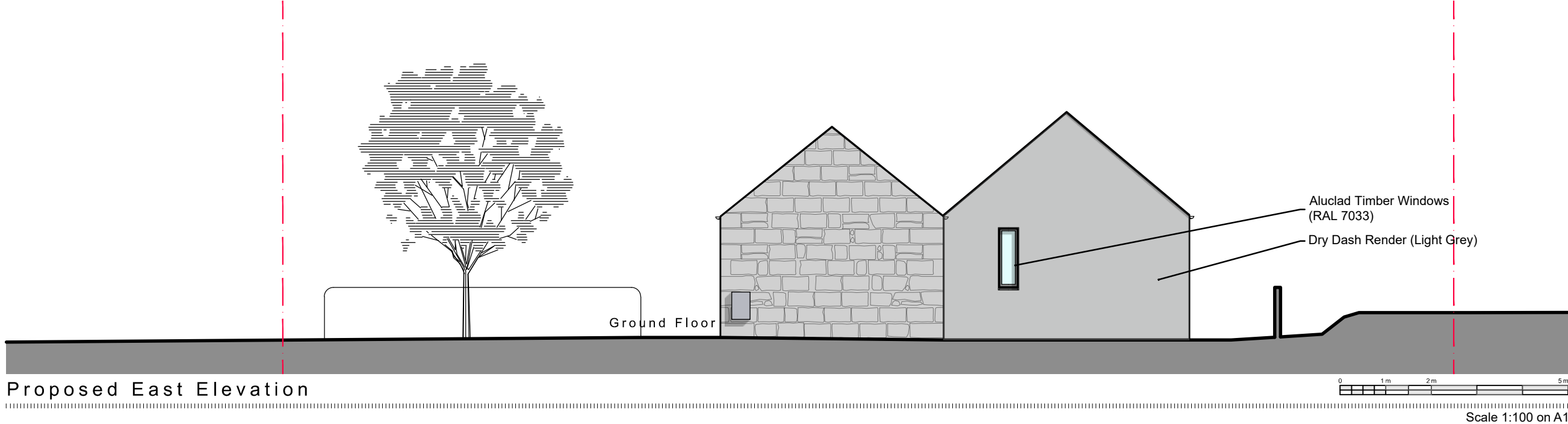
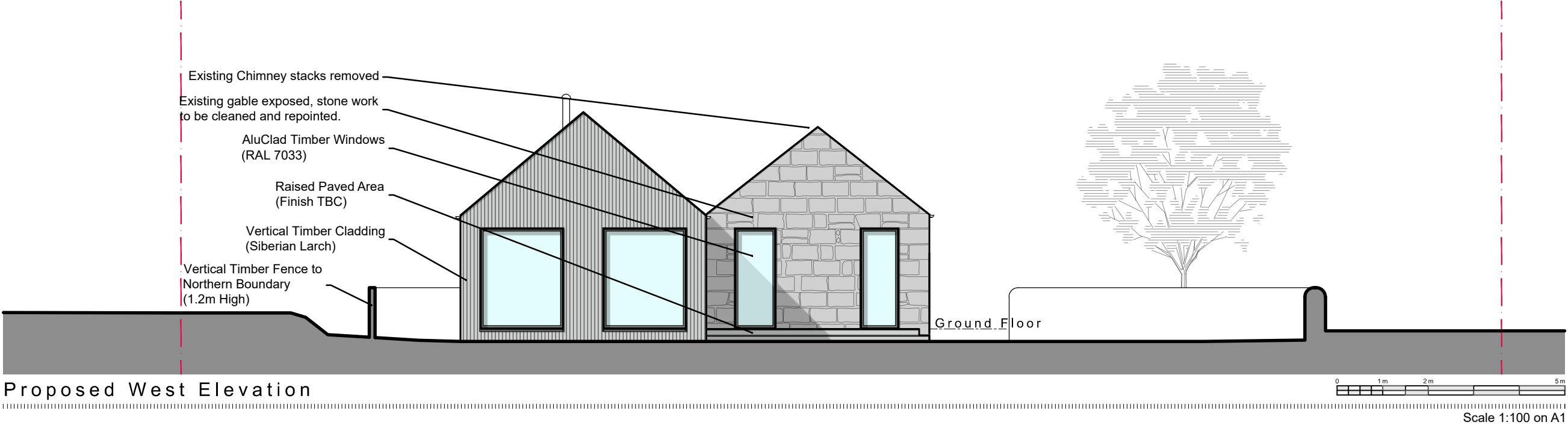
Proposed Ground Floor Plan



Proposed Elevations



Proposed Elevations





## Materials

It is proposed to use a restricted palette of materials as part of the proposals. Reference is made to the surrounding context with; natural slate, reclaimed stone. Vertical timber cladding and render used in the proposals, all materials which are found in the farmhouse and Steading structures.

This palette of materials is perfectly suited to provide a robust and low maintenance finish that will weather well in the exposed setting it finds itself within.

Windows are to be finished in RAL 7033 (Cement Grey), again matching the neighbouring property. Windows arrangements are large format, varying scale reminiscent of the neighbouring Steading building.

Carefully positioned roof-lights will introduce light to the existing property interior negating the need to introduce additional windows to the principal elevation.

Opting to retain the stone of the original cottage and introduce the natural timber creates a simple yet confident play between the 'old and new' forms.



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**Energy Statement**

The dwelling will adopt a ‘fabric first’ approach to energy efficiency, with high levels of insulation and air tightness that will exceed the minimum requirements set by the Building Standards.

Renewable technologies to the dwelling house include a highly efficient ground source heat pump system and highly efficient ‘Icynene’ spray insulation which combines a consistent high level of insulation and air tightness.

Windows and doors are to be Aluminium clad high performance windows achieving 1.2 W/m2 as a minimum.

The existing building is to be stripped back to its original masonry walls and roof structure, allowing both the existing and the new proposals to be upgraded to meet a high standard of energy efficiency.

A wood burning stove is to be installed to the open plan areas of the home to provide a supplement to the heating during the colder months of the year.

The material palette and construction of the proposed aims to utilise sustainable sources of materials wherever possible such as reclaimed stone, timber cladding and a timber framed structure.



West Elevation

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West Elevation Approach Showing Proposals in Context of Existing Farm Buildings

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