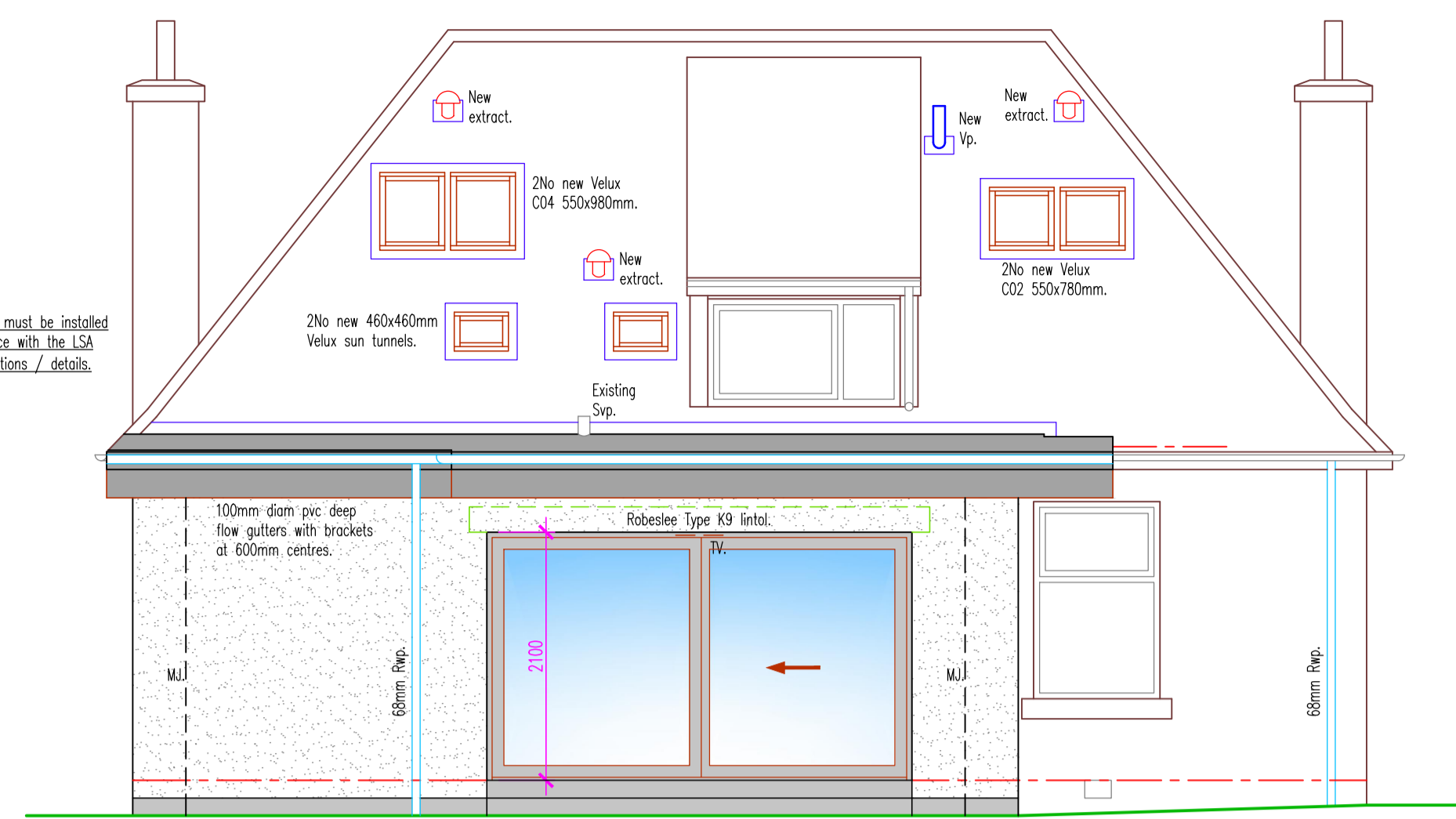


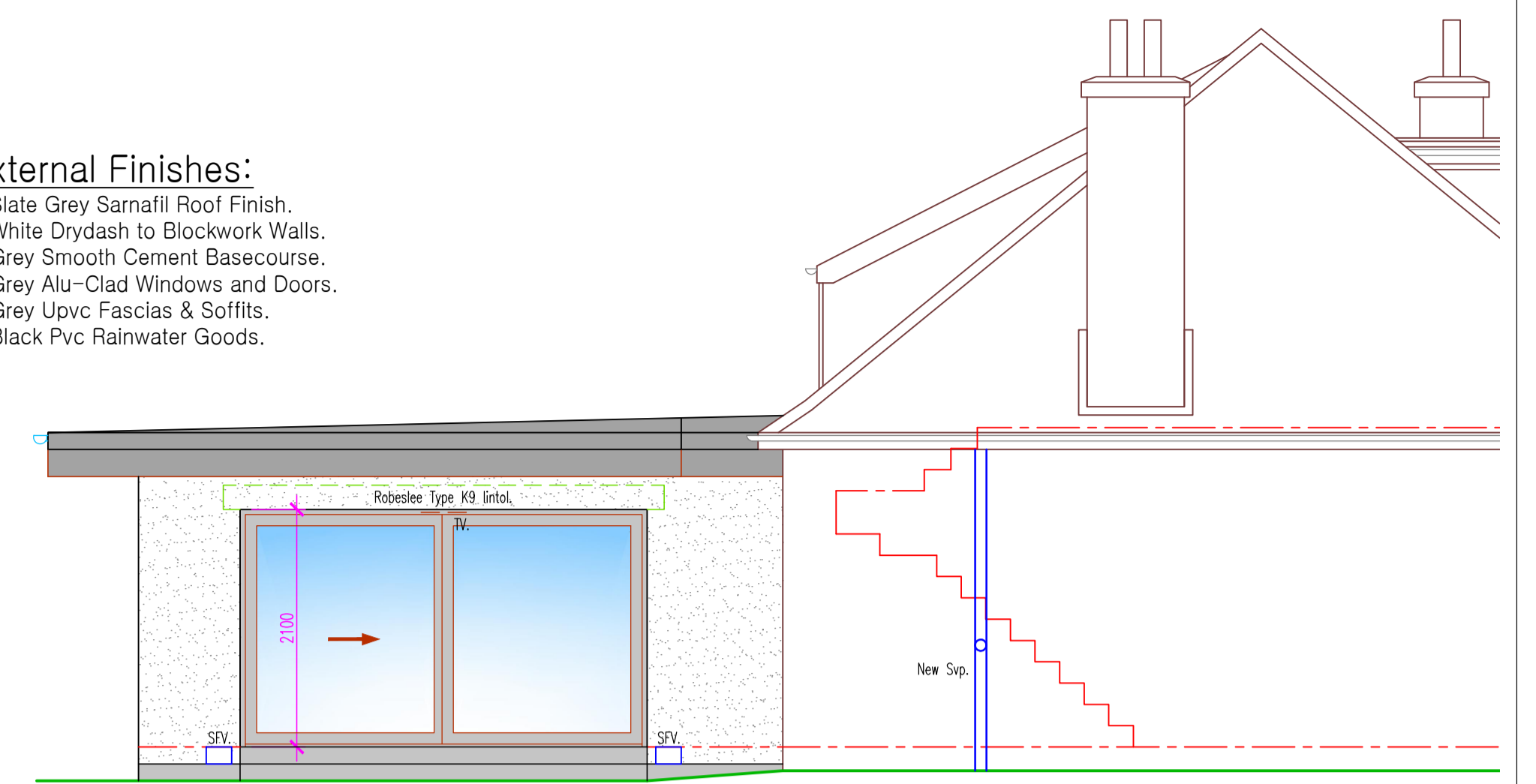
EAST ELEVATION 1:50



NORTH ELEVATION

External Finishes:

- Slate Grey Samalf Roof Finish.
- White Drydash to Blockwork Walls.
- Grey Smooth Cement Basecourse.
- Grey Alu-Clad Windows and Doors.
- Grey Upvc Fascias & Soffits.
- Black Pvc Rainwater Goods.



WEST ELEVATION

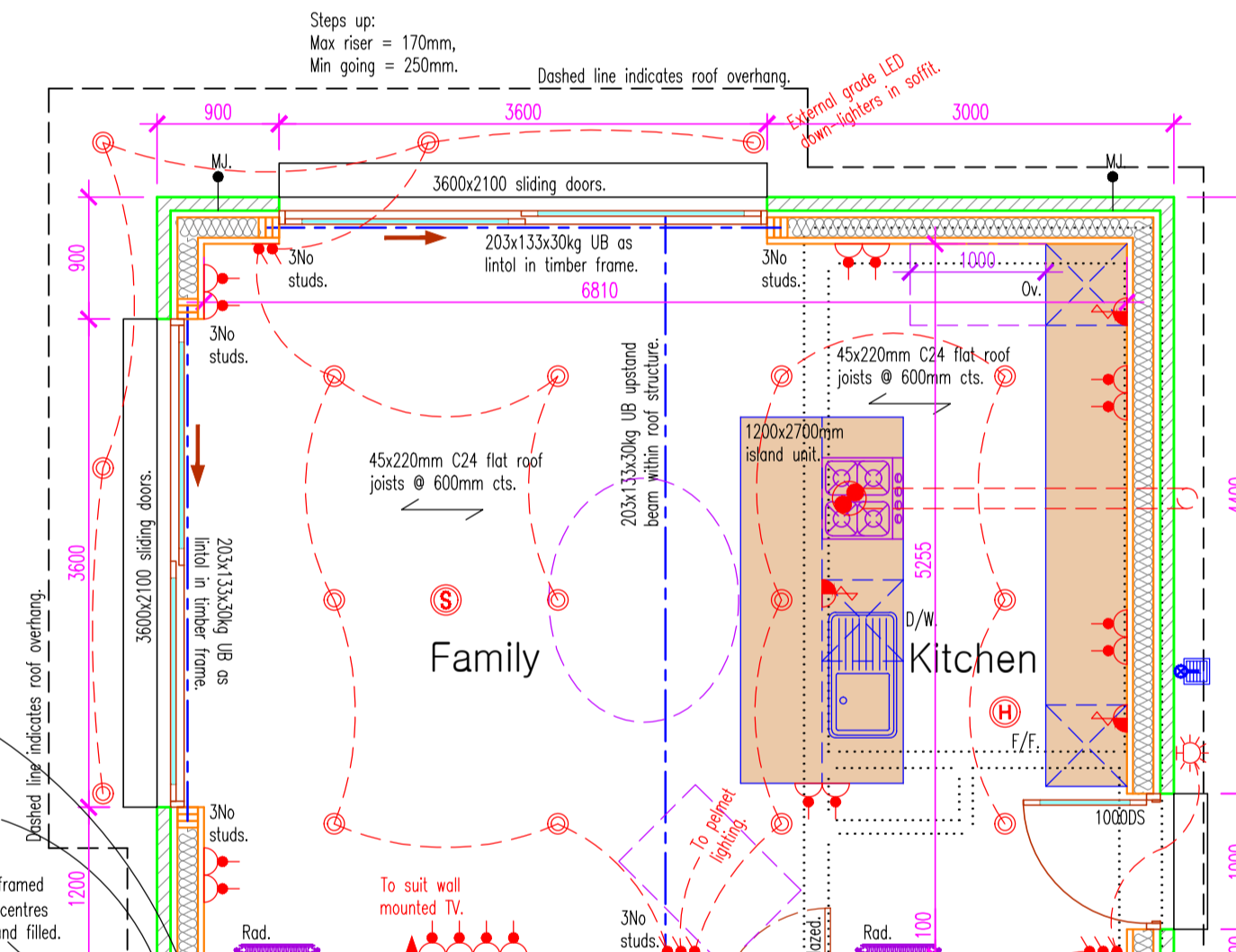
ELECTRICAL LEGEND:

- SINGLE 13 AMP SOCKET
- TRIN 13 AMP SOCKET
- SPUR POINT WITH H/L SWITCH
- LIGHT SWITCH
- PENDANT LIGHT FITTING
- RECESSED LED SPOTLIGHT
- WALL MOUNTED LIGHT FITTING
- FLOUORESCENT STRIP LIGHT
- TELEVISION AERIAL POINT
- TELEPHONE POINT
- SHOWER POINT
- CEILING MOUNTED EXTRACT FAN
- WALL MOUNTED EXTRACT FAN
- SMOKE ALARM
- HEAT ALARM
- DISTRIBUTION BOARD

New timber kit to be bolted to existing wall and separated with DPC all as per Engineers details (at both sides of extension).

S/S Equipmet wall starters bolted to existing wall and new walls and fixed in with integral ties every course (at both sides of extension).

Existing wall between house and extension to be framed out with 4x4/77mm w/f framing at 600mm max centres finished with 13mm tie plain plasterboard, taped and filled.



Kitchen & Utility layouts to be finalised prior to plumbing and elec. first fix.

IMPORTANT NOTE:
EXACT LOCATION OF RADIATORS AND ELECTRICAL OUTLETS TO BE CONFIRMED WITH THE CLIENT PRIOR TO PLUMBING AND ELECTRICAL FIRST FIX.

Mechanical ventilation of at least 30 litres/sec housed within new kitchen cooker hood. Extract ducted between joists above to soffit. Vertical ducting fitted with a condensation trap.

Existing single storey rear extension shown dotted to be demolished.

External top & gully.

Kitchen activity spaces: 1500x1500mm (or 1400x1800mm ellipse) and a manoeuvring space of 1100x800mm clear of door swing.

Steps up: Max riser = 170mm, Min going = 250mm.

Min 10mm gap beneath door to balance new extract fan.

All existing electrical outlets within new WC to be removed.

WC to be fitted with a wall mounted extract fan, capable of a min extraction rate of 15 litres/sec.

Approximate location of existing wall mounted gas fired boiler to remain.

Existing window to be removed and opening widened and stepped down to floor level as shown. Opening to be finished over with 3No Robeslee Type K9 lintols with min 150mm bearing each end. Existing structure to be adequately propped throughout. All affected surfaces made good.

En-Suite layouts TBC prior to plumbing and elec. first fix.

En-Suite to be provided with a new ceiling mounted extract fan capable of a min extraction rate of 15 litres/sec. Vertical ducting to be fitted with a condensation trap.

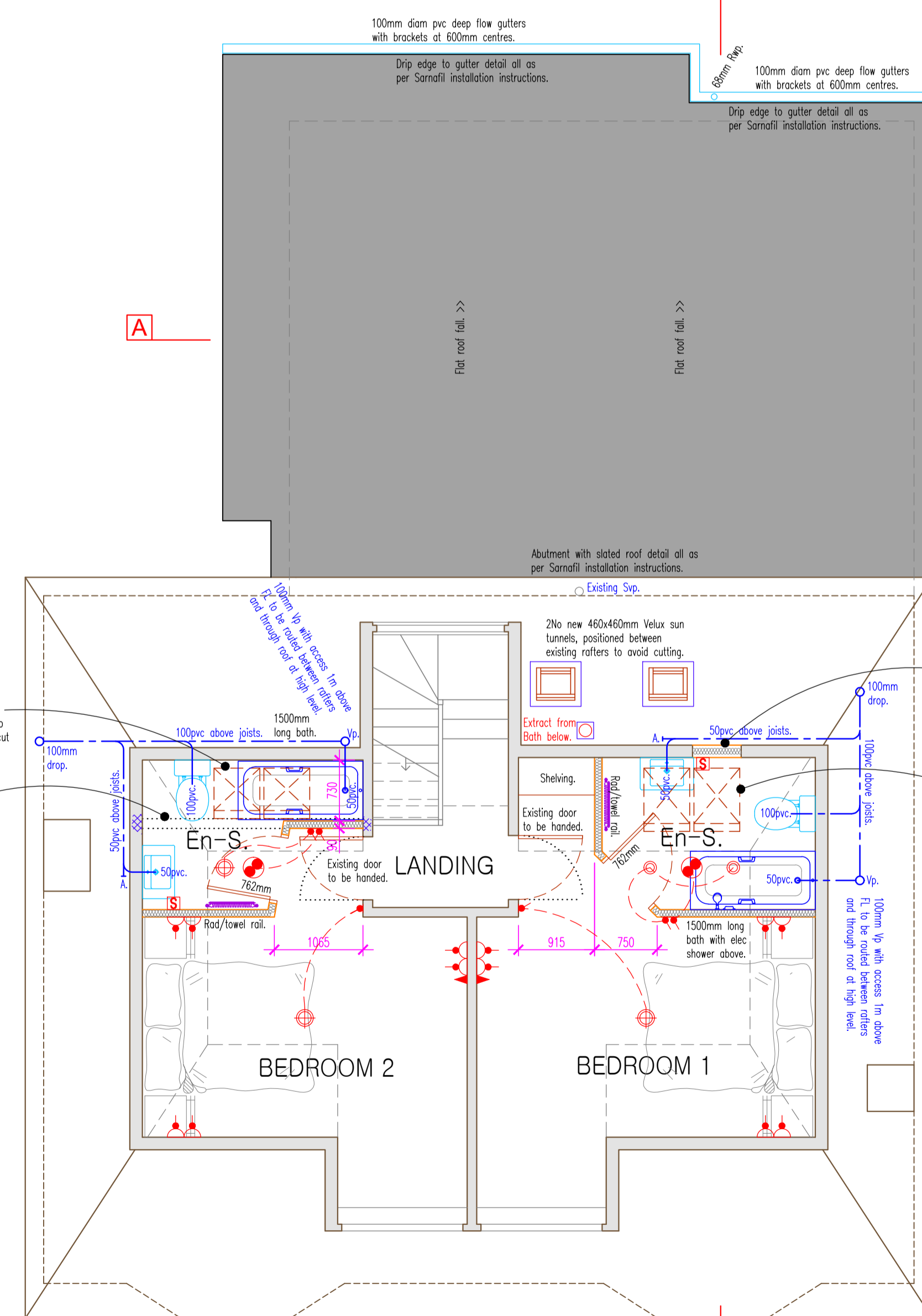
Bathroom to be provided with a new ceiling mounted extract fan capable of a min extraction rate of 15 litres/sec. Vertical ducting to be fitted with a condensation trap.

New smoke alarms and heat alarm to be mains operated (with battery backup) and permanently wired to an independent circuit at the main distribution board. Alarms to be interconnected with existing fire detection and alarm system (if present) all in accordance with BS 5839: Part 6: 2004 and Part 2.11.9 of the Building Standards. Heat alarm to comply with BS 5446: Part 2: 2003.

Carbon monoxide detector between 1m and 3m from boiler. Detector to comply with BS EN 50291-1:2010 and be powered by a battery designed to operate for the working life of the detector. Detector to incorporate a warning device to alert the users when its working life is due to expire. Hard wired mains operated carbon monoxide detectors complying with BS EN 50291-1:2010 (Type A) with fixed wiring (not plug in types) may be used as an alternative, provided they are fitted with a sensor failure warning device.

Existing main entrance shall remain unaffected and will not be adversely affected by the proposals.

Ground Floor Plan 1:50

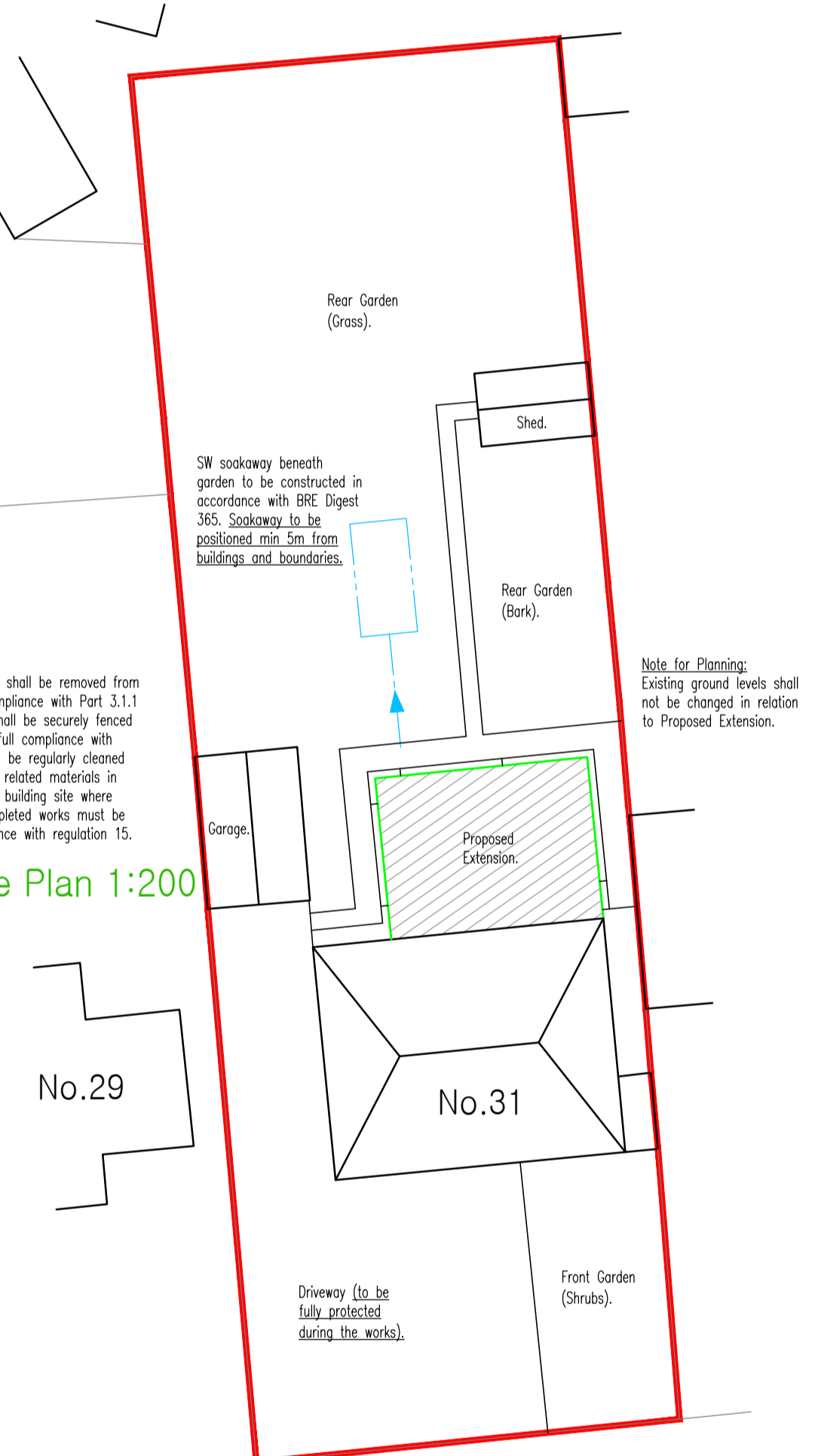


First Floor Plan 1:50

SITE PLAN:

All surface soil and vegetable matter shall be removed from the area of the extension in full compliance with Part 3.1.1 of the Building Standards. Building shall be securely fenced off to protect the general public in full compliance with regulation 13. Adjacent footpath shall be regularly cleaned and kept free of building debris and related materials in full compliance with regulation 14. A building site where there are unfinished or partially completed works must be kept safe and secure in full compliance with regulation 15.

Proposed Site Plan 1:200



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Rev. E - 08/03/2021
Rev. D - 03/03/2021
Rev. C - 02/02/2021
Rev. B - 01/02/2021
Rev. A - 26/01/2021

Project: Proposed Extension & Alterations at 31 Gordon Terrace, Dyce, AB21 7BB.

Client: Cheryl Duthie

Drawn By: Floor Plans, Elevations & Site Plan.

Date: Dec '20	Drawn By: CA0406-02	Rev: E
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