



PADSTUDIO

# Design Statement

Including

**Development Appraisal**

for

2006

IVY ROOST COTTAGE - STUDIO

Ivy Roost Cottage, Main Road, East Boldre, Hampshire SO42 7WU

REVISION NUMBER

**2**

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### Section 1.0 Revisions Record

Issue No.	Revision Information	RIBA stage	Date of Issue	Issued To
1	Issue for Pre-application	2	07/01/21	CL, LA
2	Issue for Planning Application	3	11/02/21	CL, LA

*Abbreviations:*

*CL: Client*

*CT: Contractor*

*SCT: Sub-Contractor*

*LA: Local Authority*



## Section 2.0 Design Statement

### 2.1 Description of Works

This application seeks consent for full planning permission for the construction of a garden studio to support home working for the residents of Ivy Roost Cottage. The application is made following pre-application feedback from the New Forest National Park Authority (NFNPA) and associated consultants.

#### .01 Site and Location:

The site currently consists of a detached house, Ivy Roost Cottage, and a large rear garden. The site lies within the village of East Boldre. Ivy Roost Cottage is locally listed, and the site is located adjacent to the open forest and lies within the conservation area

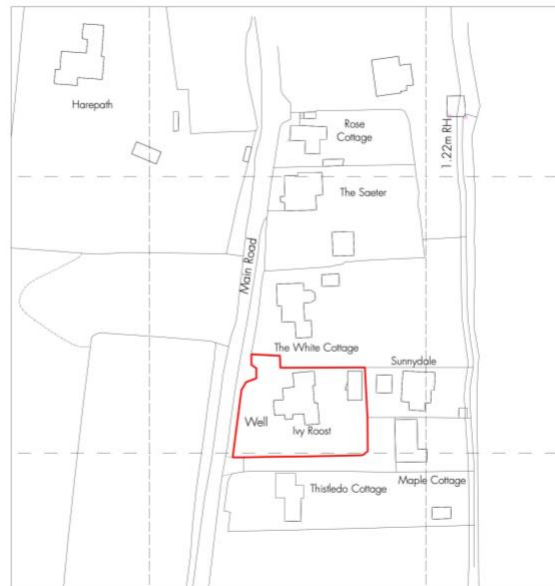


Fig. 01 Block plan demonstrating proposal

The proposed studio is located within the domestic curtilage of Ivy Roost cottage. The proposal seeks to raise design standards creating a home-working space appropriate for the context of the cottage.

#### .02 The Proposal:

Amount and Use; The proposal is to provide a separate workspace for the clients as a result of the shift to home working. Providing an office for Karen to run her business from and an artist studio for Robert. As discussed further below this use is acceptable under

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policy DP37 and a small washroom with WC and sink/shower to support this could be permissible.

The space is 37 sqm providing two office spaces with a small kitchenette and bathroom facility. The studio also contains a small stove to provide heating.

Layout and Scale; The studio is located away from the main cottage and the design creates a dialogue with the surrounding garden. The low-lying single storey form reads as subservient to the cottage demonstrating how the studio is ancillary to the main cottage. The height of the studio is staggered to minimise impact on the neighbouring amenity but provide Robert with the height required for producing his work.

The scale of the studio is respectful of the neighbouring properties and the proposals have been discussed with the residents to ensure all affected parties have had the opportunity to voice concerns.

The material palette chosen is respectful and seeks to complement those of the main house. In keeping with the rural context, conservation area and open forest landscape. The natural timber cladding to the façade will weather and reflects its garden and forest context whilst the corrugated metal roofing denotes the local agricultural language and ensures the outbuilding is read as ancillary to the main thatched cottage. The glazing proportions relate to the intended use with a need for plentiful constant north light into the artist studio.

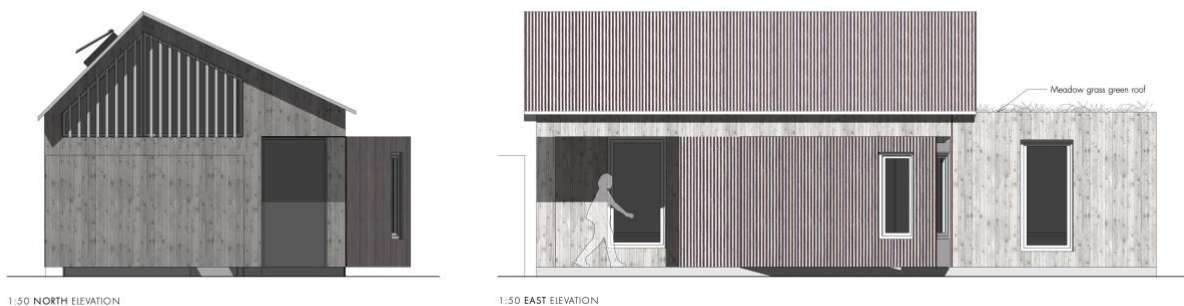


Fig.02 The proposed elevations denoting a material palette reflective of the rural and agricultural context and low-lying form.

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Landscape; The proposal has been considerate of the Root Protection Area (RPA) of the Oak on the neighbouring property and an Arboriculturalist has been consulted as part of the process and an impact assessment report will accompany the planning submission.

The proposal is for an award-winning landscape designer and the landscape in which the proposal sits will be developed and considered to create a dialogue with the main property and the existing garden. It will help activate an underused and neglected section of the space.



Fig. 03 The existing garden rooms of Ivy Roost with which the proposal will have a dialogue

Fig. 04 View back to the main house from the location of the studio.

## 2.2 Consultants

- .01 Architects/Agent;  
Collette Raine, PAD studio
- .02 Planning Consultant:  
Deborah Slade, Draycott's
- .03 Arboricultural Consultant:  
Marco Bartolini, Arbor Eco Consultancy
- .04 Landscape Designer:  
Karen Rogers, KR Garden and Planting design (client)



## Section 3.0 Development Appraisal; Planning Conditions

### 3.1 Relevant Planning History

.01 Planning permission was approved in 1982 (application ref NFDC/81/21039) for a detached double garage to the front of the main dwelling, along with a 2m high front boundary wall and a vehicular access. This consent does not appear to have been implemented.

.02 Planning permission was subsequently granted in 1982 (application ref NFDC/82/21658) for alterations and additions of a games room, jacuzzi room and kitchen with two bedrooms and bathroom over. That application also included the erection of a detached double garage to the north side of the main dwelling, vehicular access with driveway and front boundary wall with gates. This consent appears to have been implemented. In 1999 planning permission was granted for ground and first floor additions and roof alterations to the main dwelling. This consent also appears to have been implemented.

.03 Permitted Development;

There have been no planning conditions attached to any of the previous consents which have removed permitted development rights for this property. However, for a property sited within the National Park and a conservation area, Class E of that legislation sets out that an outbuilding can only be constructed under permitted development rights

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provided that it would be sited to the rear of the 'original' dwelling house, not beyond any principal/front or side elevations.

Looking at historic mapping and plans of Ivy Roost we would conclude that the principal/front elevation of the 'original' dwelling would have been the south elevation, which in turn would mean that the original north elevation would have been the 'original' rear elevation for the purposes of applying the permitted development legislation. Taking this into account due to the orientation of the property and the location of the existing extensions, the location of the northern boundary and existing trees we would advise that there would not be scope to site an outbuilding at Ivy Roost which would meet the permitted development criteria. As such the outbuilding would require planning permission.

### .04 Relevant Planning Policy;

Based on our assumption that the original principal/front elevation is the south elevation, and any outbuilding would therefore require planning permission, the following planning policies from the NFNPA 2019 Local Plan would be relevant to such a proposal:

**DP2 (General Development Principles)** – Requires development to demonstrate high quality design and construction which enhances local character and distinctiveness. This includes ensuring: a) development is appropriate and sympathetic in terms of scale, appearance, form, siting and layout; b) development respects the natural, built and historic environment, landscape character and biodiversity; c) protects and enhances the setting of individual and groups of trees; d) materials and boundary treatments are appropriate to the site and its setting; and e) amenity is not adversely affected in terms of additional impacts, visual intrusion, overlooking or shading.

**SP16 (The Historic and Built Environment)** - Proposals should protect, maintain or enhance nationally, regionally and locally important sites and features of the historic and built environment, including local vernacular buildings. Proposals will be supported where they conserve and enhance the significance or special interest of designated or non-designated heritage assets i.e. they do not harm the character or appearance of a conservation area. Proposals should make a positive contribution to, or better reveal, the significance or special interest of a heritage asset or its setting.

**DP18 (Design Principles)** - All new development will be required to achieve the highest standards for new design: including location, layout, size, scale, details and materials, with



particular regard to, amongst other things, enhancing the built and historic environment of the New Forest.

**DP37 (Outbuildings)** - Domestic outbuildings will be permitted where they: a) are proportionate and clearly subservient to the dwelling they are to serve in terms of their design, scale, size, height and massing; b) are located within the residential curtilage of an existing dwelling; c) are required for purposes incidental to the use of the main dwelling; d) are not providing additional habitable accommodation; and e) will not reduce private amenity space around the dwelling to an unacceptable level.

In addition, Page 13 of the NFNPA Design Guide SPD refers to outbuildings and 'outshots' combining rural characteristics with practical low-cost space and construction. P.35 states that outbuildings should harmonise with the main building and respond to its style, profile and materials and encourages the use of natural and mellow materials that help merge with outside space and complement landscape.

### 3.2 Planning Policy Considerations

Ivy Roost is locally listed, and the site is located adjacent to the open forest and lies within the conservation area to which special consideration has been given in the development of the proposal in this location. The proposal has been developed to ensure that it would sit harmoniously in its context and preserving and enhancing the character and setting of the main house and conservation area.

The outbuilding at Ivy Roost has been designed in order to minimise its overall scale and appearance by way of siting, footprint, height and materials, to ensure that the building is modest and subservient in relation to the main house and not overly prominent from outside the site.

Siting the outbuilding to the east of the main house minimises its visual impact and the location and design has kept it clear of any important amenity trees.

The material palette chosen complements those of the main house and are in keeping with the rural context, conservation area and open forest landscape. The natural timber cladding to the façade with weather and reflects its garden and forest context whilst the





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corrugated metal roofing denotes the local agricultural language and ensures the outbuilding is read as ancillary to the main thatched cottage.

### 3.3 Pre-application feedback

Pre-application reference **21/50016** reviewed the proposal as 'broadly in line with policy' and recommended a review of the scale of the proposal, in terms of height and its impact upon the neighbouring properties and amenities.

These concerns have been addressed through a reduction in the roof form and a reduction in the number of rooflights. The number of rooflights have been dramatically reduced; the applicants are an artist and landscape designer, both requiring constant daylight to carry out their work within this proposed studio. Windows to the north and rooflights to the north east are essential for more consistent colour rendering whilst working. By providing a green roof to the lower portion of the studio, the roofline is further softened and integrated into the landscape. The higher portion of the roof element sits adjacent to the eastern neighbour's (Sunnydale) garage, which is pitched, therefore this will not impact them. The neighbours have been consulted by the applicant throughout the process.

The feedback also refers to the proposed use of vertical timber cladding. This has been selected as it is reflective of timber elements on the existing house.

PAD studio has used vertical timber cladding in several projects locally within the National Park such as Oakdene, Norleywood (see below).



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Fig. 04 (above) Construction photograph of Oakdene, Norleywood and the Ash vertical cladding.

In our professional opinion vertical timber boarding when used on single storey elements assists the proposal in not feeling overly linear (which a horizontal board will do). It is also worth noting that the proposed studio at Ivy Roost is not visible from the public highway (unlike the example referred to in the pre-application comment - a near neighbour to Ivy Roost which is a two-storey property with large uninterrupted expanses of vertical timber cladding which have been stained not allowed weather naturally).

The intent here is to use Ash cladding (as at Oakdene) which will weather naturally blending with the setting of the property and tonally enhancing the thatch.



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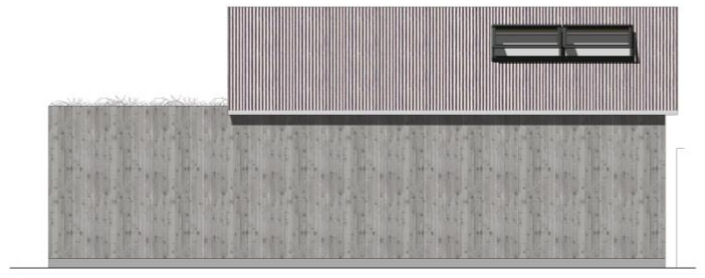
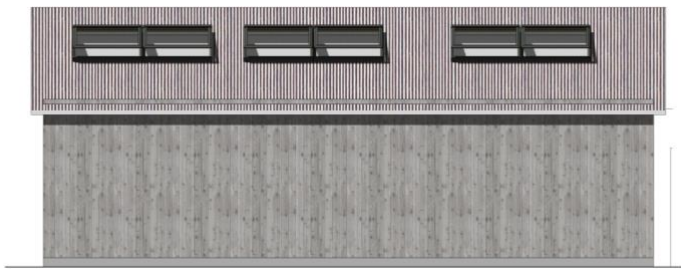


Fig. 05 (above left) The original proposal for the garden studio submitted at Pre-application

Fig. 06 (above right) The revised proposal responding to concerns raised.