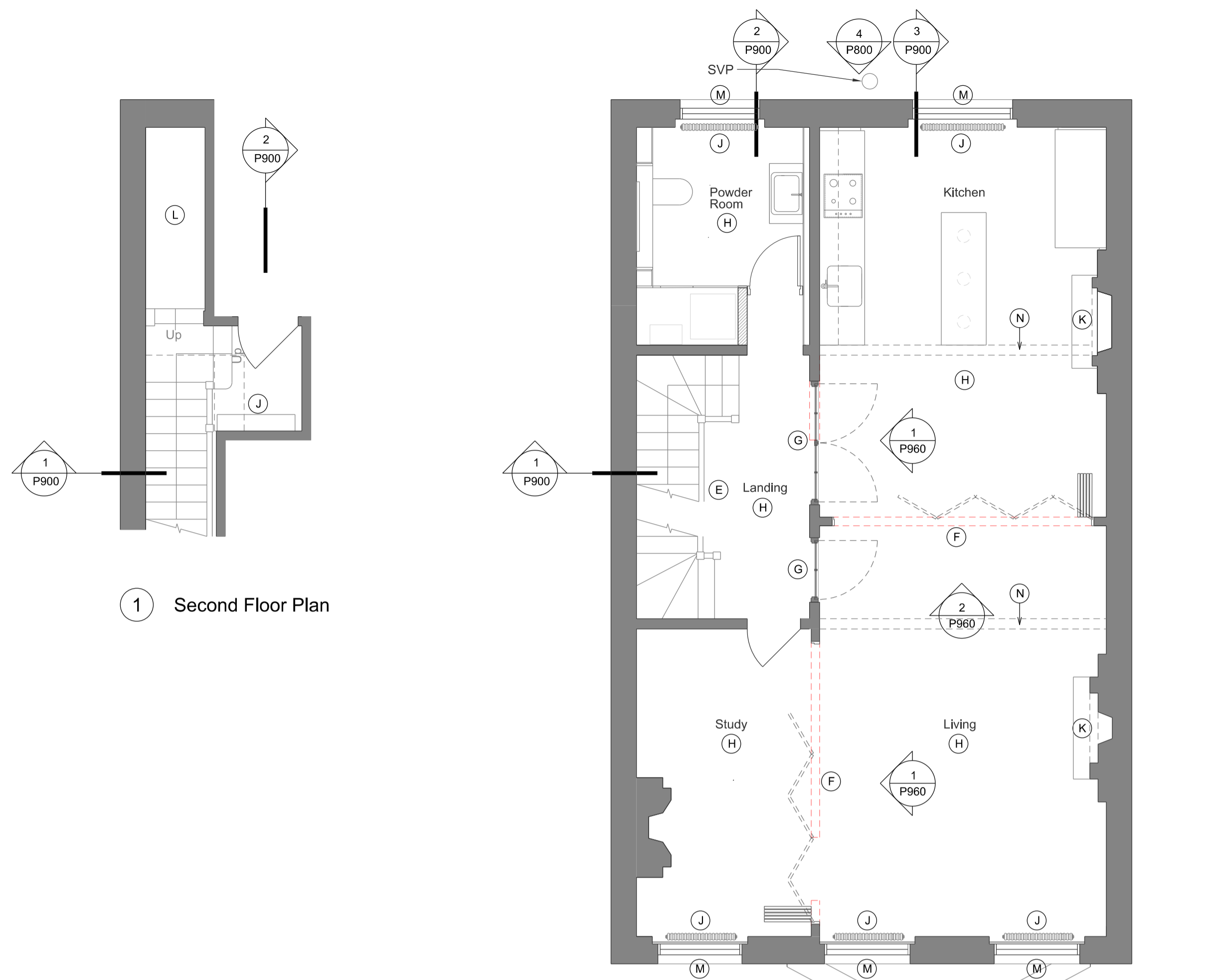
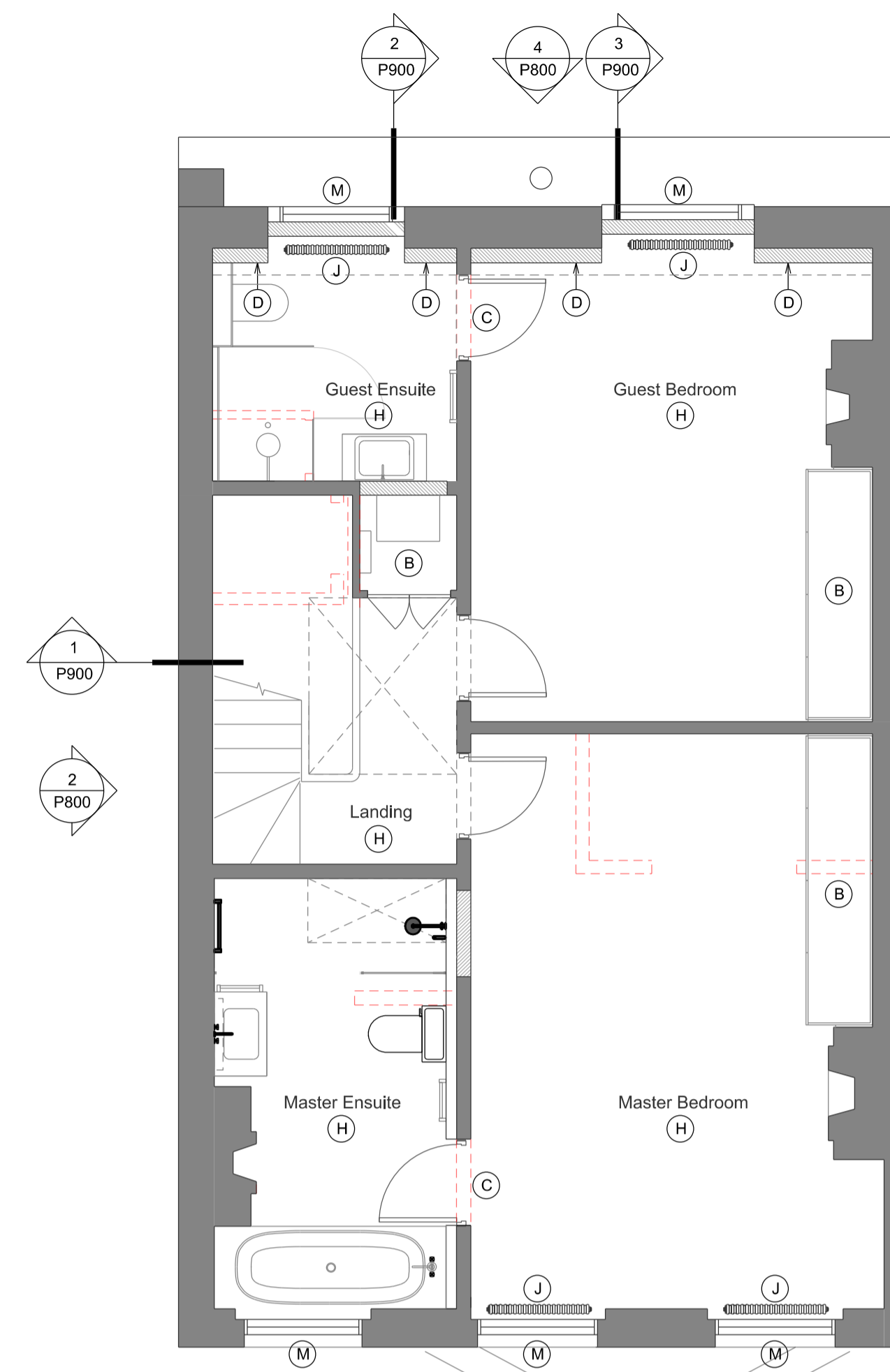


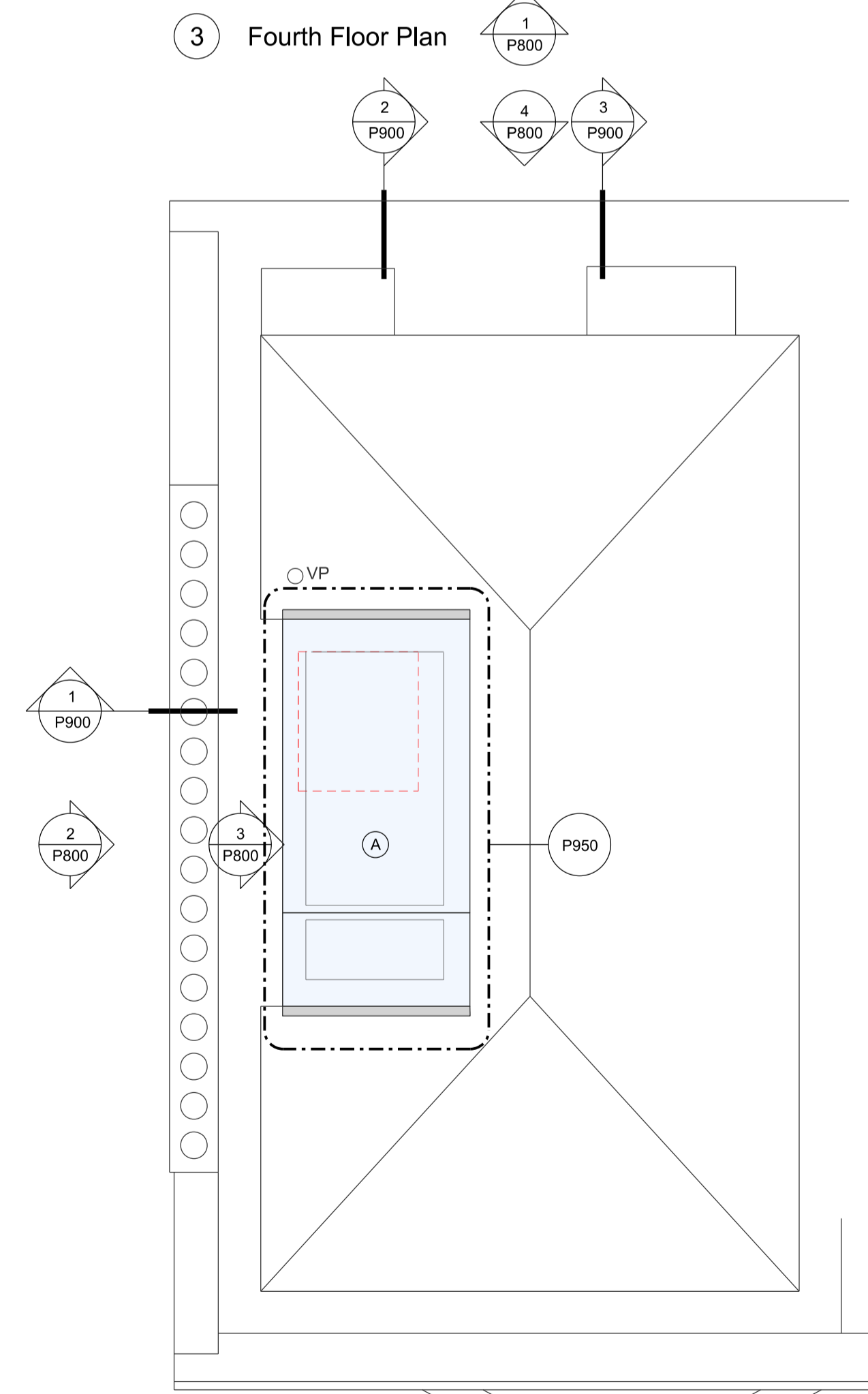
REVISIONS	BY	DATE	REV
Initial Planning Application	KN	19.10.20	-
Revised Planning Application	MB	26.02.21	A



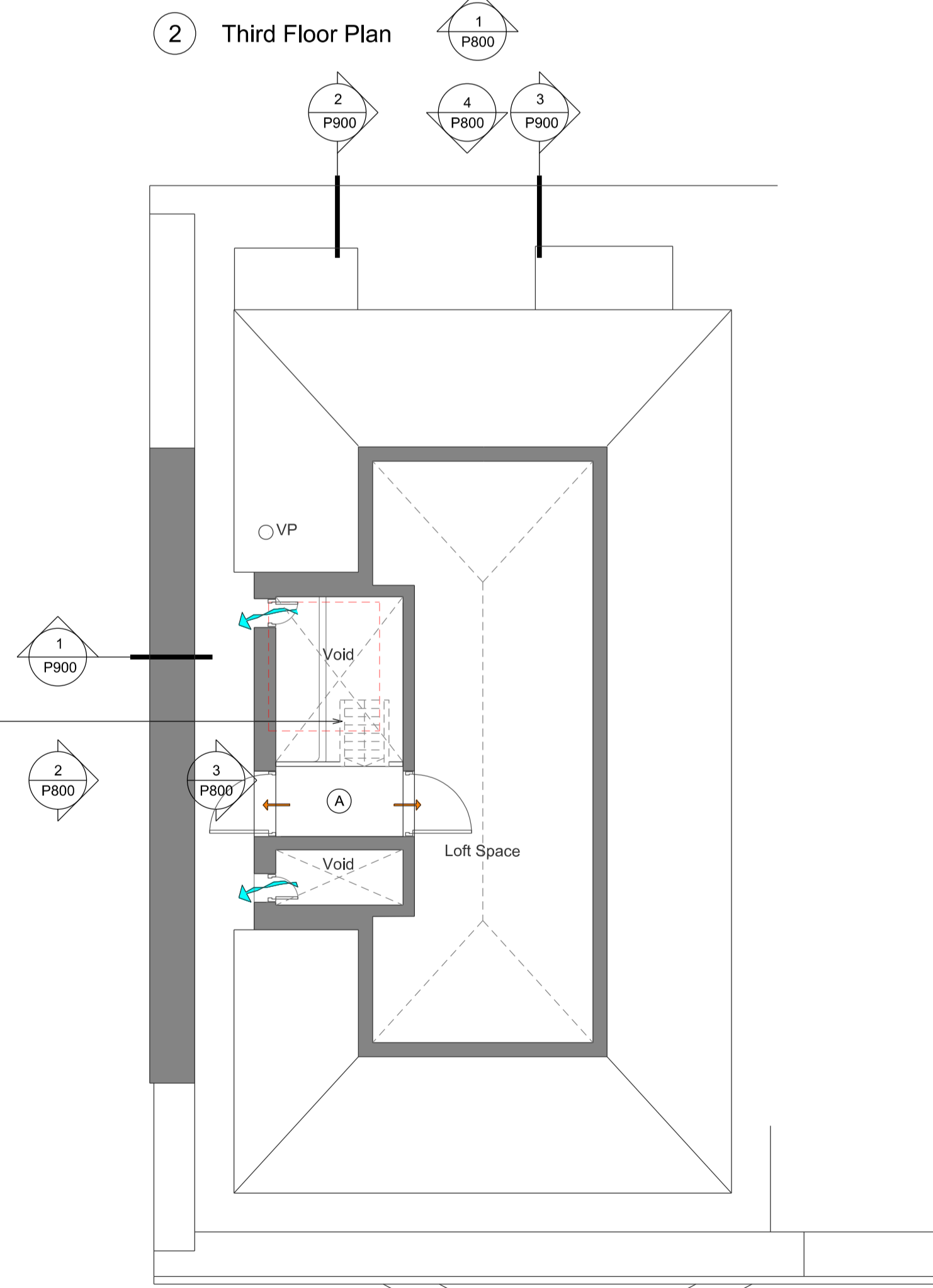
1 Second Floor Plan



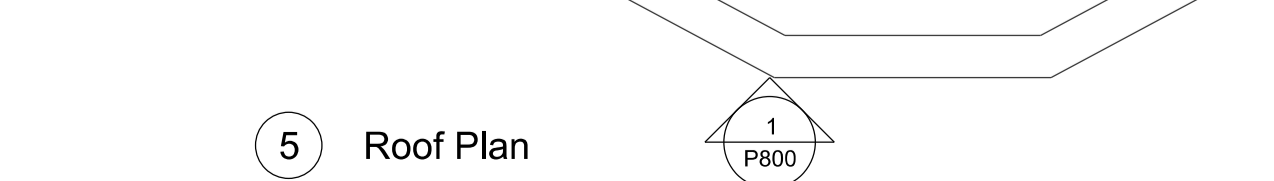
2 Third Floor Plan



3 Fourth Floor Plan



4 Roof Lantern and Loft Space Plan



5 Roof Plan

PROPOSED KEY

- (A) Replacement and upgrading of existing roof lantern to provide more natural light, safer access and better security.
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--- Existing elements proposed to be removed or partially removed.

General Notes: Electrics proposed to be replaced throughout. Kitchen and bathrooms proposed to be replaced. General interior redecoration proposed. Front door to apartment proposed to be refurbished with overpanel replaced with clear glass.

Planning drawings to be read along side the other submitted planning documentation including:

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- Design and Access Statement
- Heritage Impact Assessment

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Concertina ladder stored on roof access platform and manually pulled down to 4th floor landing level when access to the roof is required.



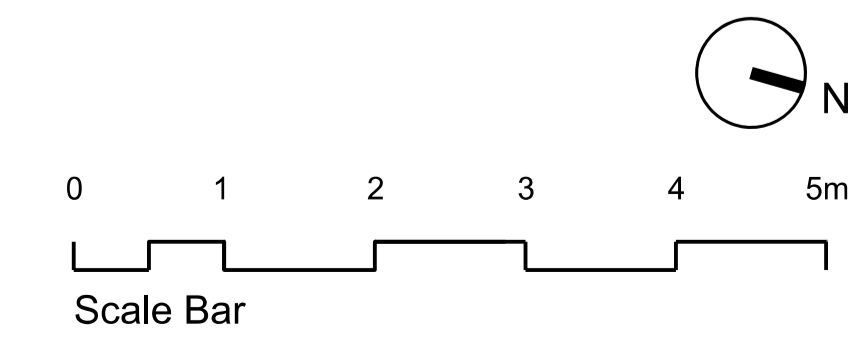
DESIGNER
 Beacham Architects
 Studio 13, The Gantry,
 Broadcast Centre, Here East,
 1 Waterden Road, London. E15 2HB
 +44 (0)7795 820508

PROJECT
 Flat 3, 40 Montagu Square,
 London. W1H 2LL

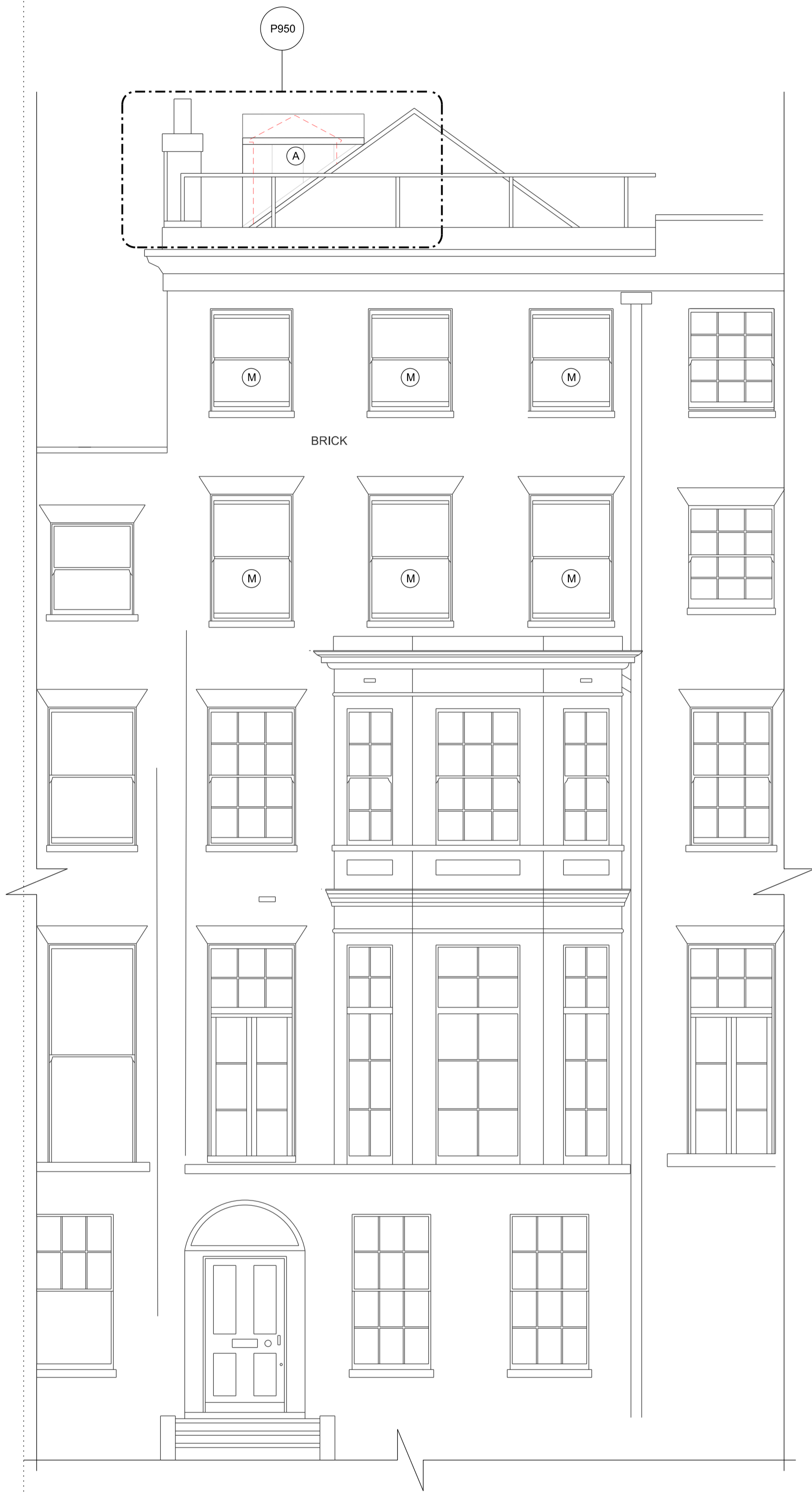
CLIENT
 Omar and Lynda Merican

DRAWING TITLE
 Proposed Plans

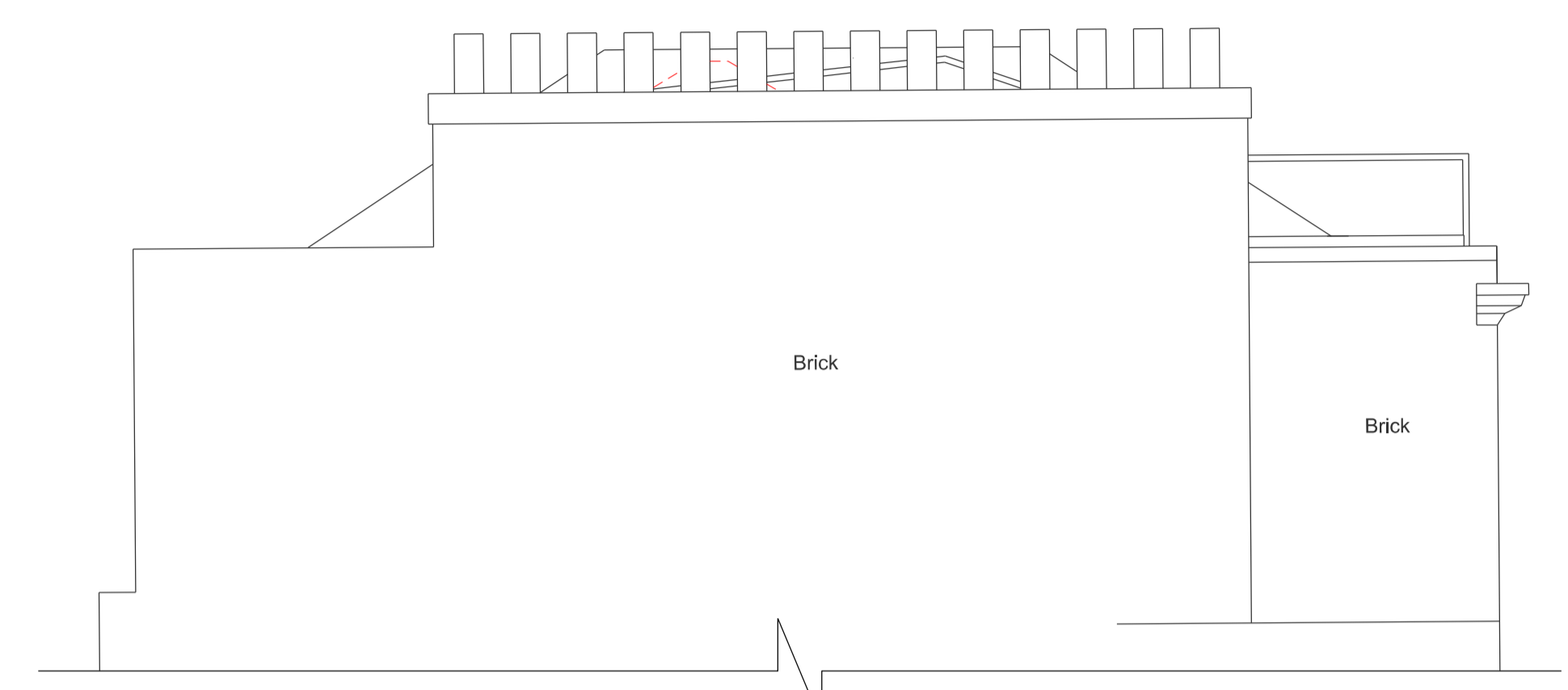
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PROJ. NO.	DWG NO.	REV	
40MS	P100	A	



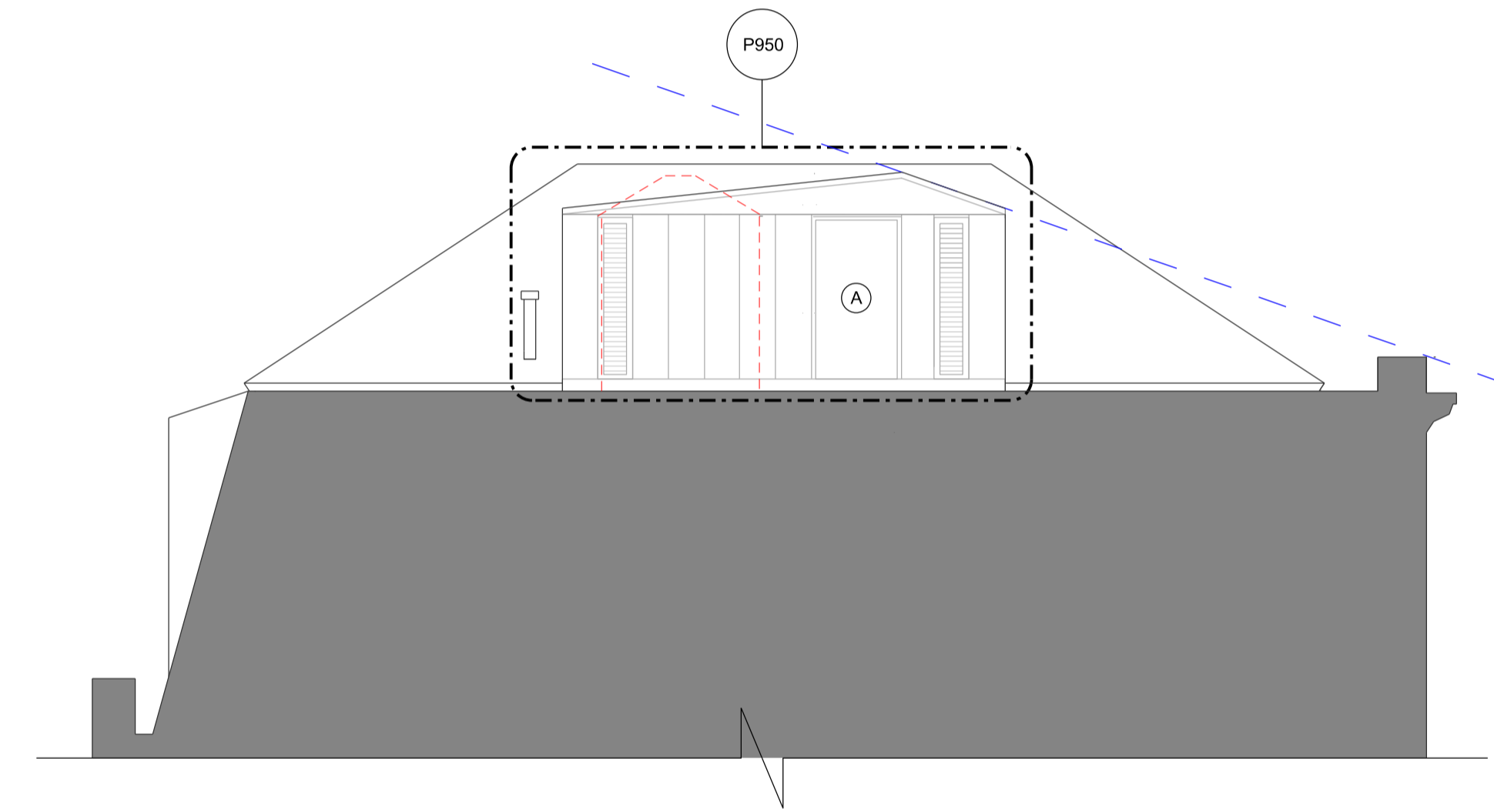
REVISIONS	BY	DATE	REV
Initial Planning Application	KN	19.10.20	-
Revised Planning Application	MB	26.02.21	A



1 Front Elevation



2 Side Elevation



3 Side Elevation Roof Lantern



4 Rear Elevation

PROPOSED KEY

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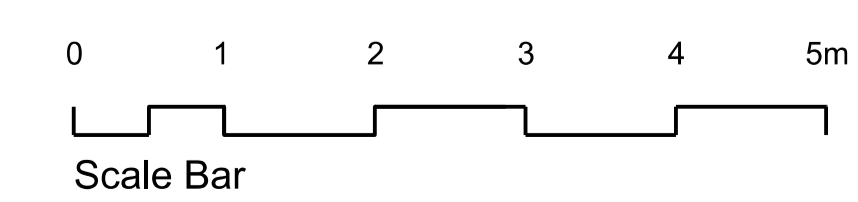
DESIGNER
 Beacham Architects
 Studio 13, The Gantry,
 Broadcast Centre, Here East,
 1 Waterden Road, London. E15 2HB
 +44 (0)7795 820508

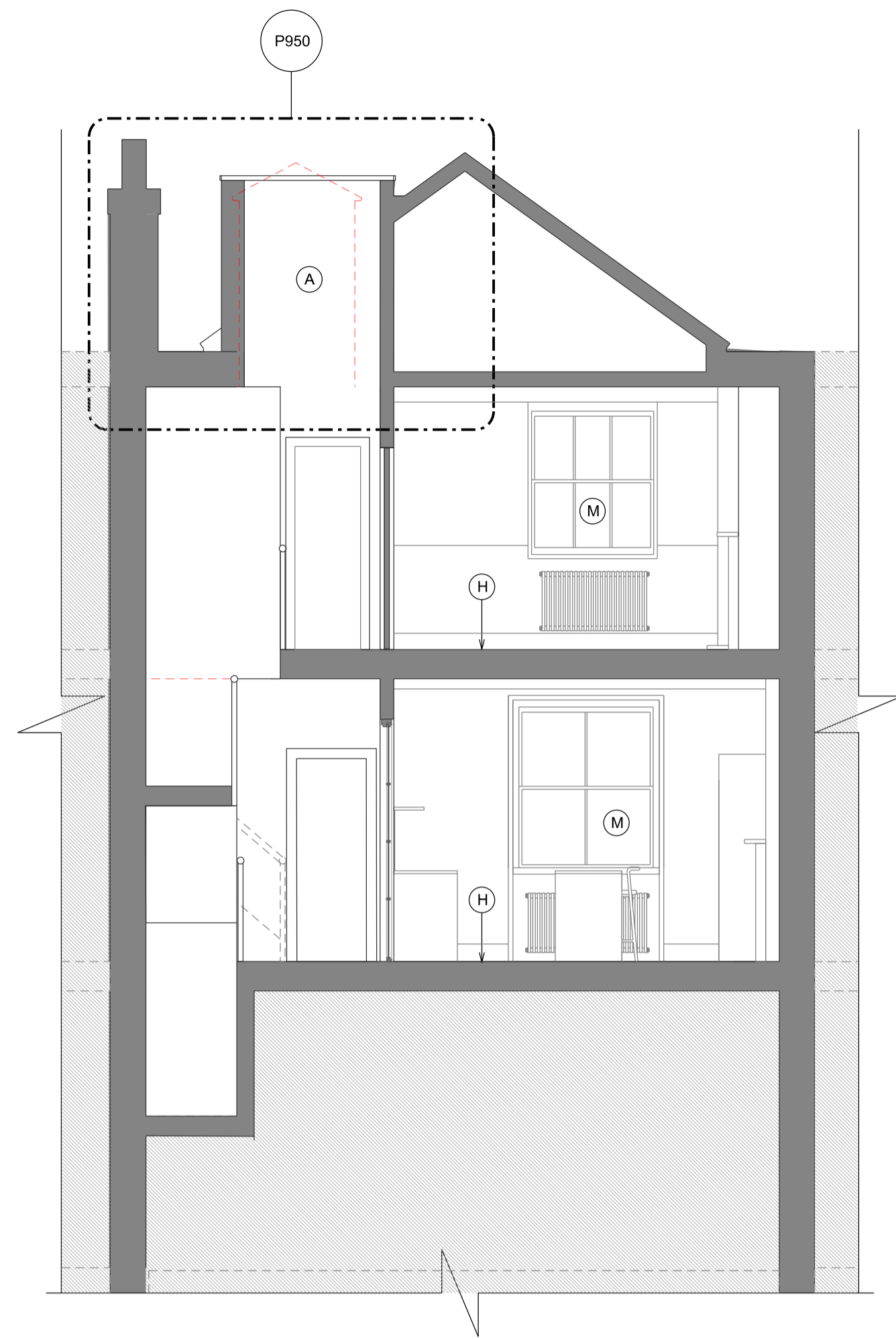
PROJECT
 Flat 3, 40 Montagu Square,
 London. W1H 2LL

CLIENT
 Omar and Lynda Merican

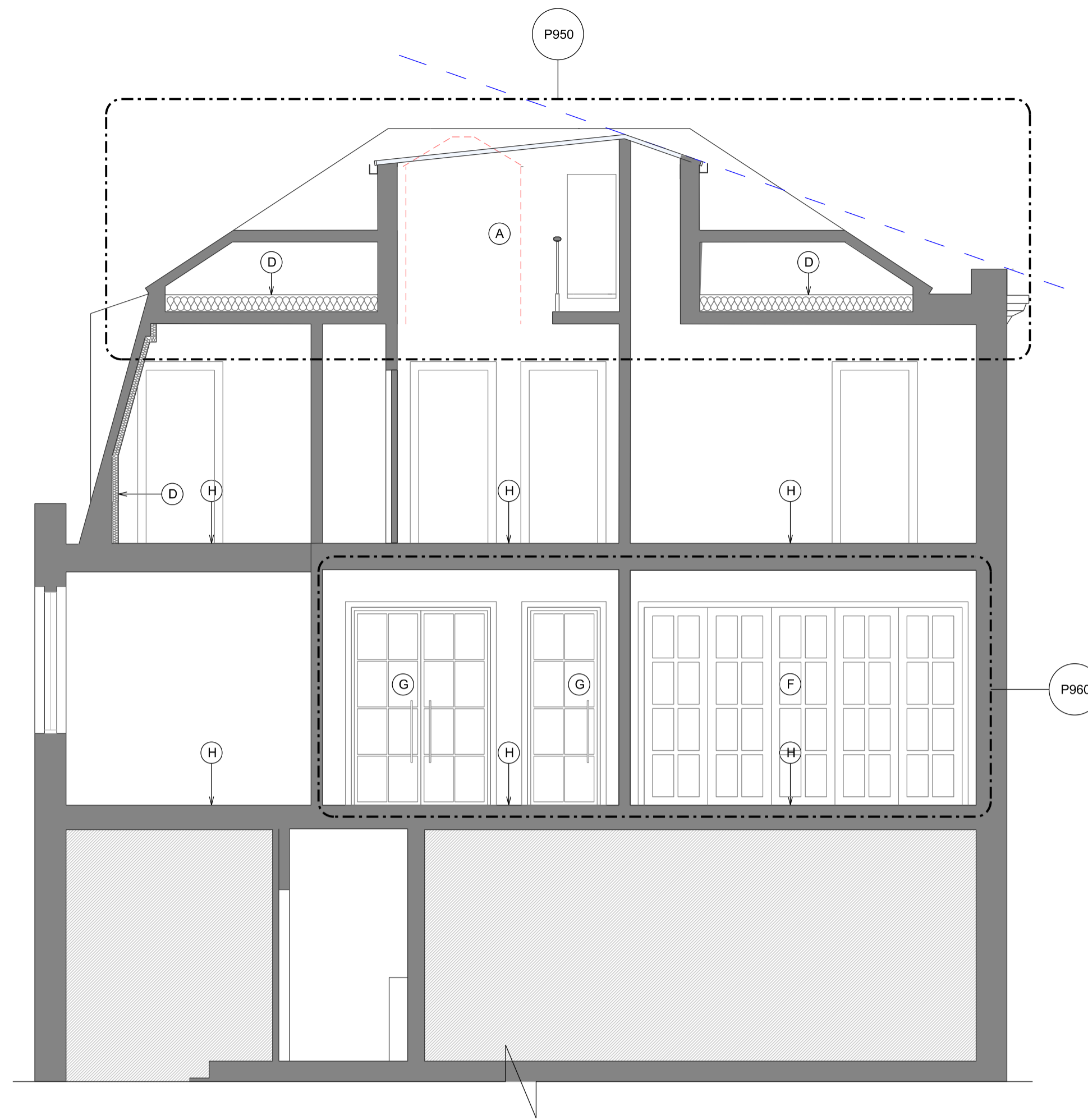
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 Proposed Elevations

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PROJ. NO.	DWG NO.	REV	
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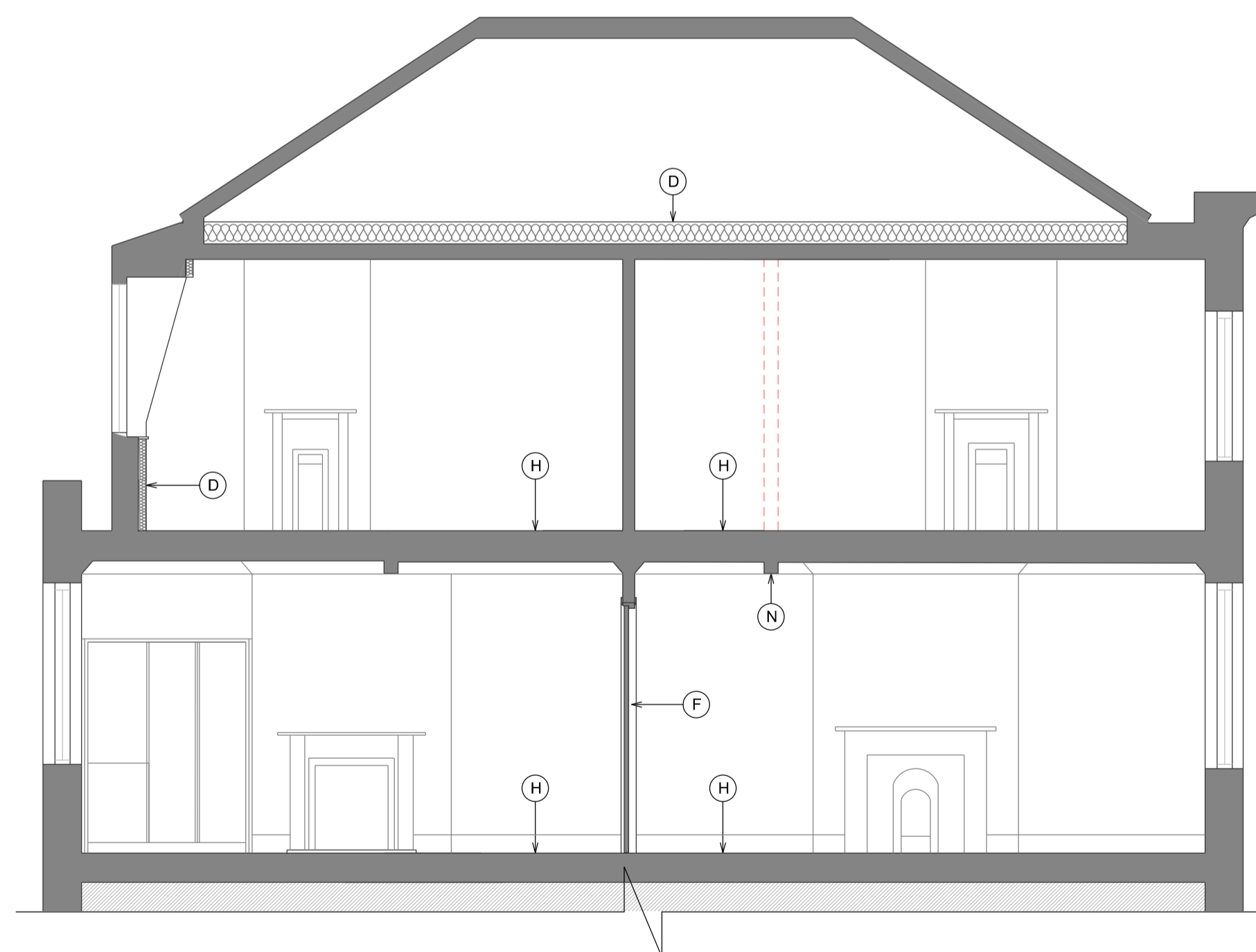




1 Short Section AA



2 Long Section BB - Through Roof Lantern



3 Long Section CC

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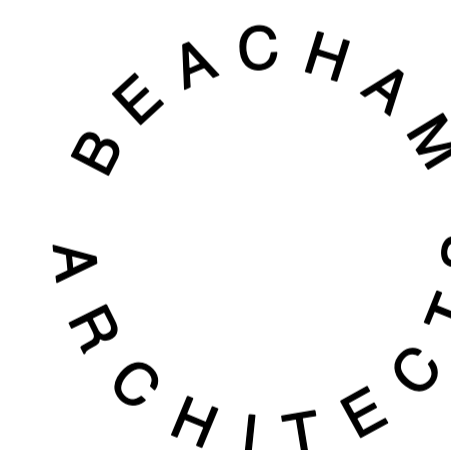
REVISIONS	BY	DATE	REV
Initial Planning Application	KN	19.10.20	-
Revised Planning Application	MB	26.02.21	A

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Beacham Architects
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Broadcast Centre, Here East.
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PROJECT

Flat 3, 40 Montagu Square,
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CLIENT

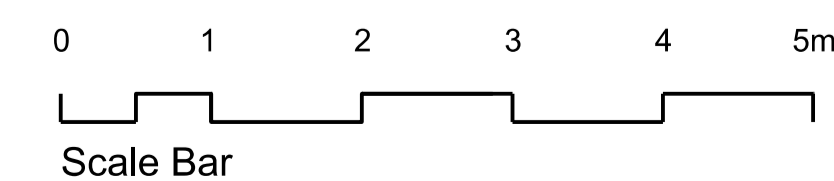
Omar and Lynda Merican

DRAWING TITLE

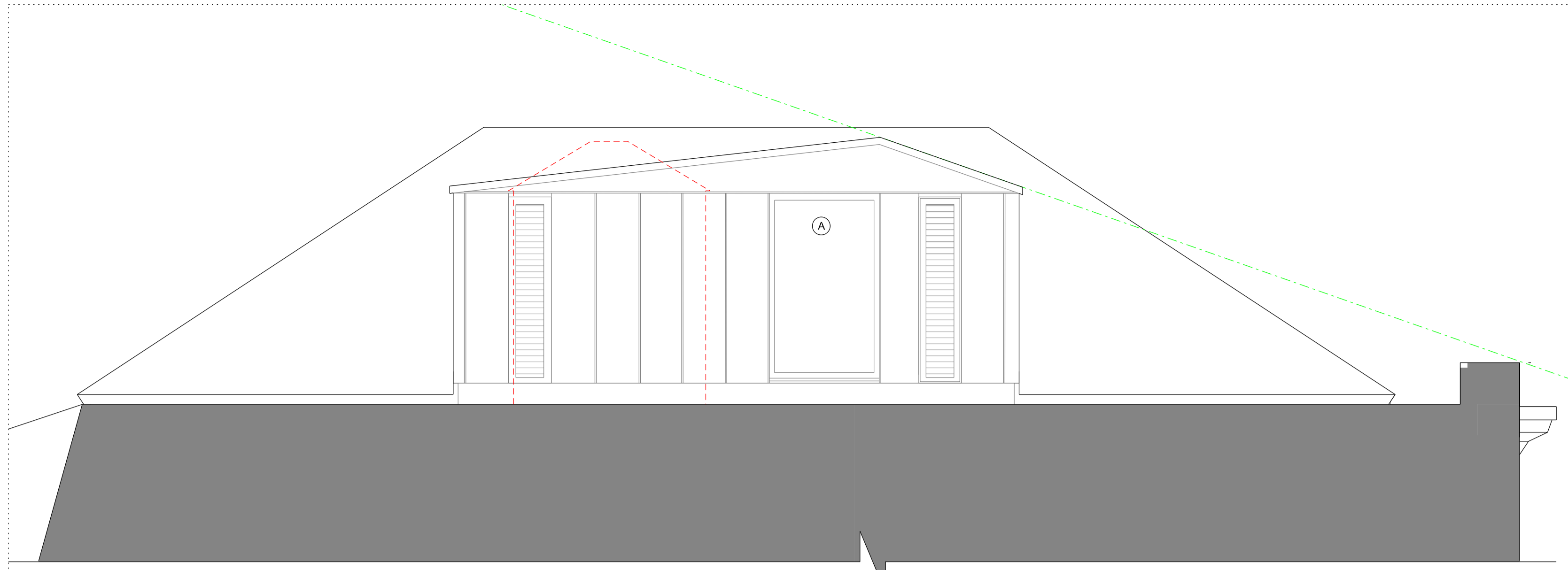
Proposed Sections

Planning Application

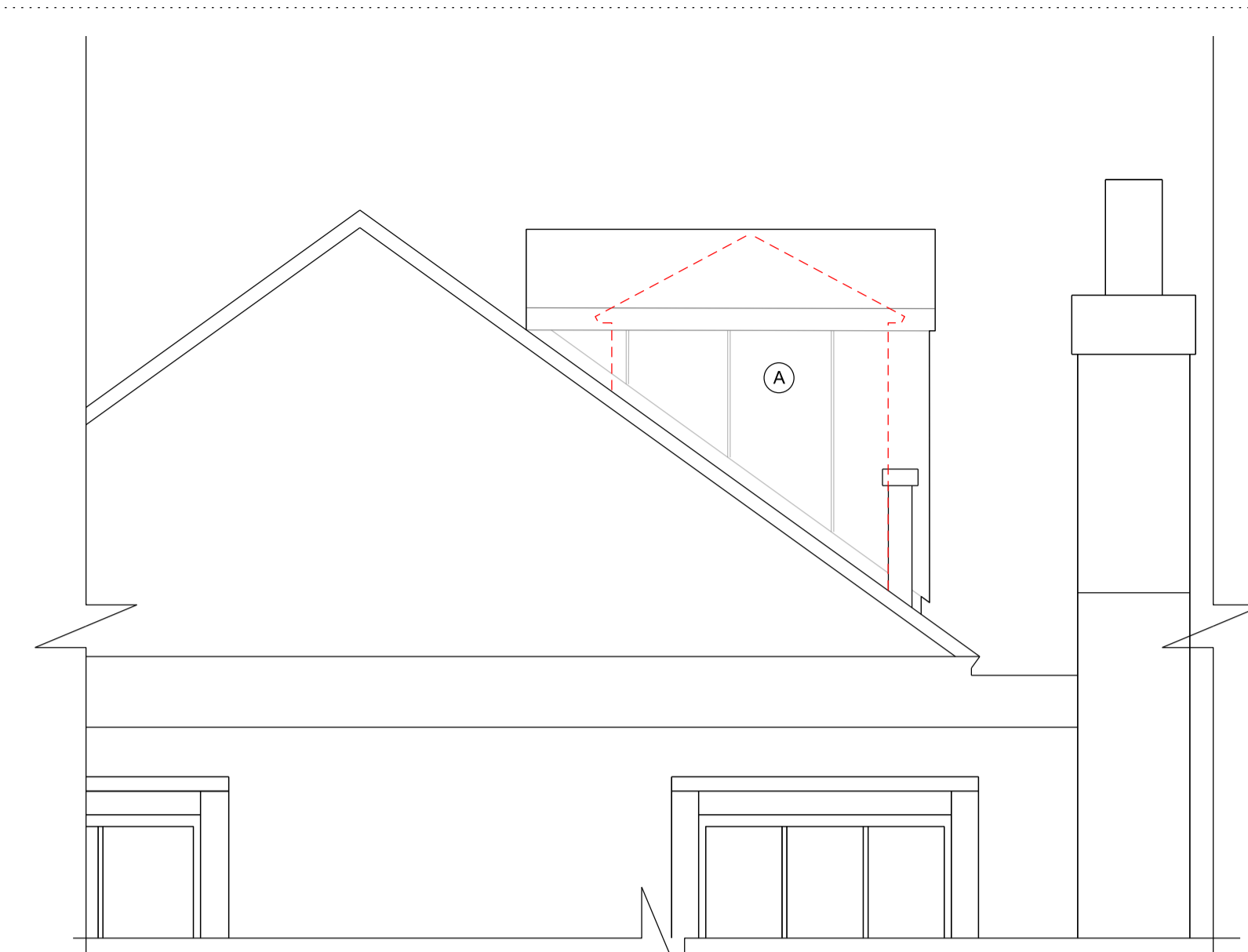
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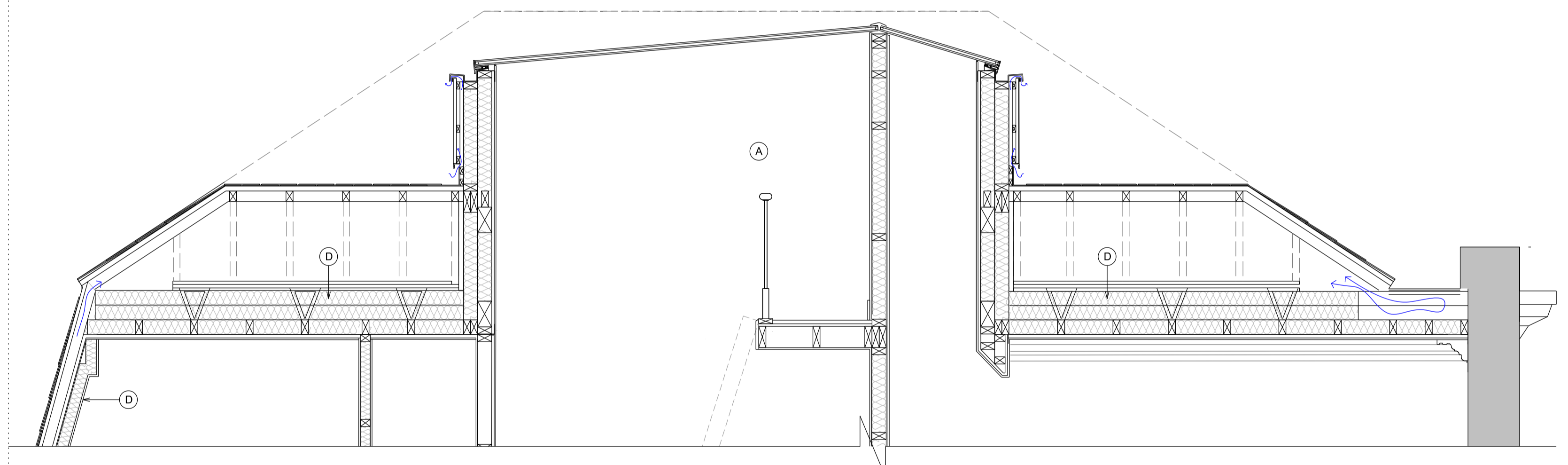
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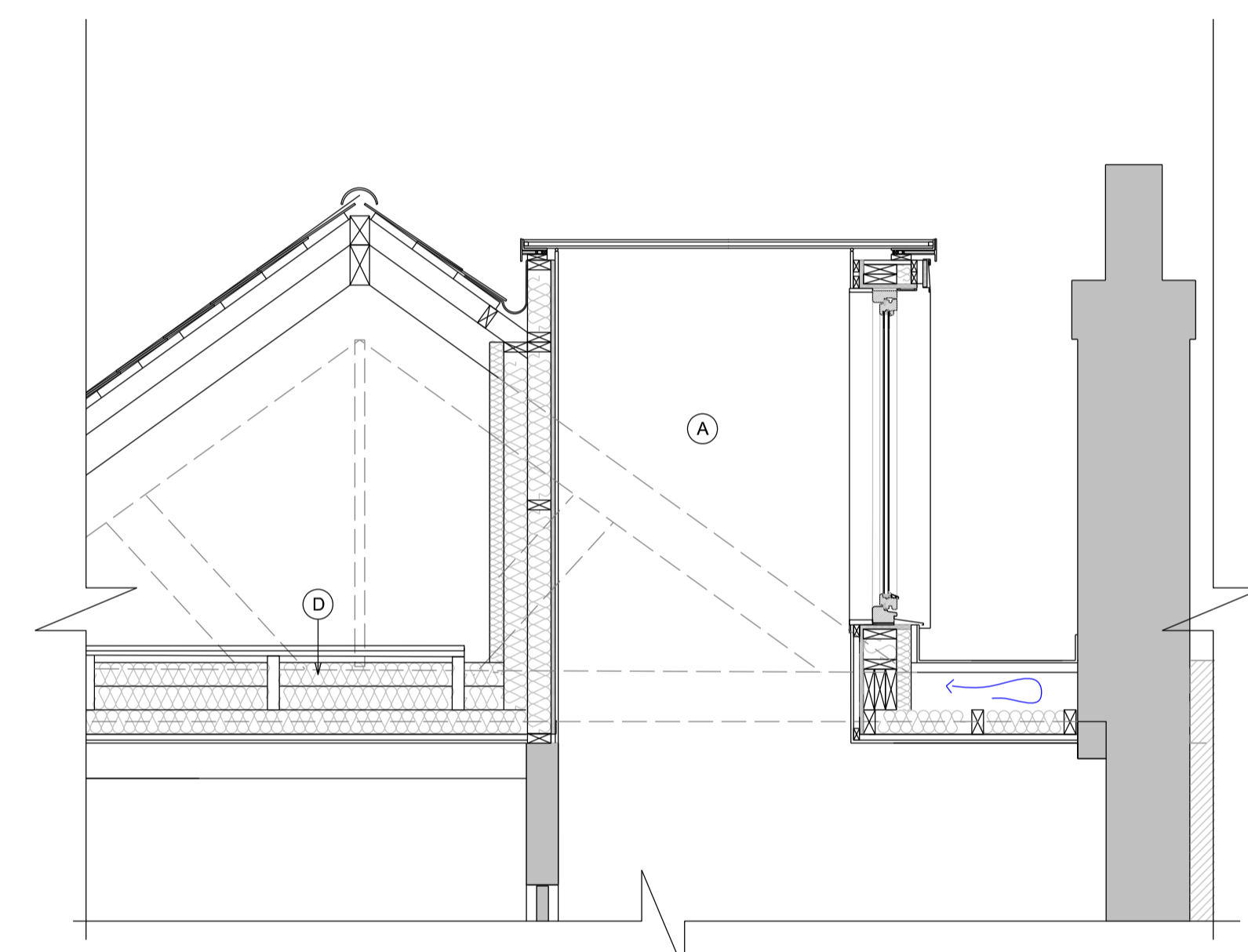
1 Roof Lantern - South Elevation Detail



2 Roof Lantern - West Elevation Detail



3 Roof Lantern - Long Section Detail



4 Roof Lantern - Long Section Detail

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1 Waterden Road, London. E15 2HB
+44 (0)7795 820508

PROJECT

Flat 3, 40 Montagu Square,
London. W1H 2LL

CLIENT

Omar and Lynda Merican

DRAWING TITLE

Proposed Replacement Roof Lantern
Details

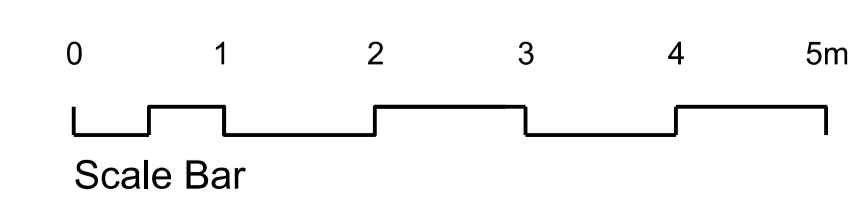
Planning Application

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PROJ. NO.	DWG NO.	REV	
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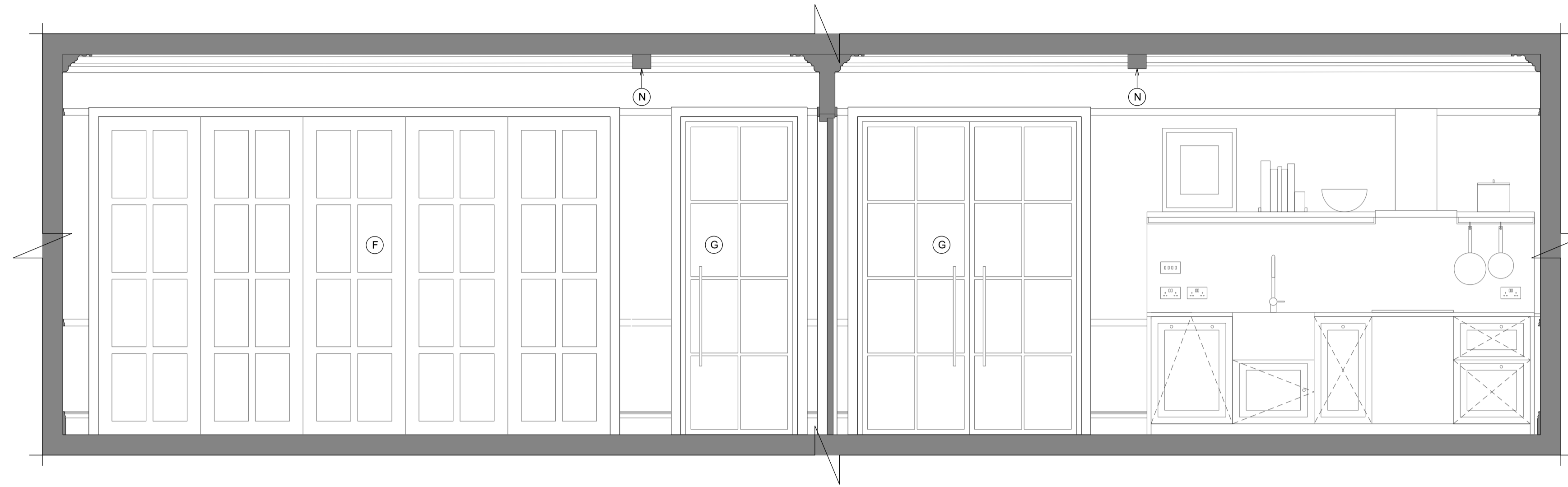
PROPOSED KEY

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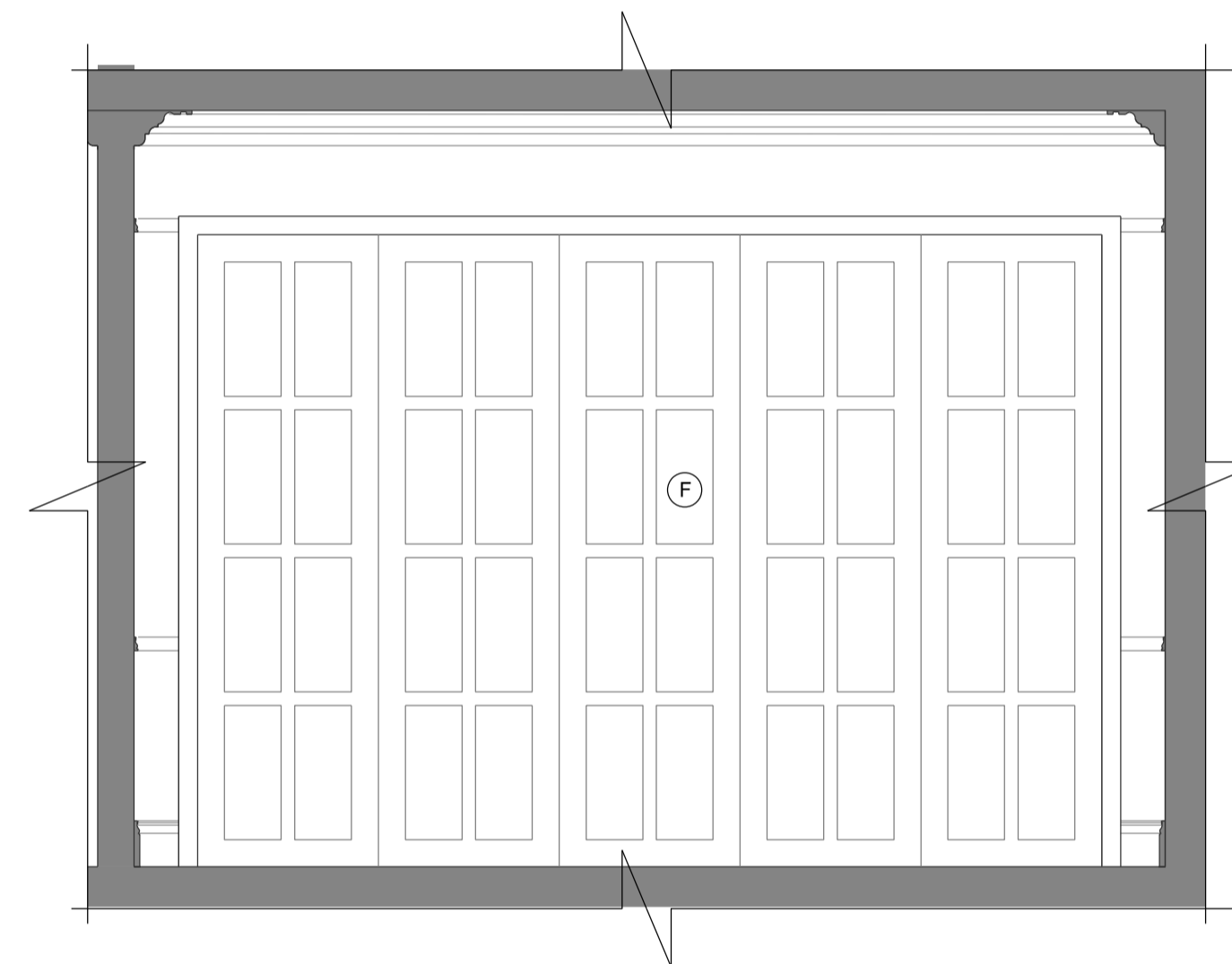
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1 Internal Elevation - Living and Kitchen Space
Shows proposed internal timber shutter room dividers, glazed internal crittall doors and proposed kitchen.



2 Internal Elevation - Living Space
Shows proposed internal timber shutter room dividers

PROPOSED KEY

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Studio 13, The Gantry,
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+44 (0)7795 820508

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London. W1H 2LL

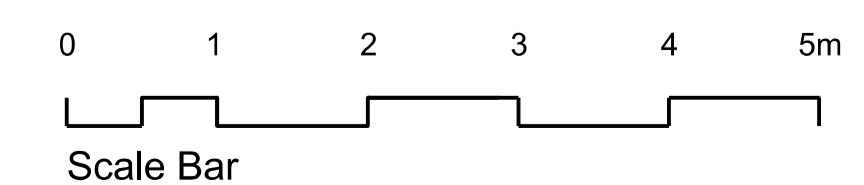
CLIENT

Omar and Lynda Merican

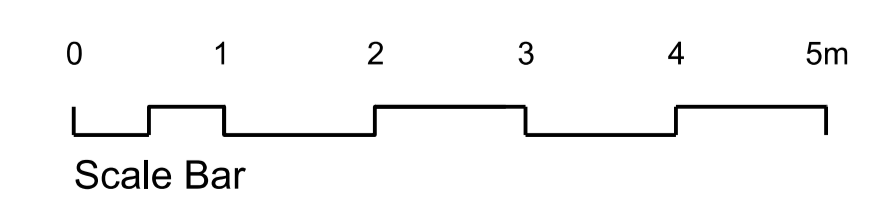
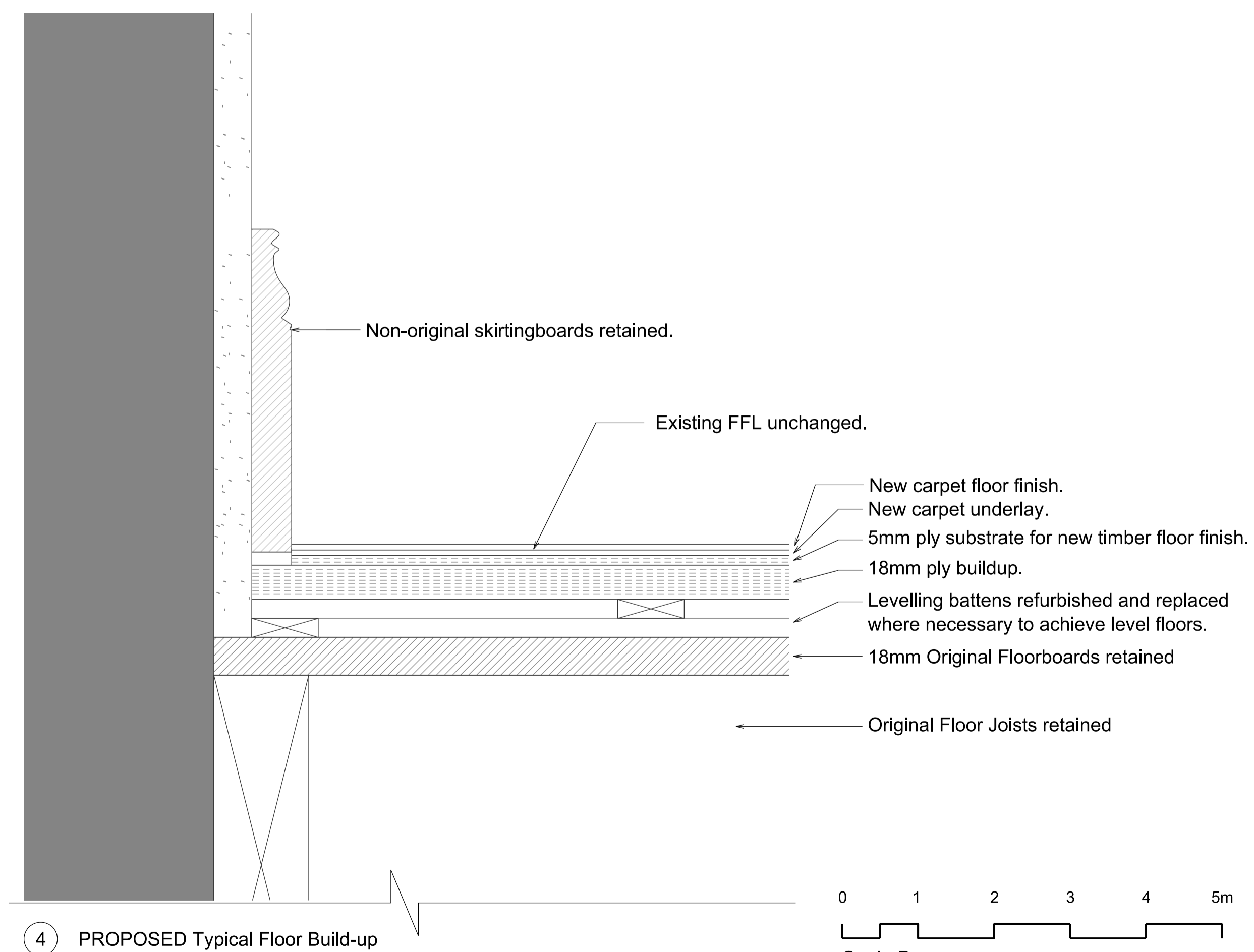
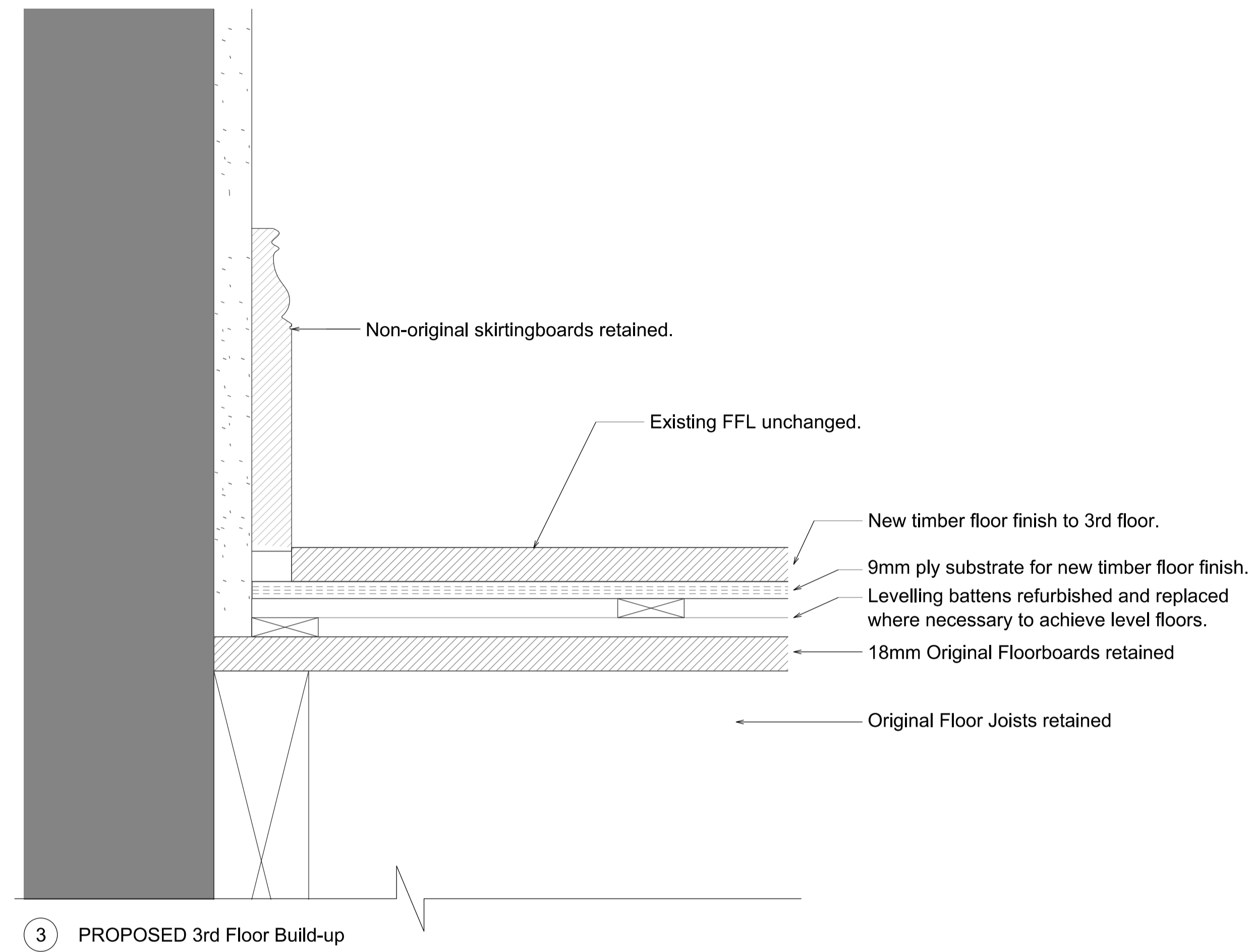
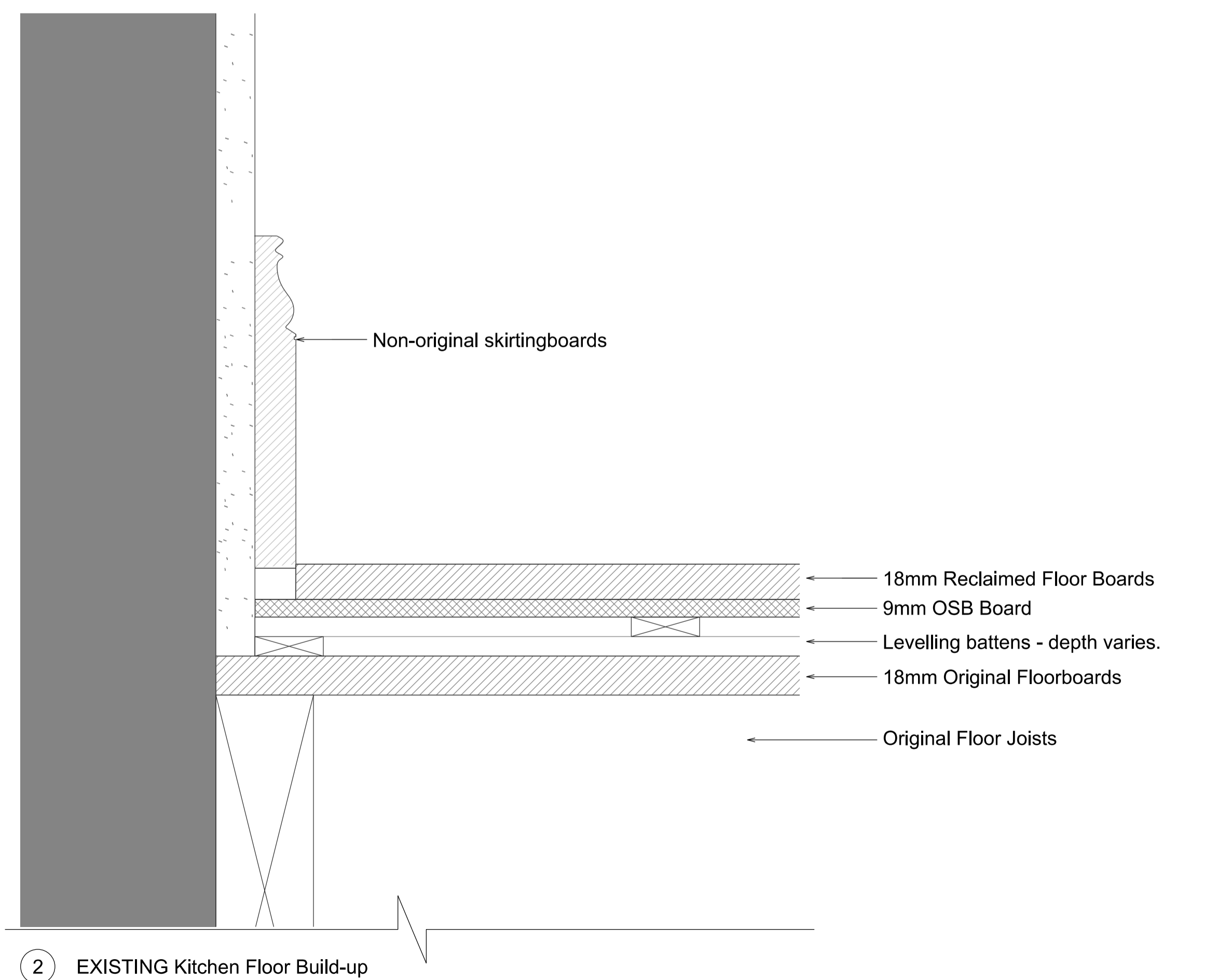
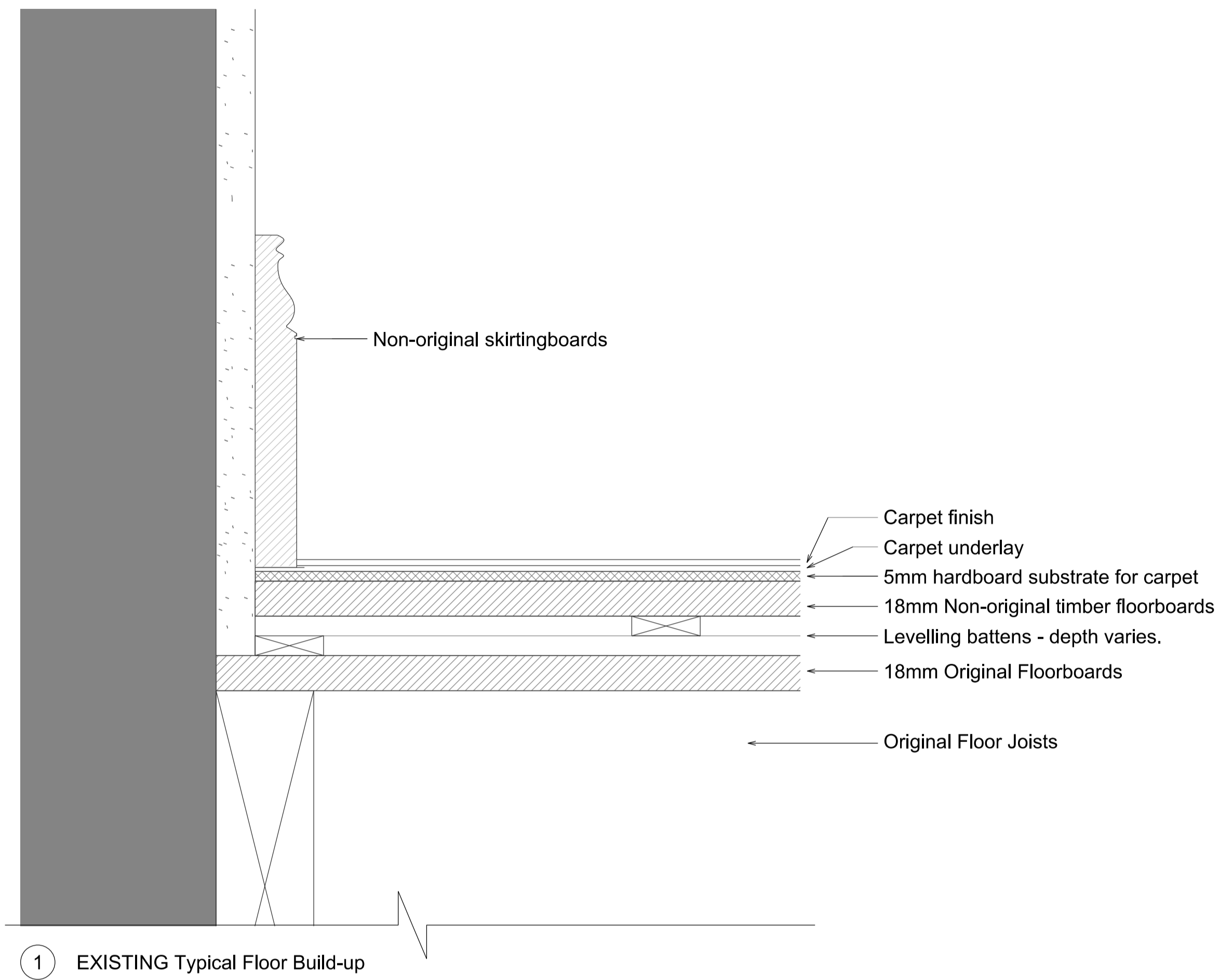
DRAWING TITLE

Proposed Internal Elevations
To show proposed interior timber shutter
room dividers and glazed crittall doors.
Planning Application

SCALE A1	SCALE A3	DRAWN	DATE
1:50	MB		
PROJ. NO.	DWG NO.	REV	
40MS	P960	A	



REVISIONS	BY	DATE	REV
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Beacham Architects
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Broadcast Centre, Here East,
1 Waterden Road, London. E15 2HB
+44 (0)7795 820508

PROJECT

Flat 3, 40 Montagu Square,
London. W1H 2LL

CLIENT

Omar and Lynda Merican

DRAWING TITLE

Existing and Proposed
Typical Floor Build-ups

Planning Application

SCALE A1	SCALE A3	DRAWN	DATE
1:2		MB	23.02.21
PROJ. NO.	DWG NO.	REV	
40MS	PL970	A	