

# APARTMENT 3, 40 MONTAGU SQUARE, LONDON, W1H 2LL

## DESIGN AND ACCESS STATEMENT

### CONTENTS:

Introduction and Policy Context\_ 02

Use/ Amount/ Scale/ Access/ Appearance\_ 03

Layout\_ 04-05

Summary and Conclusion\_06

Appendix A - Proposed Replacement Roof Lantern Design Development\_07-08

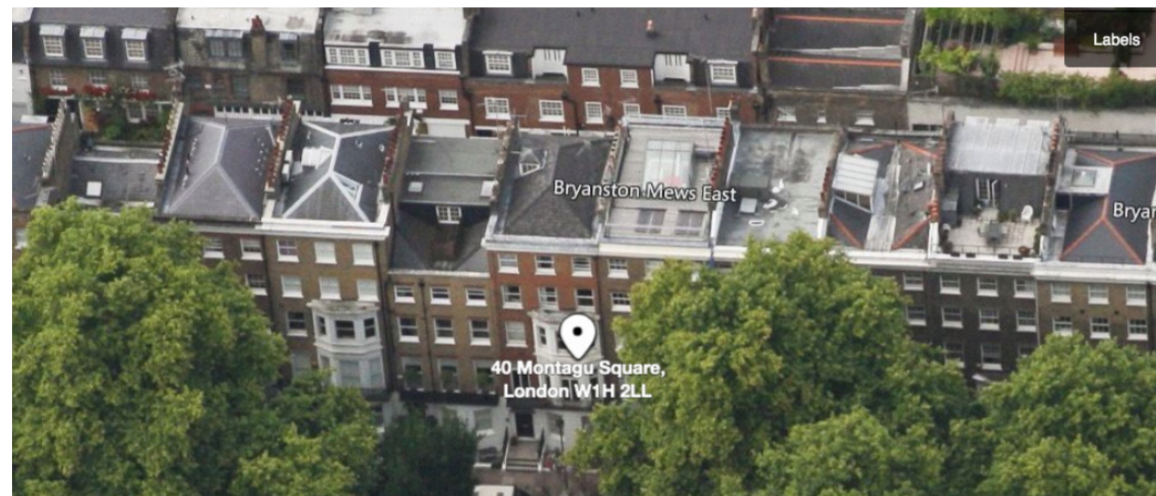


# 40 Montagu Square

## DESIGN AND ACCESS STATEMENT



**Image 1\_** Birds-eye view of 40 Montagu Square, showing the back facade and mansard roof.



**Image 2\_** Birds-eye view of 40 Montagu Square, showing the Grade II listed front facade, roof and roof lantern.



**Image 3\_** Street view of 40 Montagu Square, showing the Grade II listed front facade.

### 1.0\_INTRODUCTION

This Design and Access Statement relates to works proposed to Flat 3, 40 Montague Square, London, W1H 2LL. It accompanies a householder planning application and Listed Building Consent application and should be read in conjunction with the accompanying drawings, Planning Statement and Heritage Impact Assessment.

The flat occupies the top two floors of a five storey (plus basement) Grade II listed Georgian residential property. More information about the historical significance of the property can be found in the Heritage Impact Assessment.

At present the interior of the apartment appears tired and dated and the layout is not conducive to contemporary living. Meanwhile the building fabric, in particular the windows and roof lantern are worn and in need of upgrading. The flat is not efficient to heat and it suffers from considerable overheating in the summer months. Our proposals are intended to address this to the best extent possible, without compromising the significant heritage aspects of the architecture.

The design proposals are intended to create an apartment that is well adapted to contemporary living, comfortable and reflective of an appreciation of the original Georgian Architecture. Proposals include some internal remodeling and refurbishment, plus refurbishment of existing windows and a replacement roof lantern. Details of specific interventions that relate to the historic fabric can be found in the Heritage Impact Assessment.

### 2.0\_ POLICY CONTEXT

The following policies are relevant to this application and have been consulted as part of the design process:

- The National Planning Policy Framework, March 2012 (NPPF)
- The Planning (Listed Buildings and Conservation Areas) Act 1990
- Publications by English Heritage
- Westminster's Development Plan (2016)
- The Portman Estate Conservation Area General Information Leaflet



# 40 Montagu Square

## DESIGN AND ACCESS STATEMENT

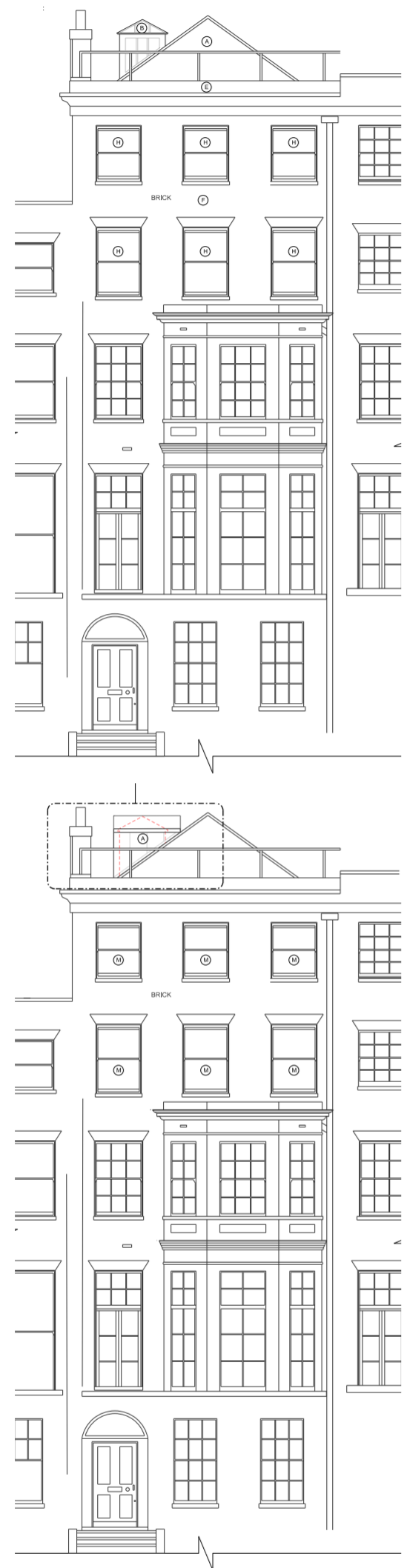


Image 1\_ Existing and proposed front elevation

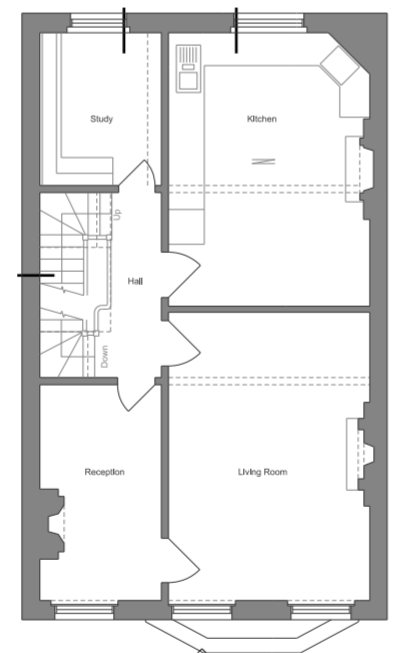
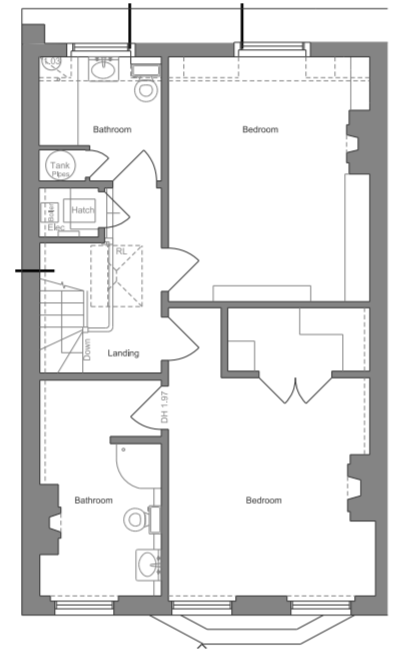
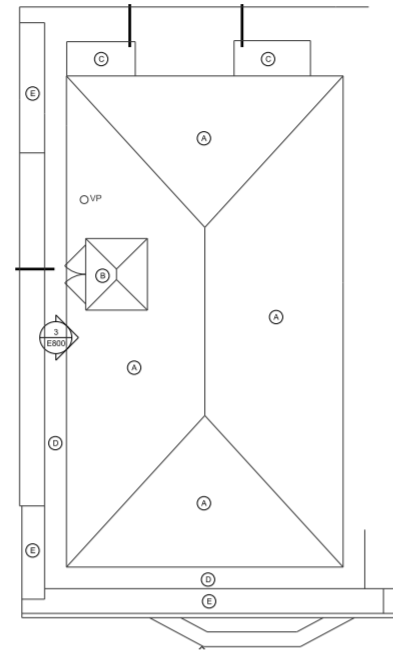


Image 2\_ Existing plans

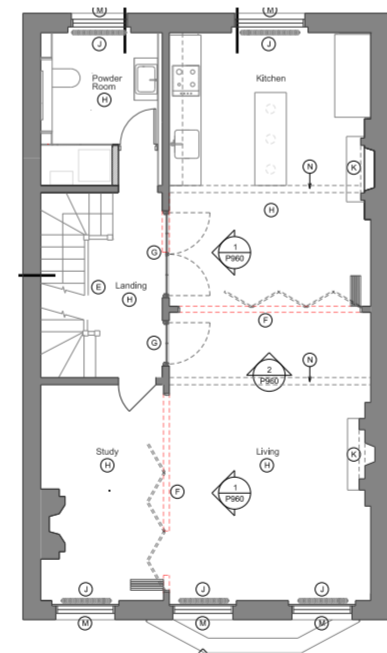
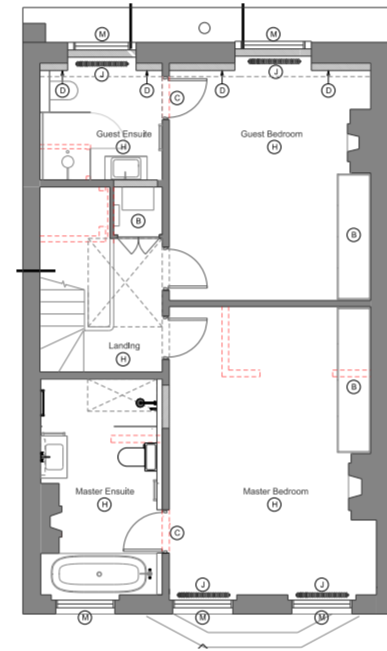
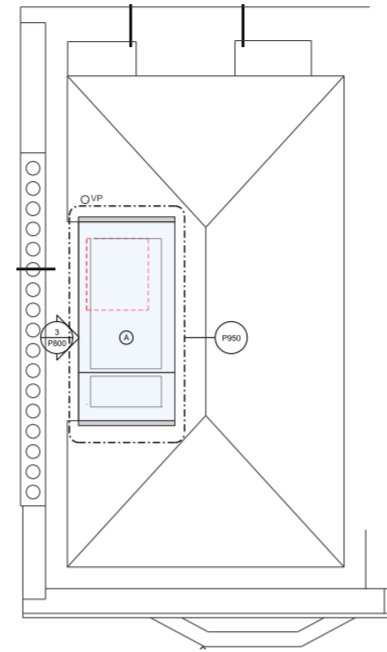


Image 3\_ Proposed plans

### 3.0\_ USE

The proposals are for the refurbishment of the existing dwelling (use class C3).

### 4.0\_ AMOUNT

The floor space would remain as existing. No additional floor space is proposed.

### 5.0\_ SCALE

The scale of the building would not be altered.

### 6.0\_ ACCESS

Access to the property would remain through the main entrance located on Montagu Square and via the staircase. There is a private access door on the 2nd floor landing.

### 7.0\_ APPEARANCE

The proposals would not impact the appearance of the building, other than the replacement roof lantern that would not be visible from Montagu Square.

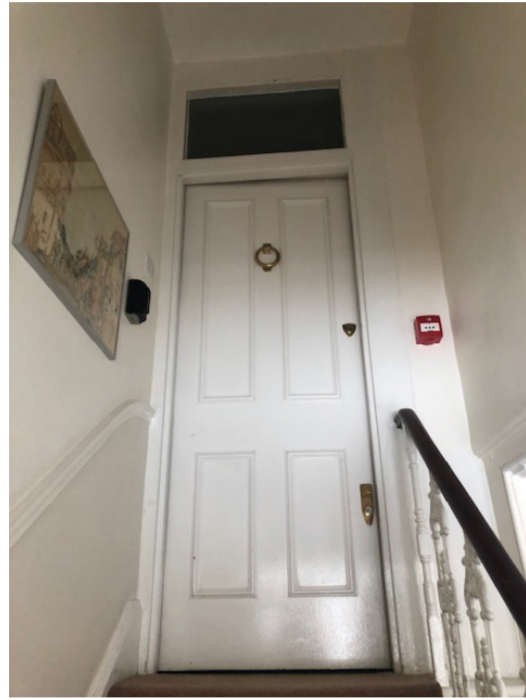
As described in more detail in the Heritage Impact Assessment the roof lantern would not be visible from Montagu Square or from Bryanston Mews East, although it would be visible from the upper storeys of some of the surrounding buildings, as is the case with the other roof-top additions along the terrace. It would be modest in scale and neatly detailed using lead cheeks, so as to appear appropriate to its setting.

For full drawings please refer to those submitted - existing drawings (E100-E900) and proposed drawings (P100-P970)



# 40 Montagu Square

## DESIGN AND ACCESS STATEMENT



**Image 1\_** The front door to the apartment which is proposed to be refurbished and redecorated and the top light replaced with clear glass.



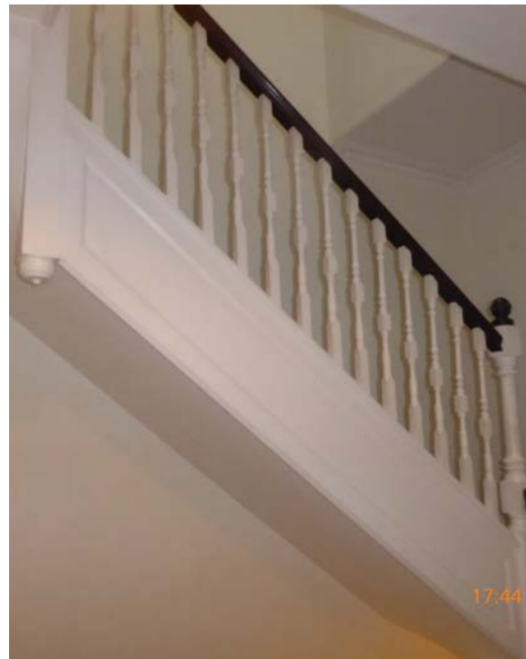
**Image 2\_** The entrance lobby; The stair balustrade is proposed to be retained and refurbished generally.



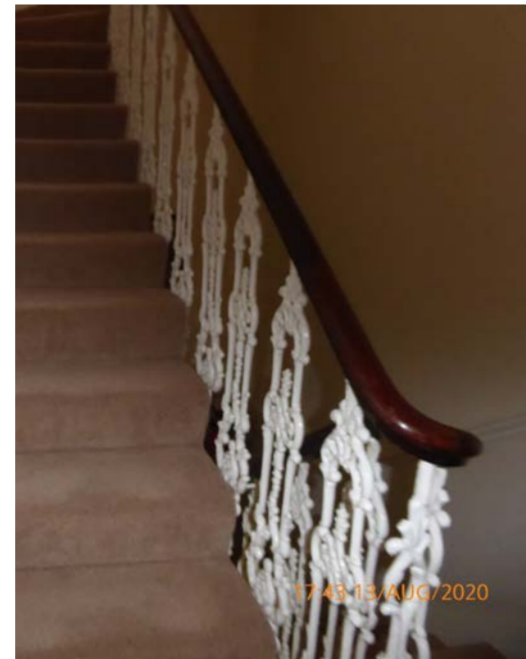
**Image 3\_** Stairway to the 3rd floor; The stair balustrade and handrail are proposed to be retained and refurbished generally.



**Image 4\_** The 3rd floor landing; The stair balustrade and handrail are proposed to be reconfigured to remove the kink in the hand rail and increase the width of the landing.



**Image 5\_** Stairway to the 4th floor; The stair balustrade and handrail are proposed to be retained and refurbished generally.



**Image 6\_** The balustrades and handrails of the original Georgian staircase in the first floor communal area.

### 8.0\_ LAYOUT

An overview of the proposed changes to the layout of the accommodation and justifications for these are provided here. Meanwhile, specific details of works proposed to the fabric of the building can be found in the Heritage Impact Assessment and Drawings.

As can be seen from the plan drawings, the existing accommodation is set across the top two floors of the building, with the living accommodation located on the 3rd floor and the bedrooms located on the 4th floor. This general arrangement would be maintained but with some modifications to the room layouts on each floor, to facilitate an arrangement that is better suited to the home-owners requirements.

The proposed modifications to the layout include:

- The front door is proposed to be refurbished and redecorated with a replacement top light in clear glass.
- The existing space on 2nd floor currently covered behind a plaster wall is proposed to be opened up for coat storage.
- On the 3rd floor landing, handrail and balustrade to remove the kink in the handrail and increase the width of the landing.
- Existing handrails and balustrades are proposed to be retained and refurbished generally.
- Retractable timber shutters are proposed to the two new openings formed in the internal partitions at 3rd floor level. Further details in the drawings. The first opening is between front and back rooms and the 2nd opening is between the front living room and the smaller narrower room at the front. Also refer the the Heritage Impact Assessment for further details.
- The kitchen would be upgraded and the layout of the units would be simplified, with the inclusion of elegant base units and a narrow island, which would be centred on the feature window. This arrangement would enable the kitchen window casement to be restored to its full height.
- Existing gas fires to kitchen and living room are proposed to be retained and commissioned. Chimney breasts, fireplace surrounds and hearths are proposed to be retained throughout.
- Glazed internal doors are proposed between the landing and the two main rooms at 3rd floor level. Further details in the drawings.



# 40 Montagu Square

## DESIGN AND ACCESS STATEMENT



**Image 1\_** The current living room.



**Image 2\_** The current living room; The existing hearth would remain and provide a centrepiece.



**Image 3\_** The current kitchen which would be replaced with a more simple, elegant kitchen. The full-height window casing would be restored.



**Image 4\_** The existing study space, which is proposed to be converted to a guest WC and powder room.



**Image 5\_** The existing ensuite bathroom that is proposed to be refurbished with the door relocated.



**Image 6\_** The Master Bedroom that is proposed to be rearranged and refurbished. The fireplace would be retained and refurbished.



**Image 7\_** The Guest Ensuite that is proposed to be refurbished with the door relocated.



**Image 8\_** The Guest Bedroom that is proposed to be refurbished. The fireplace would be retained and refurbished.

- Radiators are proposed to be replaced.
- On 4th floor the doors to the ensuite bathrooms are proposed to be moved and the fitted wardrobes are proposed to be replaced.
- The hallway cupboard in the 4th floor would be relocated to the landing space to enable the staircase to be opened up to the full height. This would allow more natural light from the roof lantern to penetrate to the floors below.
- The replacement of the existing roof lantern with a larger roof lantern to provide more lights, safer access and better security. The roof lantern is proposed with lead cheeks and a fully glazed roof. More information in the drawings and Heritage Impact Assessment.
- Insulation is proposed to the sloping rear wall at fourth floor level; insulation and plasterboard is proposed to be applied over the top of existing lath and plaster. Insulation is also proposed over existing loft joists with supported crawl board over the top.
- Electrics are proposed to be replaced throughout the flat.
- Existing windows are proposed to be refurbished, repaired and re-decorated to match existing with new brushes / mechanisms where required.
- Existing floors to be insulated between joists, original floorboards to be relaid and existing floor finishes to be replaced - with timber floorboards on 3rd floor level and carpet to the rest of the property. There will be minimal change to the height of the floor surface. Refer to PL970 for existing and proposed floor builds.
- Existing beams overhead in the 3rd floor ceiling are proposed to be retained, investigated and strengthened if required structurally.



# 40 Montagu Square

## SUMMARY AND CONCLUSION

### 9.0\_SUMMARY AND CONCLUSION

The proposals that are set out here, in the drawings and in the Heritage Impact Assessment would create a more comfortable living environment and one that is better suited to the client's way of life.

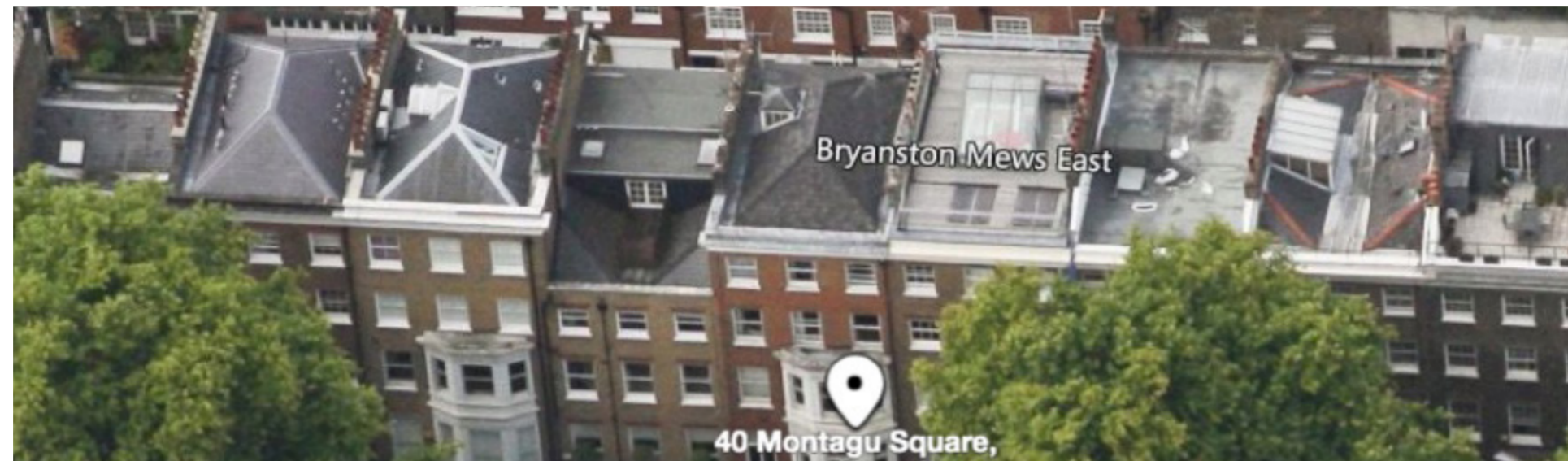
The proposals are considered to be sensitive to the existing building and would not change the appearance of the property within the streetscape. The use, amount and scale of the building would not be altered; neither would the access to it and within it.

The Heritage aspects of the proposals have been considered with great care and with full details in the Heritage Impact Assessment.



# 40 Montagu Square

## APPENDIX A - PROPOSED REPLACEMENT ROOF LANTERN DESIGN DEVELOPMENT



**Image 1**\_The roofscape of 40 Montagu Square and the adjacent properties. Different roof lanterns on the terrace are visible.



**Image 2**\_The existing single-glazed roof lantern as viewed from the east. It provides light to the stairwell below, whilst also serving as a means of access for both the roof and the loft.



**Image 3**\_The timber and glass construction of the existing roof lantern. The glazing is single glazed 'reeded' glass. The timber is worn.



**Image 4**\_The roof lantern as viewed from the landing, including the small shelf (to the right of the image) that currently provides access to roof, in tandem with a freestanding ladder, that is stored on the landing.

### The Existing Roof and Roof Lantern

A replacement roof lantern is proposed as described in more detail below and across the adjacent images and submitted drawings. Otherwise there are no significant works proposed to the roof.

#### The Existing Roof:

The main enclosing roof comprises a traditional timber-frame pitched and hipped construction, with slates across the main roof slopes and profiled ridge and hip tiles for weathering purposes. A slate covered mansard roof slope is present at the rear, with two incorporated lead lined dormer windows serving the top floor rear rooms. Lead and mastic asphalt covered trays and parapet gutters are present at the front and side of the main pitched roof and at the base of the rear mansard roof slope.

#### The Existing Roof Lantern:

The existing roof lantern does not appear to be an original feature and there are no other similar examples across the adjacent properties of Montagu Square. There are an array of different interventions at roof-top level that can be seen on other properties around the square, including a number of extensions and terraces.

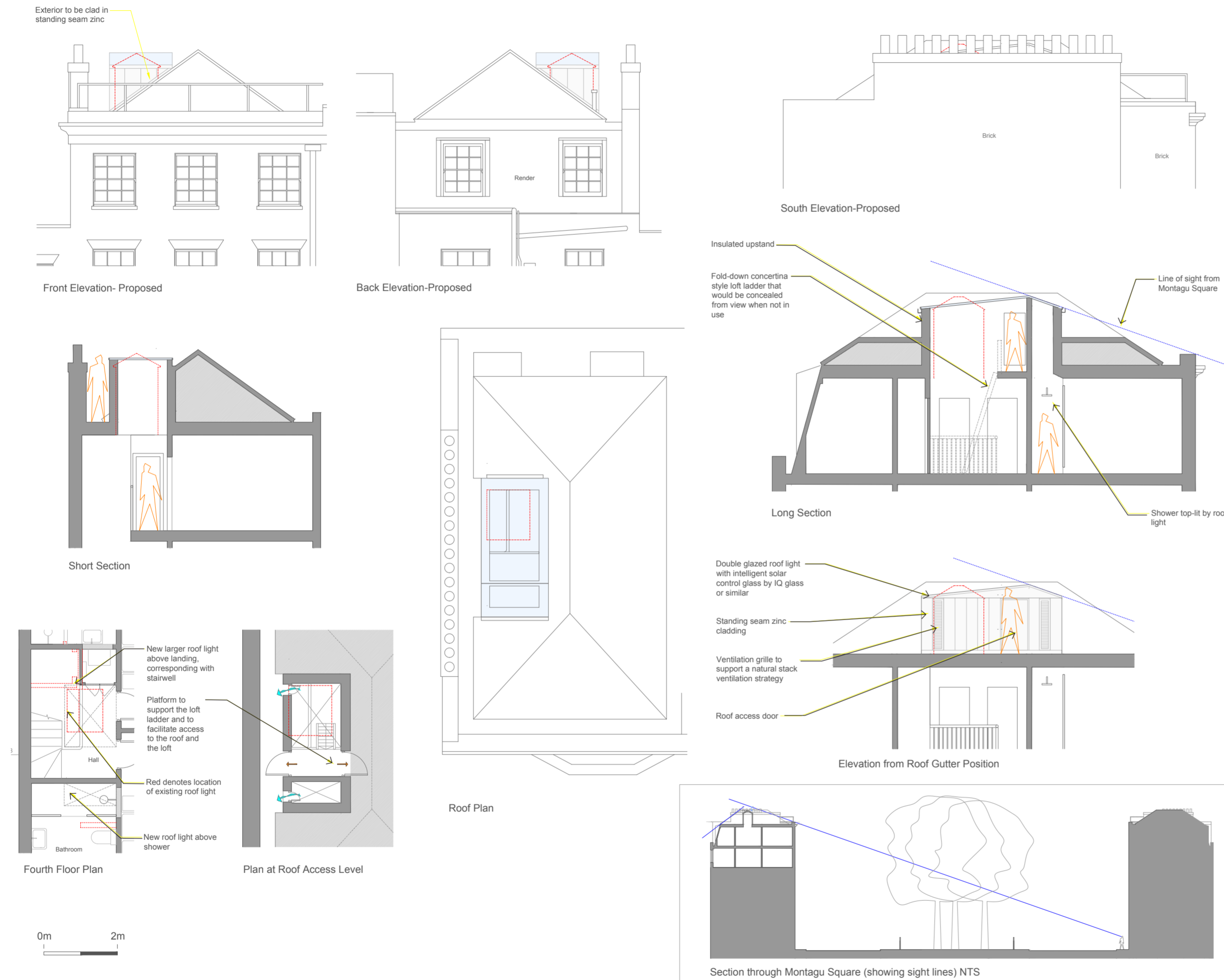
Taking account of the siting and construction of the existing roof lantern, it is not a historically or architecturally important element. At the same time, there is significant scope to improve the condition and functionality of it, which would offer important benefits to the residents, in terms of comfort, energy efficiency and security.

The timbers that make up the existing roof lantern are worn and it is single-glazed and poorly sealed. Whilst it does provide a reasonable amount of daylight to the landing below, it is undoubtedly responsible for a considerable amount heat-loss in winter and heat-gain in summer (hence overheating). It cannot presently be used to provide ventilation unless the doors are left open, which is problematic in regards of access, security and the risk of rain ingress. Access to the roof, via the roof lantern, is by way of a freestanding ladder, which has to be stored on the landing and is unsightly and not very safe.



# 40 Montagu Square

## APPENDIX A - PROPOSED REPLACEMENT ROOF LANTERN DESIGN DEVELOPMENT



### The Proposed Replacement Roof Lantern

The new replacement double-glazed roof lantern, which is illustrated, would offer a multitude of benefits. It would improve the daylight to the landing, whilst simultaneously improving the thermal performance of the building envelope considerably, meanwhile the inclusion of solar control glass would mitigate summertime overheating, which is currently a serious concern for the homeowners. The inclusion of opening vents would support a 'passive-stack' natural ventilation strategy, which would further help to reduce overheating in the flat. Passive-stack ventilation would offer a more energy efficient- lower carbon solution compared with air conditioning. The inclusion of a concealed concertina-style loft ladder would provide safer access to the roof and to the loft.

The new roof lantern would not be any taller than the existing one, or the ridge of the roof and it would not be visible from Montagu Square, as it would be concealed by the parapet, as illustrated. It would also not be visible from Bryanston Mews East.

The new roof lantern would not impact the main facade, which is the subject of the Grade II Listing. The exterior would be clad in lead and would be carefully detailed to ensure longevity. Where it would be visible from the upper floors of adjacent properties, it would appear as a simple and functional element that is sympathetic and appropriate to its setting.

There are a variety of extensions at roof level along the terrace that set a precedent for such intervention. The proposed intervention for 40 Montagu Square would be modest, both in terms of scale and appearance, in comparison to a number of these.

Please refer to the drawings and the Heritage Impact Assessment for more information of the proposed replacement roof lantern.

Image 1\_Replacement Rooflight Design Development Drawings

