

JPPC ref: NI/8085  
Portal Ref: PP-09433047

Fao Felicity Byrne  
Planning and Regulatory Services  
Oxford City Council

\*\*\*By Electronic Means only\*\*\*

19<sup>th</sup> January 2021

Dear Felicity

**Erection of a free-standing enclosed bin store**

**At: Trinity College, Broad Street, Oxford**

This application is submitted on behalf of Trinity College and seeks planning permission for the erection of a detached free-standing bin store to the east of the new education facilities building granted planning permission in 2018. The application comprises of the following documentation:

- This accompanying planning covering letter prepared by JPPC
- Heritage Impact Statement prepared by Asset Heritage Consulting
- Site Location Plan @ 1:1250 Drawing No. 5446/72
- Proposed Block Plan @ 1:200 Drawing No. 5446/73
- Proposed Floorplan and Elevations @ 1:100 & 1:20 Drawing No. 5446/60D
- AIA prepared by Sylva Consultancy, Ref 20165/AIA
- AMS prepared by Sylva Consultancy, Ref 20165/AMS
- Planning Application fee paid via the Planning Portal

Please note that the planning application fee payable in connection with this proposal has been paid via the Planning Portal.

**Background**

This submission follows the recent grant of both planning and listed building consent in late 2018 for the provision of new student facilities alongside replacement gardener's glasshouse and machinery/ tool store.

The 2018 approved scheme sought to use the ground floor area of the President's Garage as a bin store. Following a refinement of the development proposals as the project passed through its design phases, the ground floor of the President's Garage is proposed to be used by the Gardeners team, as is the current set up on the site.

The John Phillips Planning Consultancy

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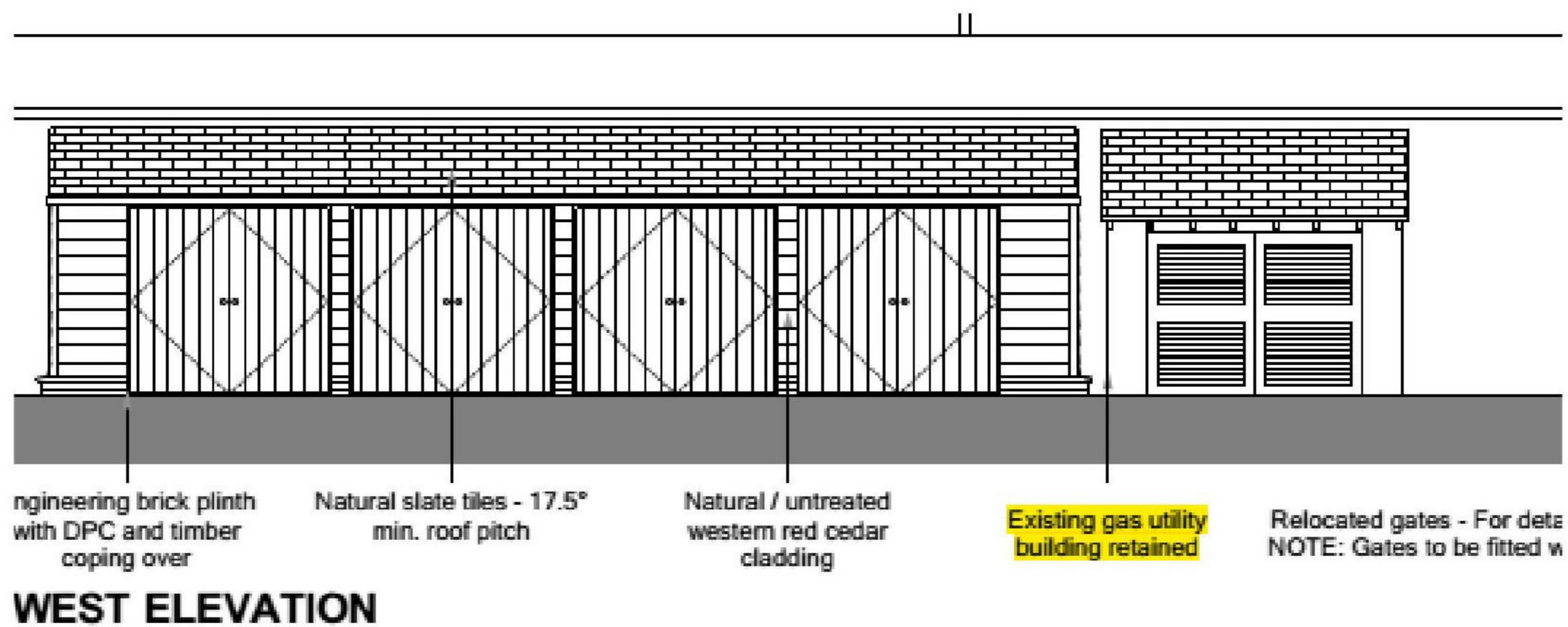
The College are keen to ensure their grounds are maintained to the highest level and are therefore proposing to store the bins within an enclosed structure in proximity to the new student facilities and accommodation.

Hopefully, you will recall us sharing this detail with you prior to our submission.

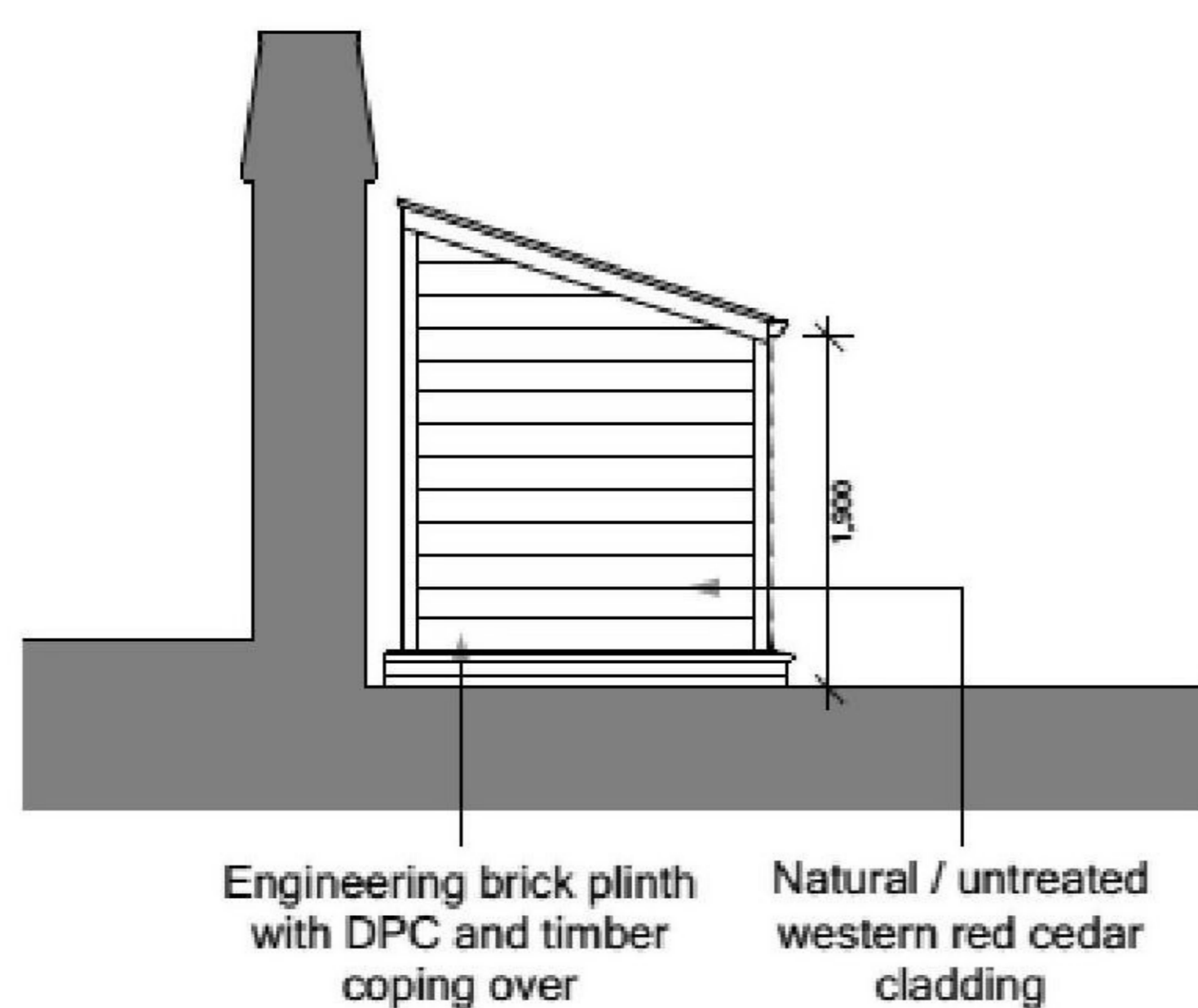
**Proposed Development and Relevant Considerations**

This application seeks planning permission for the erection of an enclosed bin store to be positioned along the eastern boundary of the site which is shared with Parks Road. The bin store is to be located in proximity to the most southern access, thereby ensuring and easy and convenient access from the public highway for the waste contractor.

Up until the very recent past, this area of the College grounds has been the focus for a number of small-scale utilitarian structures, such as glasshouses and storage sheds. The area currently also houses the gas utility building which immediately sits next to where the bin store is proposed.



The store structure is to have an overall width of just over 10m which is taken from the outer edges of the brick plinth and is proposed with a depth of 2.2m, again this measurement is a maximum dimension using the brick plinth detail. The structure is a monopitch design with an eaves of 1.9m and a ridge line of 2.6m which is designed to sit below the string course detail in the boundary wall – as can be seen in the extracted section below:



Whilst the bin store remains in close proximity to the boundary wall, the design has been amended such that the rear of the structure is a frame only with the main rear

being open to facilitate and enable maintenance behind the structure and access to the wall. This revision has been introduced following the comments raised by the Conservation Officer in early discussions on the merits of the proposal.

In terms of proposed materials, the structure is to sit on an engineering brick plinth. The main walls are to be finished with in a natural/ untreated western red cedar timber cladding under a natural slate roof. The structure is to have four sets of double doors, again made and finished natural/untreated western red cedar cladding.

The application is accompanied by a heritage report prepared by Asset Heritage which notes that the simple design of the bin store is wholly appropriate to its role as a utilitarian structure that is tucked away alongside the existing gas utility building and boundary wall.

The design of the bin store is drawn directly from the proposed gardeners tool store and has similarities to the utilities building. The structure is *'considered an appropriate design for a low status structure in a peripheral area of the college site'*.

Asset further note *'In collegiate sites and other formal gardens, positions against or adjacent to boundary walls are historically common locations for gardeners' buildings or other utilitarian structures and, as such, this is an appropriate and discreet location for the proposed structure'*.

Asset further acknowledge that with the bin store being set behind the boundary wall with Parks Road, this low-key structure will not feature in views into the college from the public domain and where it features in views within the site, it will be seen in the context of both the new Levine building and the adjacent 'woodland garden' where it will appear as a modest and appropriate addition.

Asset conclude that they are firmly of the view the application proposals *'would not result in any harm in heritage terms, including to the significance of the listed buildings of Trinity College or nearby listed buildings, the character of the Trinity College registered park and garden, or the character and appearance of the Central (University & City) Conservation Area'*.

In heritage terms, it is thus concluded that this modest development proposal will not affect the significance of the designated heritage assets and as such accords with policies DH1 and DH3 of the Oxford Local Plan 2036.

With regards to archaeological considerations and policy DH4, hopefully you will recall that David Radford confirmed he was happy that this proposal would not require an assessment but had indicated that a condition requiring a watching brief would be imposed.

The application is accompanied by an Arboricultural Impact Assessment and Arb Method Statement both prepared by Sylva Consulting. The AIA notes no trees will be removed to implement the development proposals and the bin store will be positioned over an existing shrub bed. The arboricultural impact plan suggests that the RPA's of T62 and T63 fall within the area. However, the AIA notes that it is likely that there will have been a reduction in root activity from these trees due to root competition that will have been and continues to occur in the area such that the construction of the bin store will not have an adverse impact on the long-term health and condition of these trees.

The AIA notes that the framework of the bin store will be constructed using a series of support posts and that where the excavation works fall within the RPA of adjacent trees this work will be undertaken using handheld equipment.

In summary, careful consideration has been given regarding buildability of the proposals and the application is supported by an Arboricultural Method Statement. Trees within the site will be protected by Heras fencing and where appropriate, the fencing will be braced to withstand impacts. The AIA acknowledges and confirms that no new services are required for this proposal.

Having regard to the conclusions of the AIA, it is our opinion that the proposals accord with development plan policy G7 of the Oxford Local Plan 2036.

## **Conclusion**

I hope this submission provides a useful summary and frame of the key issues surrounding the proposal and the relevant planning considerations. Asset Heritage conclude overall that they are firmly of the opinion that these application proposals would not result in any harm in heritage terms, including to the significance of the listed buildings of Trinity College, the character of the Trinity College registered park and garden, or the character and appearance of the Conservation Area and it has been demonstrated through the AIA that the longevity of existing trees on the site will not be comprised as a result of the development hereby proposed.

We believe it has been demonstrated that the revised design approach is suitably respectful of its sensitive location and would successfully assimilate into the grounds of Trinity College without impacting on or compromising the significance of designated heritage assets.

It is hoped and reasonably anticipated that officers will be happy to support the proposal and to recommend that planning permission is duly granted subject to any conditions that are considered necessary and reasonable.

I look forward to receiving the application acknowledgement letters shortly and thereafter trust you will not hesitate to contact me should there be any queries regarding the proposals.

Yours faithfully

Natasha Ireland BA (Hons) DipTP MRTPI  
Associate

