

DESIGN STATEMENT

Extension and alterations to Seagazey, 22 Trevaunance Road, St Agnes, TR5 0SQ

Introduction

This design statement has been prepared by CSA Architects on behalf of the owner of the property known as Seagazey at 22 Trevaunance Road, St Agnes. The proposals are to demolish an existing dilapidated conservatory and replace this with a new single storey rear extension. The proposal also includes a minor modification to an existing flat roof rear dormer and some associated landscaping within the private garden. In terms of the road frontage it is proposed to replace windows, update the façade and change the roofing material to natural slate.

This document forms part of an application to Cornwall Council for householder planning permission. It should be read in conjunction with the most recent revisions of the following drawings:

- 3367-001 - Location plan and block plan
- 3367-002 - Topographical survey
- 3367-003 - Existing dwelling: floor plans and elevations
- 3367-004 - Proposed dwelling: floor plans and elevations
- Sheet of photographs

Context

The application site is situated in Trevaunance Road an established residential area of St Agnes outside the conservation area. In terms of setting and character context, reference is made to the St Agnes Neighbourhood Development Plan and the Village Character Assessment within it. Character Area 9 'Trevaunance Road' is defined by 1960/70's bungalows, mostly with converted lofts and far-reaching coastal views towards the north east. This neighbourhood falls within the area of the Heritage Coast and St Agnes Mining District World Heritage Site, but is outside the AONB and St Agnes Conservation Area. There are no TPO's associated with this plot.

Seagazey is a detached bungalow with a road frontage eaves line diagonally to the street to focus on the coastal views out of the rear of the property. This positioning is consistent with its neighbours forming an informal stepped building line. Like many properties in the area. This bungalow has previously been converted to utilise the loft space. The associated flat roof dormer is at the rear of the property facing the view. The attached garage had previously been converted and incorporated into the living space of the dwelling. There is a pre-existing outbuilding / garden store within the rear garden.

The plot is roughly rectilinear in shape, approximately 0.09 hectares (0.24 acres) and with a gradual gradient falling away from the street frontage towards the rear boundary. Properties beyond the rear boundary are stepped down allowing this plot to have views across the roofs towards the coastline beyond. All neighbours are domestic residential and boundaries and interactions are well established.

Description of the proposals

The existing single storey conservatory style extension at the rear is of low quality, leaking and limited functionality. It is not linked to the ground level of the dwelling and very narrow in its footprint. The design prevents light into and views from the core living areas of the dwelling.

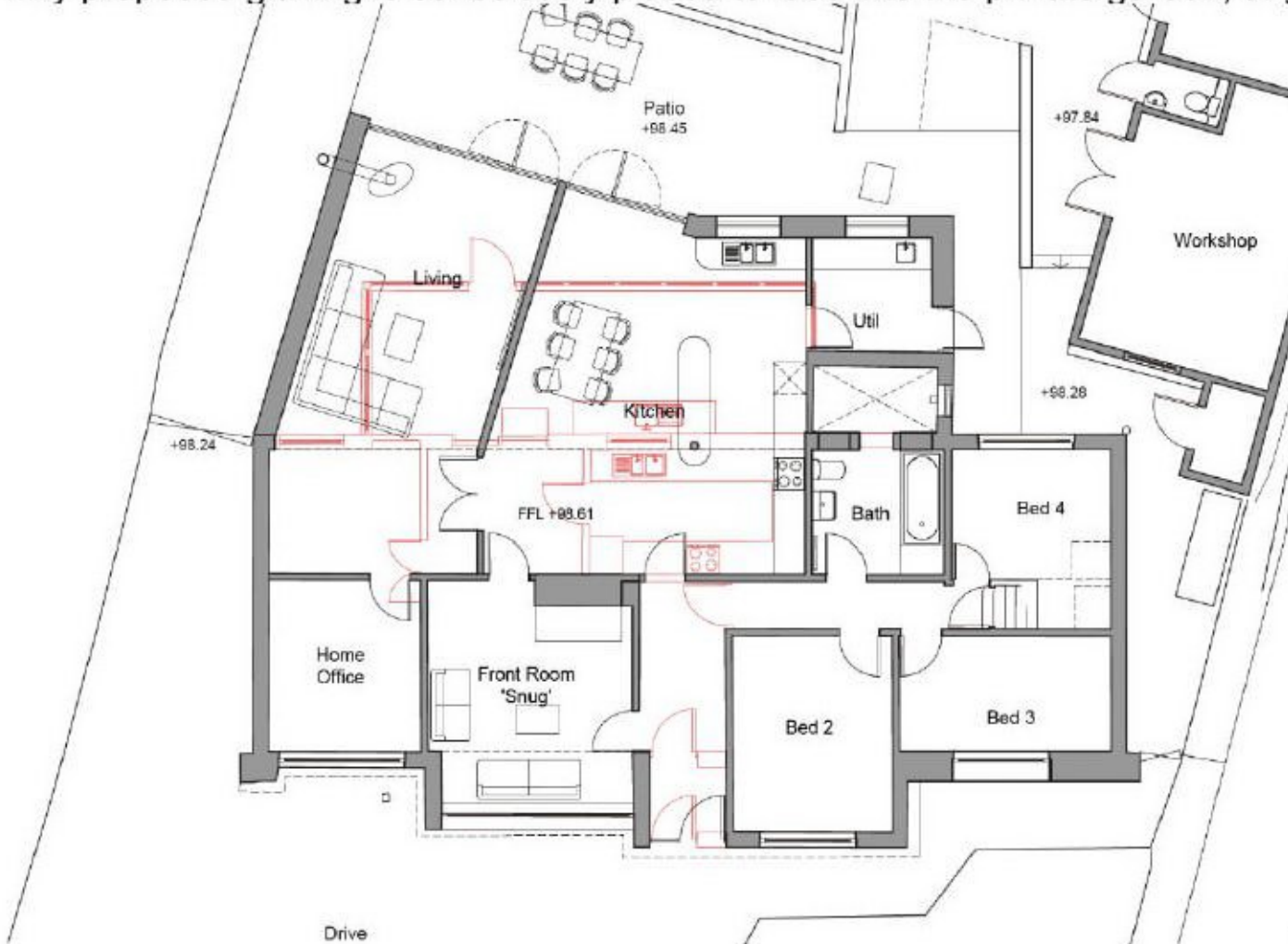
It is therefore proposed to remove this conservatory and build a single-storey rear extension to improve the habitable space of the property and its interaction with the private rear garden. The far reaching, open sky views have led to the design with a slightly angled up shallow pitch roof. This also allows for an appropriate insulation thickness while maintaining sensible internal room heights, which are dictated by the existing dwelling structure. Some internal reconfigurations of the layout will improve the entrance arrangement and functionality of living spaces.

The existing flat roof dormer at first floor has been conceived poorly, creating a room that has insufficient depth to allow free movement around the bed space and badly placed windows.

It is therefore proposed to pop out the central part of this dormer. Again, improvements to ceiling insulation require larger construction depth and the headroom in this dormer is limited. The slightly angled up roof pitch for the pop-out, allows the design to maintain the existing junction with the main roof, that does not project beyond the ridgeline.

The gross internal area of the existing dwelling measures approx. 156m² (including conservatory, but excluding unused loft area and existing outbuildings). The proposed gross internal floor area of the dwelling will be increased by only 30m² to 186 m².

Any proposed glazing is consciously placed to face into the private garden, angled away from boundaries.



The parking and car turning area and layout at the front of the property are to remain unchanged. The existing outbuilding will be utilised as a shed and home office and are to remain unaltered, other than a facelift.

The boundary treatments will remain as existing. Some of the garden levels are adjusted to allow a patio associated with the rear elevation. Garden levels near the rear boundary are to remain unchanged.

Photographs and 3D images



Existing rear elevation



3D view of proposed rear elevation (existing outbuilding retained, dormer slightly increased, single storey extension replaced, garden patio and levels amended)



Elevated rear view showing the slightly angled up shallow pitched roofs.

Heritage Impact Assessment within the World Heritage Site

The site lies within Area 7 (St Agnes Mining District) of the Cornwall and West Devon Mining Landscape World Heritage Site (WHS).

There are no listed buildings in the vicinity of the site and the site is not located within the St Agnes Conservation Area. This paragraph aims to assess the impact and design response in the context of the site within the WHS.

The existing dwelling forms part of a residential development largely established in the 1970's. The existing dwelling itself is not listed and is not considered a non-designated heritage asset. The 'asset' that should be considered for impact is therefore limited to the OUV of the WHS. The existing dwelling in its setting within the residential estate does not reflect attributes that express the Outstanding Universal Value (OUV) of the WHS. The proposed extension is at the rear and entirely subservient to the existing dwelling and its neighbours. Our assessment therefore concludes that the proposed development does not have potential to impact upon the OUV of the WHS. It is therefore believed that the aforementioned description of the site setting (para 'Context') and design development (para 'Description of Proposal') is appropriate and proportionate to the asset's importance and sufficient to understand the potential (lack of) impact of the proposal on the heritage asset, being the OUV of the WHS.

A more detailed and methodical assessment by a Heritage Consultant has therefore not been submitted as part of this planning application.

Evaluation

These proposals have a relatively low profile and will have no impact on the surrounding area and are a sustainable re-use and refurbishment of an existing dwelling.

Detailed consideration has been given to the existing dwelling and its site to create proposals that are appropriate for the setting. The alterations to the existing dwelling are mostly contained within the rear garden with all windows angled away from adjacent neighbours. The overall ridge will not be increased. The road frontage will be improved with enhanced materials. As a result, the altered dwelling will continue to sit comfortably amongst the neighbouring properties.



Director, CSA Architects
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