

# 2 Chester Square, London SW1

Variation to Listed Building Consent-Condition 1

Application References 20/02305/LBC

March 2021



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Contributions	Megan Ebanks
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Date	1 <sup>st</sup> March 2021
Details	Variation to LBC Condition 1
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1.0

Executive Summary

## No.2 Chester Square Executive Summary

The proposed refurbishment at No.2 Chester Square was originally granted Planning Permission and Listed Building Consent on 9th September 2020 with the respective Application References 20/02304/FULL & 20/02305/LBC.

This report is a summary of the minor amendments that has altered the original proposed design in two internal areas. The amendments include:

1. The profile of the new slab to the opened up under pavement vault at lower ground floor. Instead of a flat slab, we would like to recess the central portion to increase the headroom for ease of access.
2. The insertion of double pocket doors within the joinery at fourth floor in lieu of the new wall and single door that was previously permitted.

### 1) New slab profile to the uncovered under pavement vault

As originally proposed and approved, the modern infill wall to the under pavement vault has been removed. We discovered a very damp vault beyond but the walls and ceiling are structurally sound. The floor however is a mix of dirt, a portion of concrete slab and some rubble. We would like to propose that the new slab to go in would have a recess in the centre to be able to stand up. We would also cast 3 steps to go down into the recessed part.

Please refer to drawings 1901-P12-099, 1901-P12-201, 1901-P12-300, 1901-P-099, 1901-P-201 and 1901-P-300 for more information.

### 2) New double pocket doors in lieu of new single door

As originally proposed and approved, a new wall and single door was proposed to fill the existing opening into the dressing room at fourth floor. Instead we would like to incorporate double pocket doors in the dressing room joinery.

Please refer to drawing 1901-P-104 for more information.

2.0

Permitted LBC Drawings

PERMITTED

NOTE: Many lower ground modern floor coverings were discovered to have low level asbestos in the bitumen adhesive. All floor coverings are vinyl/linoleum and are to be carefully removed by specialist contractor.



ROAD EATON MEWS SOUTH

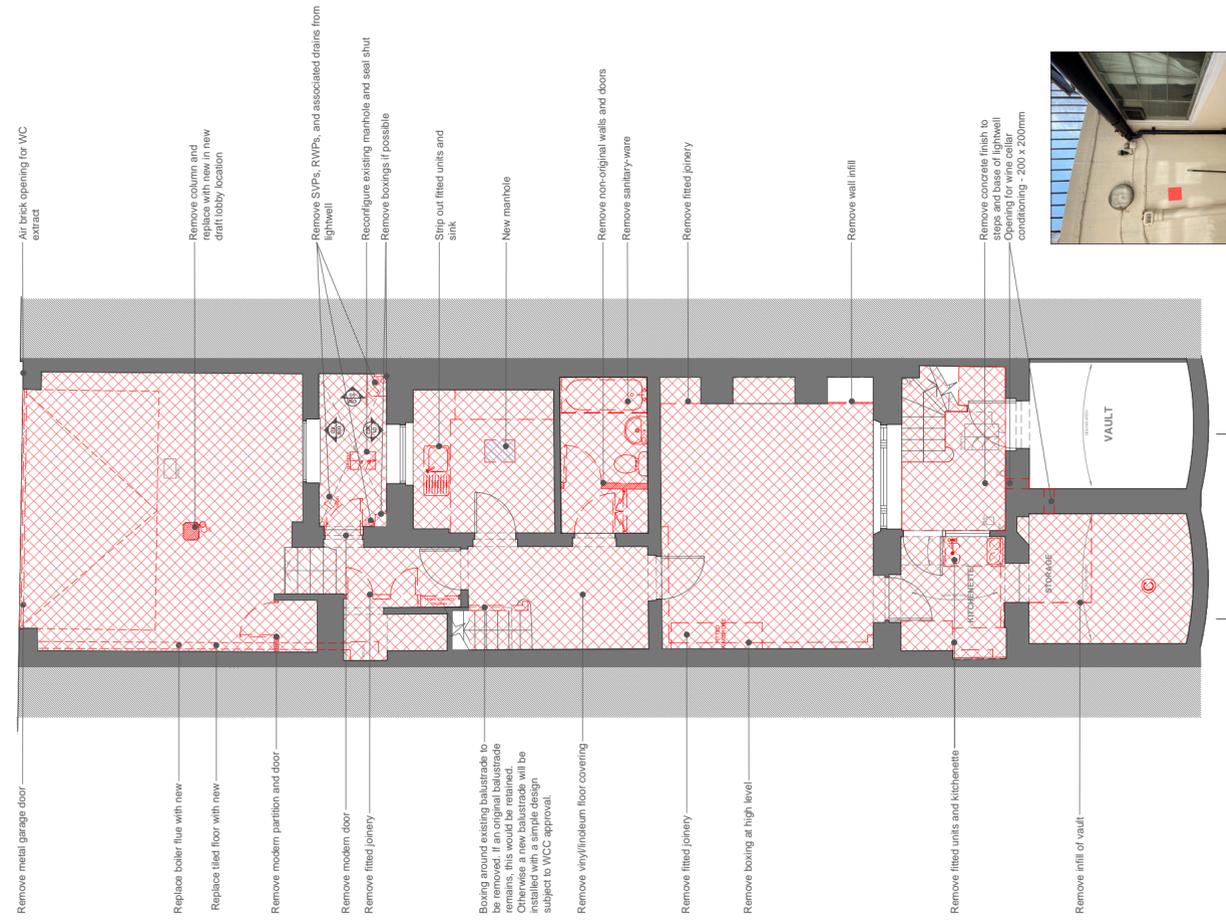


Image shows existing south east wall of the front lightwell (not visible from the street) with the proposed vent position in red.

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Project 2 Chester Square  
Annie Blunden

Drawing Title  
Demolitions  
Lower Ground Floor Plan

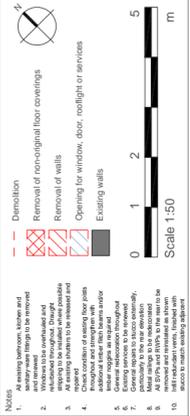
Project No. 1901

Drawing Number  
1901-P12-089

Revision  
E

Revision Date  
200818

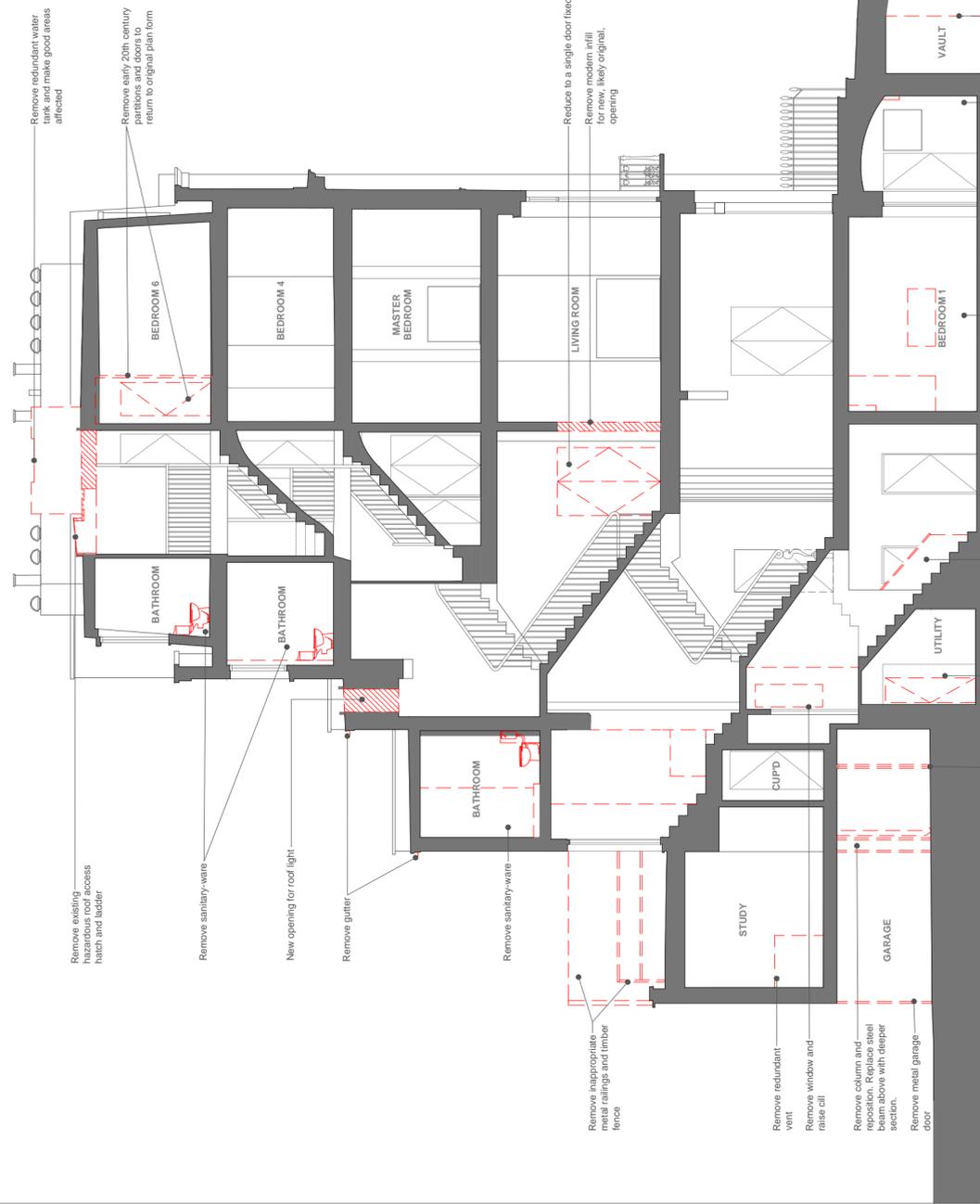
YY MM DD  
11 00 @ A3



Notes  
1. Existing walls, doors and sanitary ware fittings to be removed  
2. Windows to be overhauled and replaced with new units where appropriate  
3. Existing walls to be removed where necessary to provide access for new services  
4. Existing walls to be removed where necessary to provide access for new services  
5. Existing walls to be removed where necessary to provide access for new services  
6. Existing walls to be removed where necessary to provide access for new services  
7. Existing walls to be removed where necessary to provide access for new services  
8. Existing walls to be removed where necessary to provide access for new services  
9. Existing walls to be removed where necessary to provide access for new services  
10. Existing walls to be removed where necessary to provide access for new services

Table with columns: Revisions, Issued for, By, Date. Revisions include A (200809), B (200809), C (200837), D (200837), E (200818).

PERMITTED



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Project 2 Chester Square  
Annie Blunden

Drawing Title  
Demolitions  
Section BB

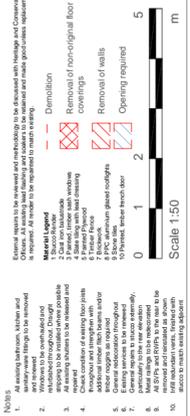
Project No. 1901

Drawing Number  
1901-P12-201

Revision  
E

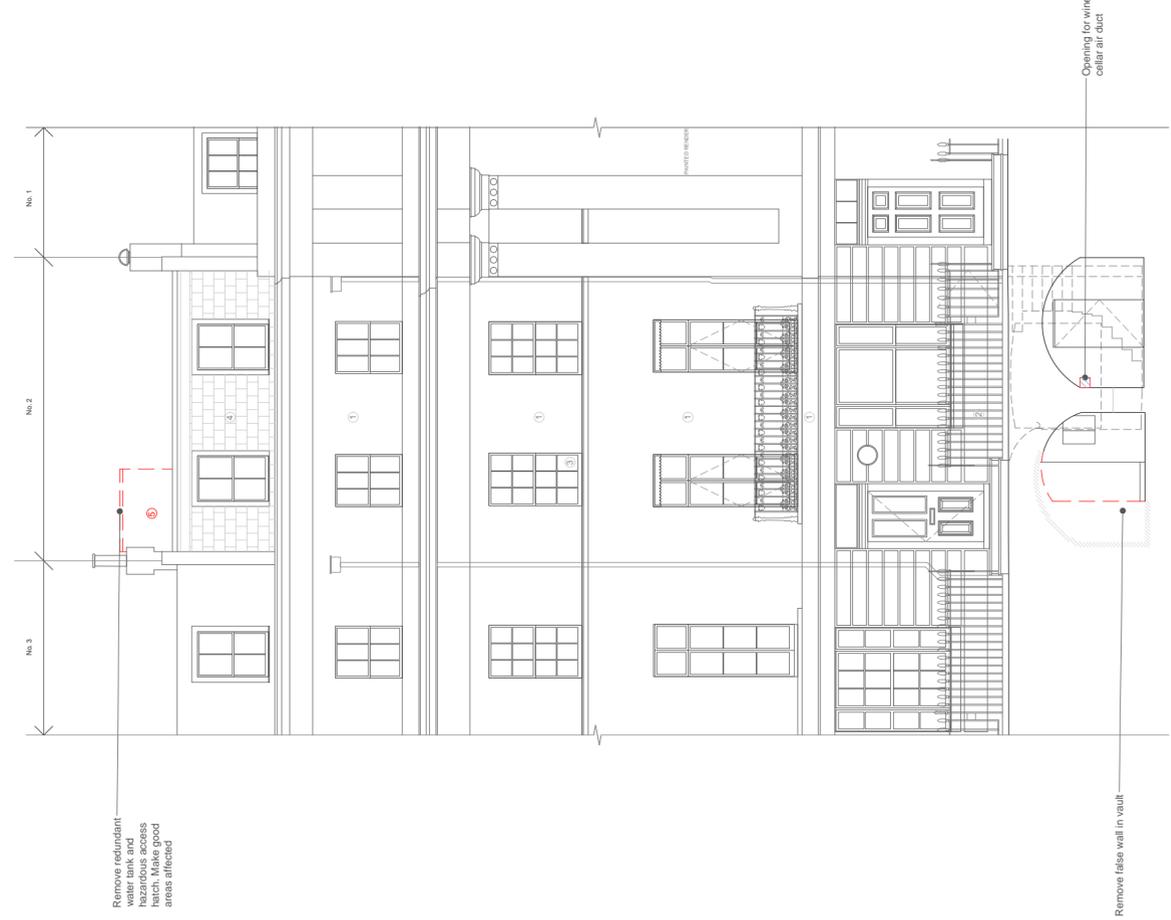
Revision Date  
200818

YY MM DD  
11 00 @ A3



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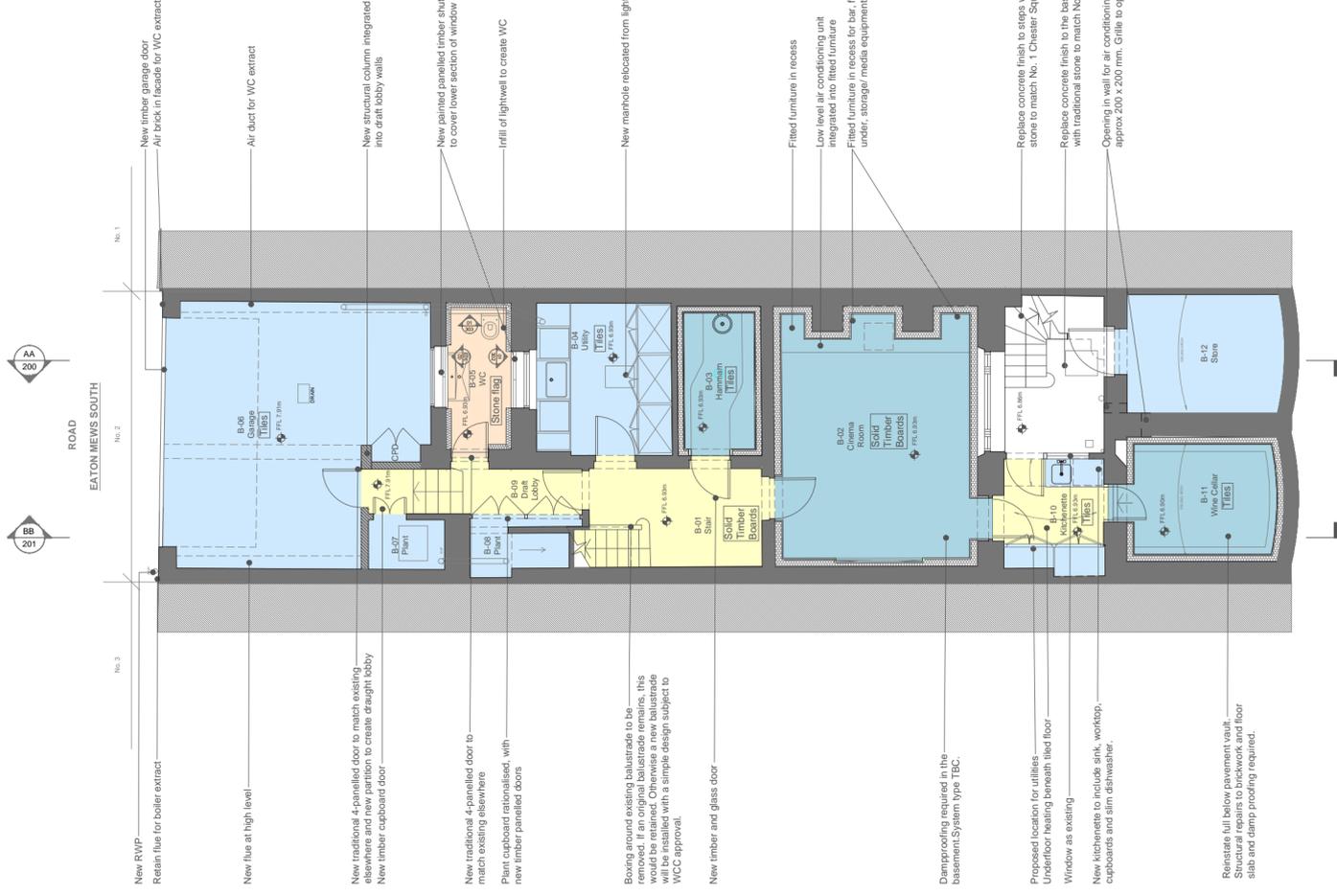


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Project: 2 Chester Square  
 Annie Blunden  
 Drawing Title: Front Elevation  
 Demolitions: 1:100 @ A3  
 1:50 @ A1  
 Drawing Number: 1801-PZ-300  
 Project No: 1901  
 Revision: D  
 Revision Date: 200818  
 Y1 AM DD

Notes:  
 1. Existing features, known and unknown, are to be retained unless otherwise stated.  
 2. Work to be removed is shown with a dashed line.  
 3. Work to be retained is shown with a solid line.  
 4. Work to be replaced is shown with a dotted line.  
 5. Work to be replaced with a different material is shown with a hatched pattern.  
 6. Work to be replaced with a different finish is shown with a different hatched pattern.  
 7. Work to be replaced with a different color is shown with a different hatched pattern.  
 8. Work to be replaced with a different texture is shown with a different hatched pattern.  
 9. Work to be replaced with a different shape is shown with a different hatched pattern.  
 10. Work to be replaced with a different size is shown with a different hatched pattern.

Scale 1:50



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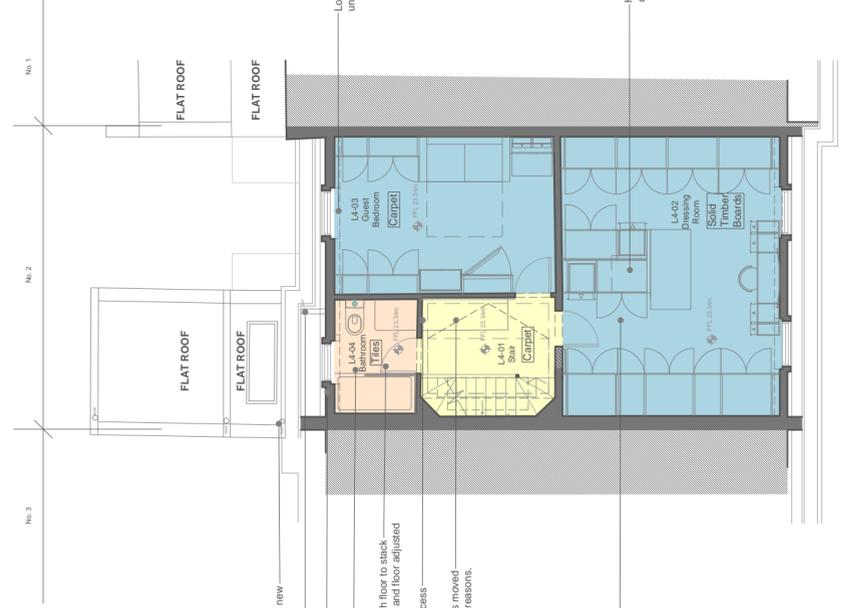
Project: 2 Chester Square  
 Annie Blunden  
 Drawing Title: General Arrangement Lower Ground Floor Plan  
 Demolitions: 1:100 @ A3  
 1:50 @ A1  
 Drawing Number: 1801-PZ-300  
 Project No: 1901  
 Revision: G  
 Revision Date: 200818  
 Y1 AM DD

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 10. Work to be replaced with a different size is shown with a different hatched pattern.

Scale 1:50



PERMITTED



Notes

1. Existing bathroom, new and existing stairs to be removed
2. Windows to be unobstructed
3. Stairs to be reinforced concrete
4. Proposed new staircase to be reinforced concrete
5. Proposed new staircase to be reinforced concrete
6. Proposed new staircase to be reinforced concrete
7. Proposed new staircase to be reinforced concrete
8. All STP and STP's to be installed in accordance with the relevant regulations
9. All STP and STP's to be installed in accordance with the relevant regulations
10. All STP and STP's to be installed in accordance with the relevant regulations

Notes

1. Gutter related to fall towards new hopper and RWP
2. Small opening for bathroom extract
3. Refurbish bathroom with electric underfloor heating
4. Routing of pipework through floor to stack position to be investigated, and floor adjusted
5. New wall ladder for roof access
6. Roof access above. Access moved away from stairs for safety reasons.
7. Rooms returned to original proportions
8. Low level internal air conditioning unit in fitted furniture
9. High level, ceiling mounted internal air conditioning unit in fitted cupboards

Revisions	By	CHK	Notes
A 200219	ME	DE	1. Existing bathroom, new and existing stairs to be removed
B 200225	ME	DE	2. Windows to be unobstructed
C 200302	ME	DE	3. Stairs to be reinforced concrete
D 200305	ME	DE	4. Proposed new staircase to be reinforced concrete
E 200331	ME	DE	5. Proposed new staircase to be reinforced concrete
F 200331	ME	DE	6. Proposed new staircase to be reinforced concrete
G 200421	ME	DE	7. Proposed new staircase to be reinforced concrete
H 200618	ME	DE	8. All STP and STP's to be installed in accordance with the relevant regulations
			9. All STP and STP's to be installed in accordance with the relevant regulations
			10. All STP and STP's to be installed in accordance with the relevant regulations

Project	2 Chester Square	Project No.	1901
Client	Annie Blundell	Revision	11
Drawing Title	General Arrangement	Drawing Number	180-P-104
Drawing Scale	Fourth Floor Plan	Scale	1:100 @ A3 1:50 @ A1
Issue Date		Revision Date	200618
Issue By		Issue Date	11 MAR 00

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Legend	Scale 1:50
<ul style="list-style-type: none"> <li>Circulation space</li> <li>Living space</li> <li>Bathroom/WC</li> </ul>	

3.0

Updated Planning Drawings

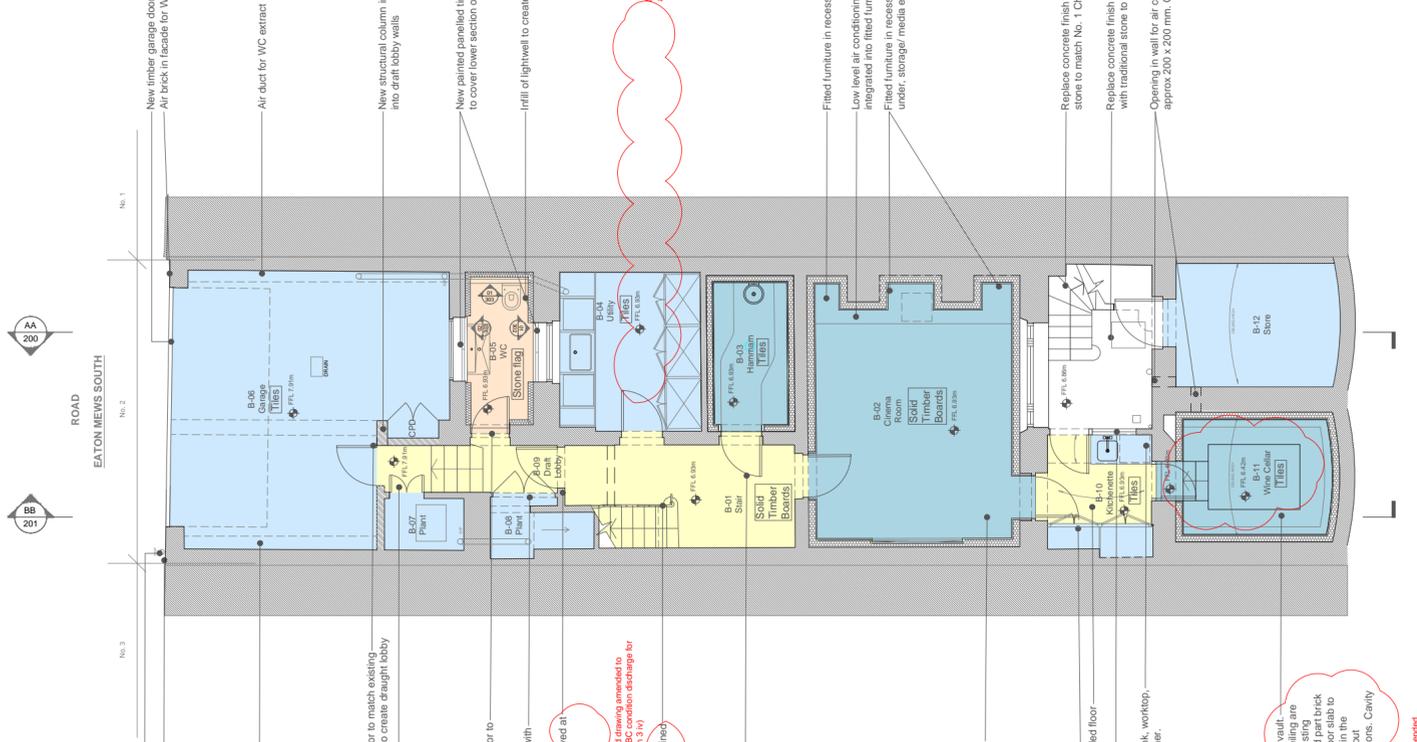




Revisions	By	CHK	Notes
A	ME	DE	1. Existing kitchen, kitchen and utility room to be removed and replaced with new kitchen and utility room.
B	ME	DE	2. Windows to be overhauled and replaced with new windows.
C	ME	DE	3. Windows to be replaced with new windows.
D	ME	DE	4. Windows to be replaced with new windows.
E	ME	DE	5. Windows to be replaced with new windows.

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Project: 2 Chester Square  
Client: Annie Blunden  
Drawing Title: Front Elevation  
Drawing Number: 1801-PZ-300  
Scale: 1:50 @ A1  
Revision Date: 21/03/22  
Revision: E  
Project No: 1901



Revisions	By	CHK	Notes
A	ME	DE	1. Existing kitchen, kitchen and utility room to be removed and replaced with new kitchen and utility room.
B	ME	DE	2. Windows to be overhauled and replaced with new windows.
C	ME	DE	3. Windows to be replaced with new windows.
D	ME	DE	4. Windows to be replaced with new windows.
E	ME	DE	5. Windows to be replaced with new windows.

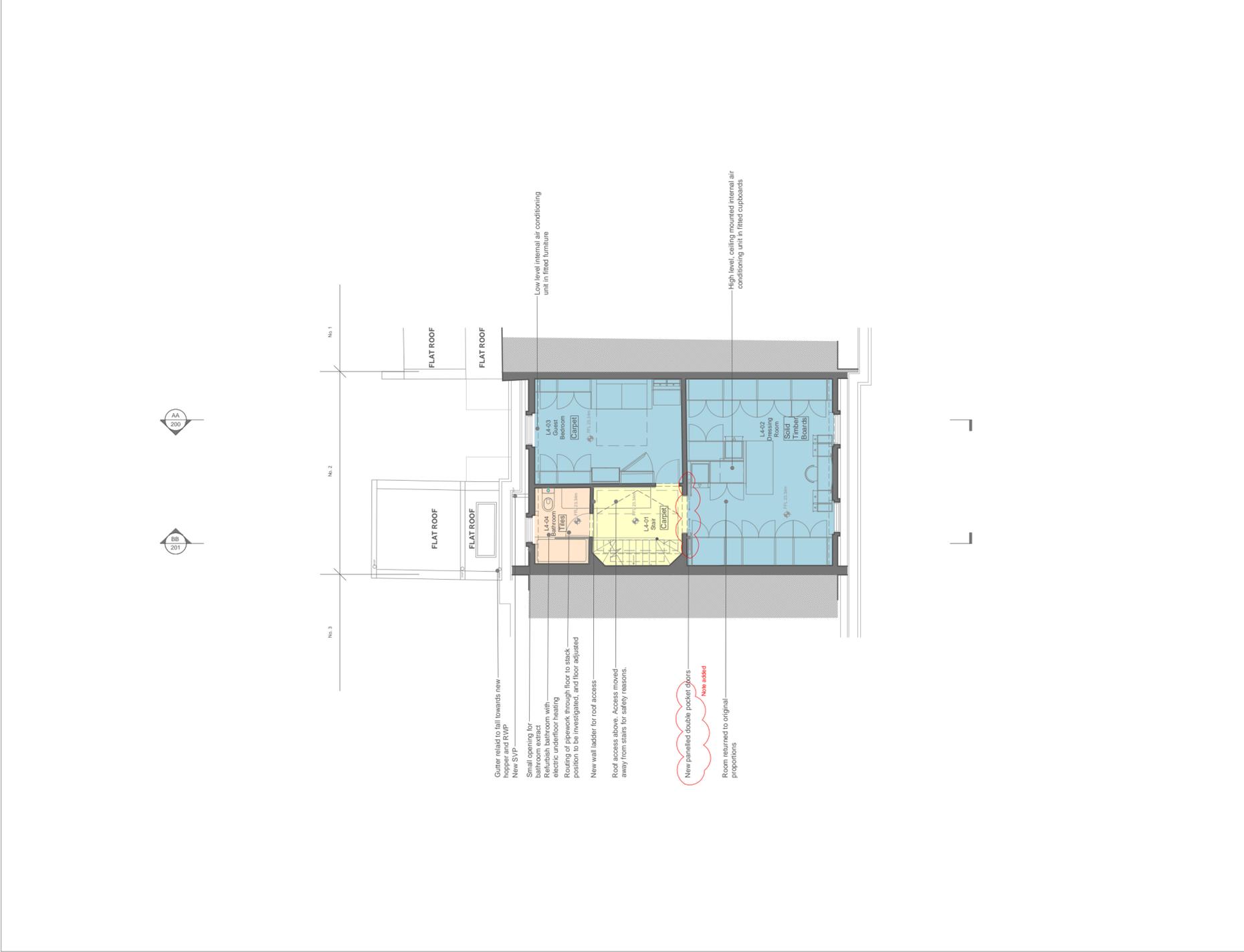
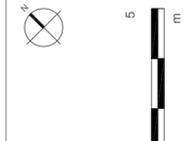
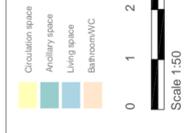
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Project: 2 Chester Square  
Client: Annie Blunden  
Drawing Title: General Arrangement Lower Ground Floor Plan  
Drawing Number: 1801-PZ-300  
Scale: 1:50 @ A1  
Revision Date: 21/03/22  
Revision: F  
Project No: 1901



Revision	By	CHK	Issued for comment
A	ME	DE	Issued for information
B	ME	DE	Notes Amended
C	ME	DE	General Amendments
D	ME	DE	General Amendments
E	ME	DE	General Amendments
F	ME	DE	Issued for Planning
G	ME	DE	Issued for Contractor with dims
H	ME	DE	Amended for Planning
J	ME	DE	Amended for LDC valuation

1. Existing balcony, new and existing steps to be removed
2. Windows to be oversized
3. Windows to be replaced with double glazed units
4. Windows to be replaced with double glazed units
5. Windows to be replaced with double glazed units
6. Windows to be replaced with double glazed units
7. Windows to be replaced with double glazed units
8. All SP's and DTP's to be replaced
9. All SP's and DTP's to be replaced
10. All SP's and DTP's to be replaced



4.0

Images of uncovered vault



Uncovered Vault showing partial slab



Uncovered Vault showing walls towards the back in more detail



Uncovered Vault showing condition of walls



Existing water mains stop cock on vault wall to be relocated to kitchenette

