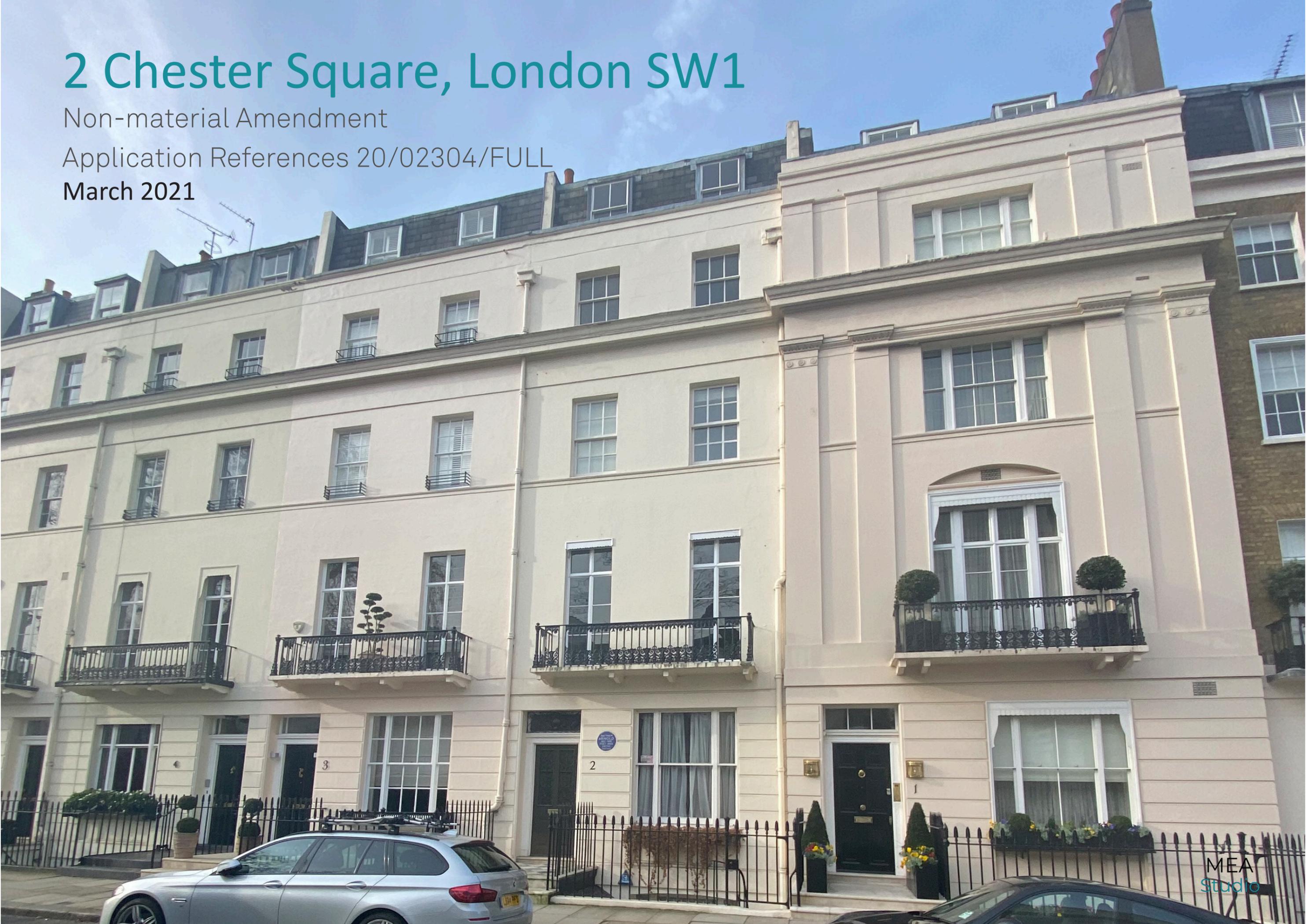


# 2 Chester Square, London SW1

Non-material Amendment

Application References 20/02304/FULL

March 2021



Document Control	
Document Title	1901(RP)004
Contributions	Megan Ebanks
Company	MEA Studio Ltd
Location	London
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Date	16 <sup>th</sup> March 2021
Details	Non-material Amendment
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Title	Director
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## Contents

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1.0

Executive Summary

## No.2 Chester Square Executive Summary

The proposed refurbishment at No.2 Chester Square was originally granted Planning Permission and Listed Building Consent on 9th September 2020 with the respective Application References 20/02304/FULL & 20/02305/LBC.

This report is a summary of the minor amendments that has altered the original proposed design in one internal area. The amendment is the profile of the new slab to the opened up under pavement vault at lower ground floor. Instead of a flat slab, we would like to recess the central portion to increase the headroom for ease of access.

### New slab profile to the uncovered under pavement vault

As originally proposed and approved, the modern infill wall to the under pavement vault has been removed. We discovered a very damp vault beyond but the walls and ceiling are structurally sound. The floor however is a mix of dirt, a portion of concrete slab and some rubble. We would like to propose that the new slab to go in would have a recess in the centre to be able to stand up. We propose a recess in the centre so we do not disturb the existing foundations of the vault. We would also cast 3 steps to go down into the recessed part.

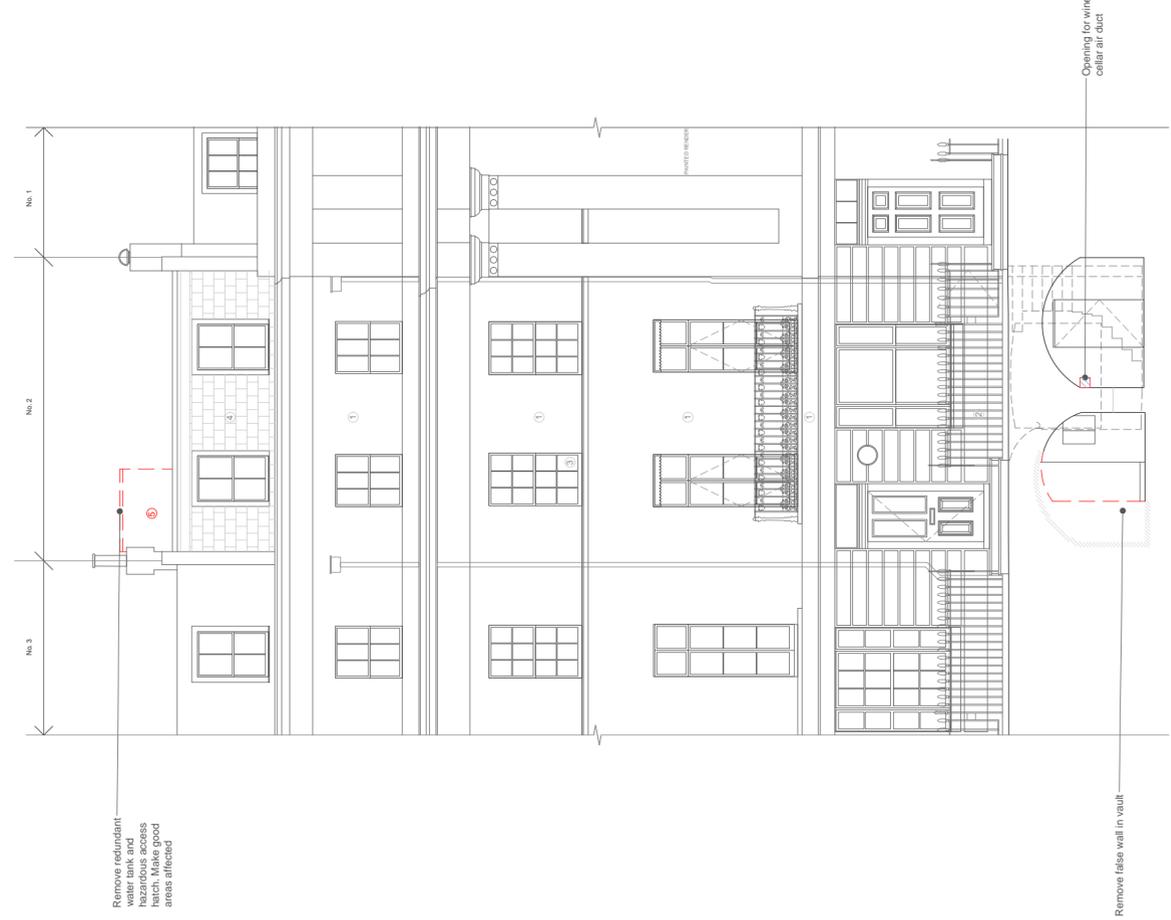
Please refer to drawings 1901-P12-099, 1901-P12-201, 1901-P12-300, 1901-P-099, 1901-P-201 and 1901-P-300 for more information.

We have included a historic addendum at the back of this report which explains how we will not be altering the original vault.

2.0

## Permitted Planning Drawings





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 For MEA's electronic information see: [www.meastudio.co.uk/information/index.html](http://www.meastudio.co.uk/information/index.html)

Project: 2 Chester Square  
 Client: Annie Blunden  
 Drawing Title: Front Elevation  
 Demolitions: 1.5B @ A1  
 Drawing Number: 1501-P-72-300  
 1:100 @ A3  
 1.5B @ A1  
 Project No: 1901  
 Revision: D  
 Revision Date: 200618  
 Y1 AM DD

Notes:  
 1. Existing masonry, brick and window frames to be retained.  
 2. Windows to be overhauled and replaced by new units where possible.  
 3. Existing masonry to be repaired and repointed and strengthened with mortar.  
 4. Existing masonry to be repaired and repointed and strengthened with mortar.  
 5. Existing masonry to be repaired and repointed and strengthened with mortar.  
 6. Existing masonry to be repaired and repointed and strengthened with mortar.  
 7. Existing masonry to be repaired and repointed and strengthened with mortar.  
 8. Existing masonry to be repaired and repointed and strengthened with mortar.  
 9. Existing masonry to be repaired and repointed and strengthened with mortar.  
 10. Existing masonry to be repaired and repointed and strengthened with mortar.

Material Legend:  
 1. Demolition  
 2. Existing masonry  
 3. New masonry  
 4. New window frames  
 5. New window frames  
 6. New window frames  
 7. New window frames  
 8. New window frames  
 9. New window frames  
 10. New window frames

Scale 1:50

Remove redundant hazardous access hatch. Make good areas affected.

Remove false wall in vault.

Opening for wine cellar air duct.

Revisions	By	CHK	Issued for Comment	Issued for Information	Notes Amended	General Amendments	Issued for Construction	Amended for Planning
A	ME	DE	200215	200215				
B	ME	DE	200306	200306				
C	ME	DE	200421	200421				
D	ME	DE	200618	200618				

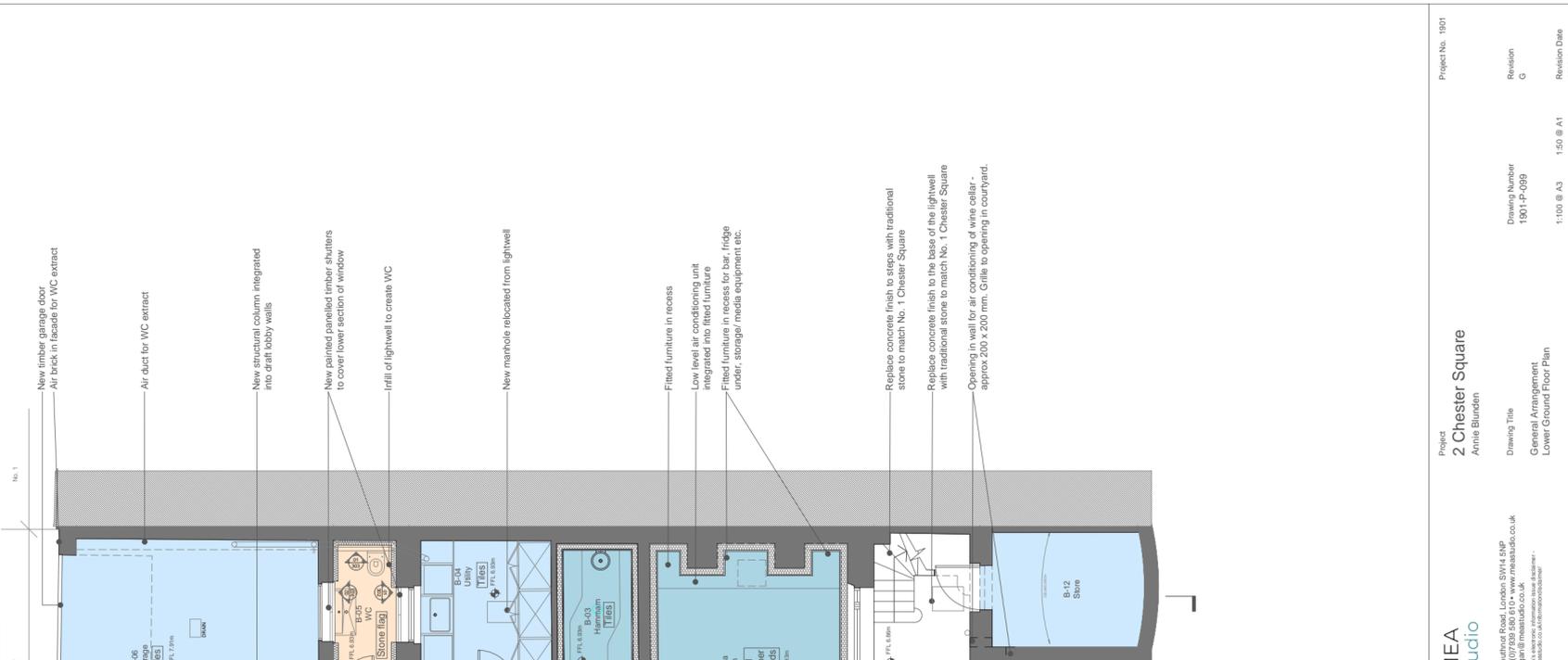
ME Studio  
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 For MEA's electronic information see: [www.meastudio.co.uk/information/index.html](http://www.meastudio.co.uk/information/index.html)

Project: 2 Chester Square  
 Client: Annie Blunden  
 Drawing Title: General Arrangement Lower Ground Floor Plan  
 Demolitions: 1.5B @ A1  
 Drawing Number: 1501-P-72-300  
 1:100 @ A3  
 1.5B @ A1  
 Project No: 1901  
 Revision: G  
 Revision Date: 200618  
 Y1 AM DD

Notes:  
 1. Existing masonry, brick and window frames to be retained.  
 2. Windows to be overhauled and replaced by new units where possible.  
 3. Existing masonry to be repaired and repointed and strengthened with mortar.  
 4. Existing masonry to be repaired and repointed and strengthened with mortar.  
 5. Existing masonry to be repaired and repointed and strengthened with mortar.  
 6. Existing masonry to be repaired and repointed and strengthened with mortar.  
 7. Existing masonry to be repaired and repointed and strengthened with mortar.  
 8. Existing masonry to be repaired and repointed and strengthened with mortar.  
 9. Existing masonry to be repaired and repointed and strengthened with mortar.  
 10. Existing masonry to be repaired and repointed and strengthened with mortar.

Material Legend:  
 1. Demolition  
 2. Existing masonry  
 3. New masonry  
 4. New window frames  
 5. New window frames  
 6. New window frames  
 7. New window frames  
 8. New window frames  
 9. New window frames  
 10. New window frames

Scale 1:50



Notes:  
 1. Existing masonry, brick and window frames to be retained.  
 2. Windows to be overhauled and replaced by new units where possible.  
 3. Existing masonry to be repaired and repointed and strengthened with mortar.  
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 8. Existing masonry to be repaired and repointed and strengthened with mortar.  
 9. Existing masonry to be repaired and repointed and strengthened with mortar.  
 10. Existing masonry to be repaired and repointed and strengthened with mortar.

Material Legend:  
 1. Demolition  
 2. Existing masonry  
 3. New masonry  
 4. New window frames  
 5. New window frames  
 6. New window frames  
 7. New window frames  
 8. New window frames  
 9. New window frames  
 10. New window frames

Scale 1:50

Revisions	By	CHK	Issued for Comment	Issued for Information	Notes Amended	General Amendments	Issued for Construction	Amended for Planning
A	ME	DE	200215	200215				
B	ME	DE	200306	200306				
C	ME	DE	200421	200421				
D	ME	DE	200618	200618				

Revisions	By	CHK	Issued for Comment	Issued for Information	Notes Amended	General Amendments	Issued for Construction	Amended for Planning
A	ME	DE	200215	200215				
B	ME	DE	200306	200306				
C	ME	DE	200421	200421				
D	ME	DE	200618	200618				



3.0

Updated Planning Drawings

NOTE: Many lower ground modern floor coverings were discovered to have low level asbestos in the bitumen adhesive. All floor coverings are vinyl/linoleum and are to be carefully removed by specialist contractor.

ROAD  
EATON MEWS SOUTH

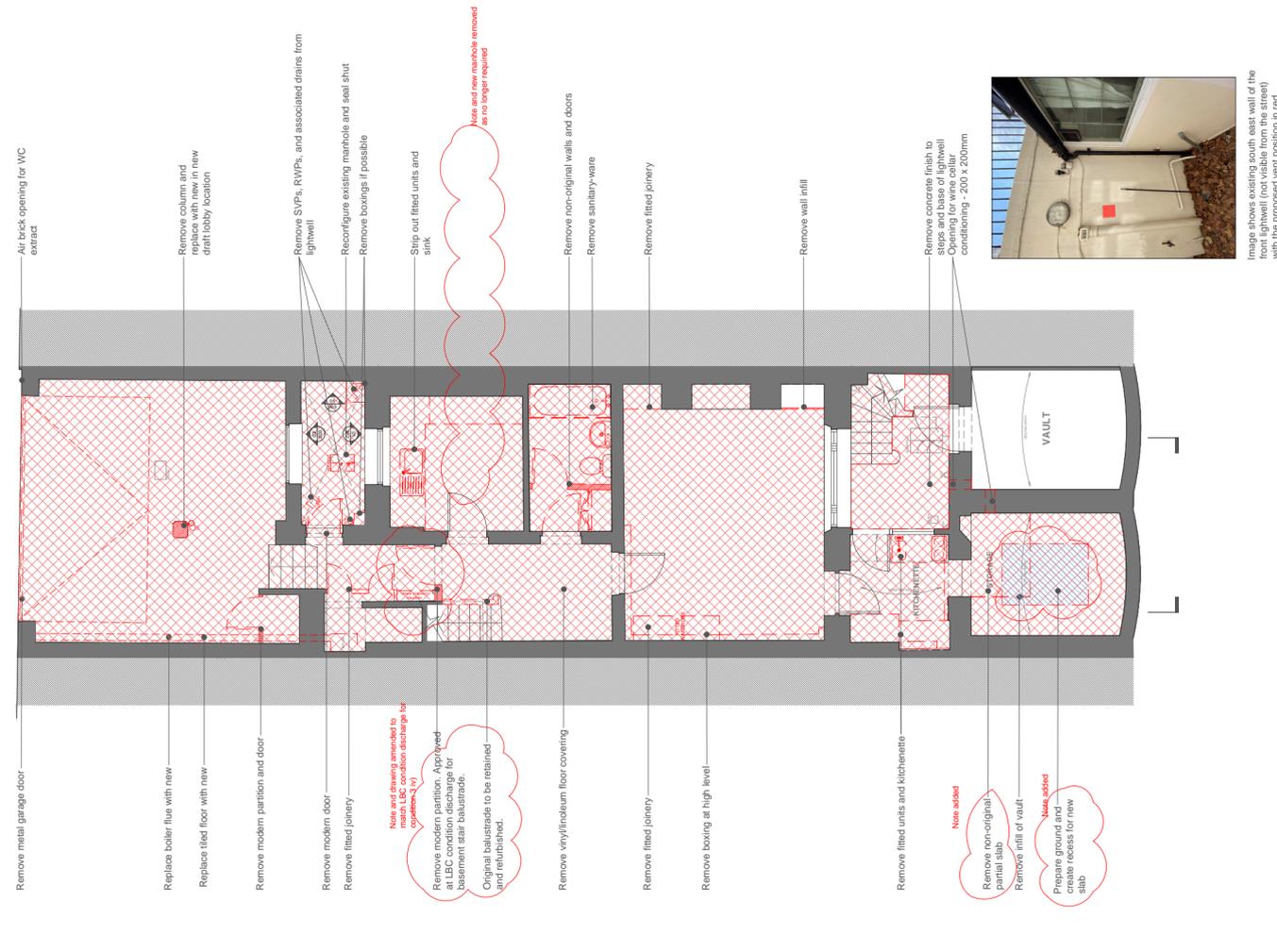


Image shows existing south east wall of the front lightwell (not visible from the street) with the proposed vent position in red.

Revisions

By	CHK	Issued for Information
A	ME	General Amendments
B	ME	Issued for Planning
C	ME	Issued for Consent with CDM
D	ME	Approved for LBC condition
E	ME	
F	ME	

Notes

1. Existing sanitary-ware, kitchen and bathroom fittings to be removed.
2. Windows to be overhauled and replaced with new units where applicable.
3. Repaired and strengthened in place.
4. Repaired and strengthened in place.
5. Existing services to be removed.
6. Existing services to be removed.
7. All SPVs and RWPs to be removed.
8. All SPVs and RWPs to be removed.
9. All SPVs and RWPs to be removed.
10. All SPVs and RWPs to be removed.

Demolition

- Removal of non-original floor coverings
- Removal of walls
- Opening for window, door, rooflight or services
- Existing walls

Scale 1:50

Project  
2 Chester Square  
Annie Blunden

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Project No. 1901

Drawing Title  
Demolitions  
Lower Ground Floor Plan

Drawing Number  
1901-P12-069

Revision  
P

1:100 @ A3

1:50 @ A1

Revision Date  
21/03/22

Y1 AM DD



Revisions

By	CHK	Issued for Information
A	ME	General Amendments
B	ME	Issued for Planning
C	ME	Issued for Consent with CDM
D	ME	Approved for LBC condition
E	ME	
F	ME	

Notes

1. Existing sanitary-ware, kitchen and bathroom fittings to be removed.
2. Windows to be overhauled and replaced with new units where applicable.
3. Repaired and strengthened in place.
4. Repaired and strengthened in place.
5. Existing services to be removed.
6. Existing services to be removed.
7. All SPVs and RWPs to be removed.
8. All SPVs and RWPs to be removed.
9. All SPVs and RWPs to be removed.
10. All SPVs and RWPs to be removed.

Demolition Legend

- Demolition
- Removal of non-original floor coverings
- Removal of walls
- Opening required

Scale 1:50

Project  
2 Chester Square  
Annie Blunden

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Project No. 1901

Drawing Title  
Demolitions  
Section BB

Drawing Number  
1901-P12-201

Revision  
P

1:100 @ A3

1:50 @ A1

Revision Date  
21/03/22

Y1 AM DD



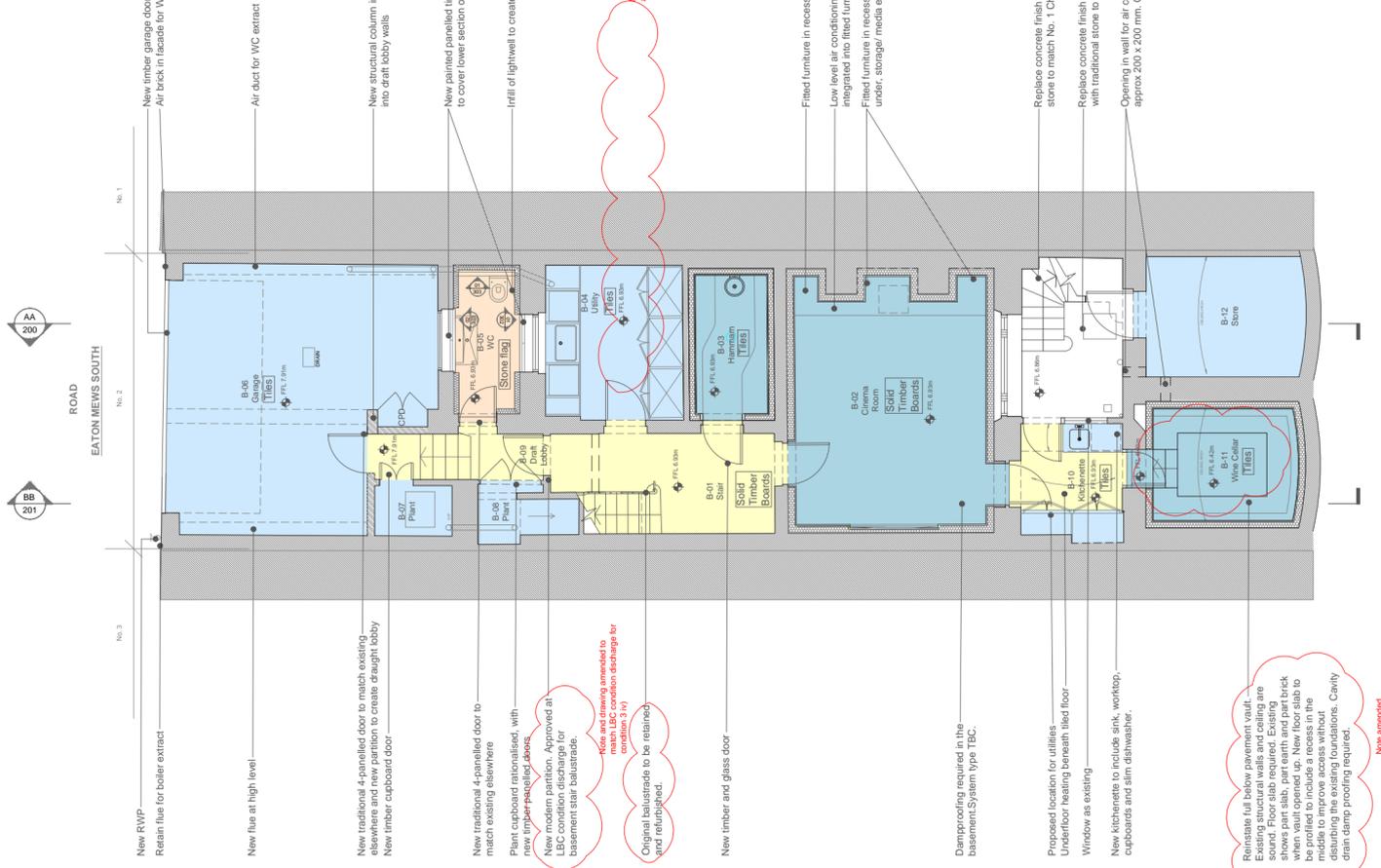
<p>Remove redundant hazardous access hatch. Make good areas affected</p> <p>Remove false wall in vault</p> <p>Create recess for new slab</p> <p><b>Now added</b></p>	<p>Remove opening for wine cellar air duct</p>
--	--

Notes

1. Existing structure, shown and not to be removed.
2. New structure, shown and not to be removed.
3. Structure to be demolished.
4. Structure to be retained, shown with dashed lines.
5. Structure to be retained, shown with dotted lines.
6. Structure to be retained, shown with solid lines.
7. Structure to be retained, shown with solid lines and a red outline.
8. Structure to be retained, shown with solid lines and a red outline.
9. Structure to be retained, shown with solid lines and a red outline.
10. Structure to be retained, shown with solid lines and a red outline.

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Project: 2 Chester Square  
 Annie Blunden  
 Drawing Title: Front Elevation  
 Demolitions: 1:100 @ A3  
 1:50 @ A1  
 Drawing Number: 1801-PZ-300  
 Revision: E  
 Revision Date: 21/03/22  
 Project No: 1901  
 Y1 AM DD



<p>Remove redundant hazardous access hatch. Make good areas affected</p> <p>Remove false wall in vault</p> <p>Create recess for new slab</p> <p><b>Now added</b></p>	<p>Remove opening for wine cellar air duct</p>
--	--

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Project: 2 Chester Square  
 Annie Blunden  
 Drawing Title: General Arrangement Lower Ground Floor Plan  
 Drawing Number: 1801-PZ-059  
 Revision: F  
 Revision Date: 21/03/22  
 Project No: 1901  
 Y1 AM DD



4.0

Historic Addendum

## Historic Addendum

As mentioned in the Heritage statement submitted with the main planning application, the existing vault space had been shortened and a large portion of the original vault walled off. The reinstatement of the vault would enhance the significance of the listed building.

On the following pages, we have included images of the vault as existing, before and after we have removed the wall infill. These photos highlight the area of modern slab as existing and the rest of the rubble floor of the vault where it had been blocked off.

We do not consider the proposed slab profile to the reinstated vault to be harmful to the building because it is a small lowering, not affecting the existing foundations and is far less harmful than lowering the entire floor. The slab will provide a space to stand whilst simultaneously respecting the existing vault.

On the last page, we have included a sketch from the structural engineer showing the slab profile solution which is sympathetic to the existing historic fabric of the building and avoids putting pressure on the existing foundations.

Existing condition of under pavement vault prior to removing the infill wall

The existing vault was partially blocked off with a heavy plaster wall. There was a hole access to reach the mains water stop cock to the right. In the planning application we gained permission to remove this partition as it has no historical significance in order to reinstate the vault beyond.



- 01. Opening to access the stop cock for the mains water
- 02. Wall infill to vault

— Existing vault condition



- 01. Opening to review the depth of the vault hidden beyond
- 02. Existing modern concrete slab

— Vault at the beginng of the opening up works showing the partial concrete floor slab

### Existing condition of under pavement vault after removing the infill wall

The existing vault beyond the wall infill is very damp but structurally sound. The existing concrete slab only covers part of the vault floor with the rest being hardcore. The proposal for the slab profile would not affect the foundations and the vault will be damp proofed with a cavity drain membrane. The lining to the vault will follow the wall and roof form.



- 01. Partial concrete slab which was visible on the house side of the removed infill wall
- 02. Rest of the vault floor is hardcore and earth

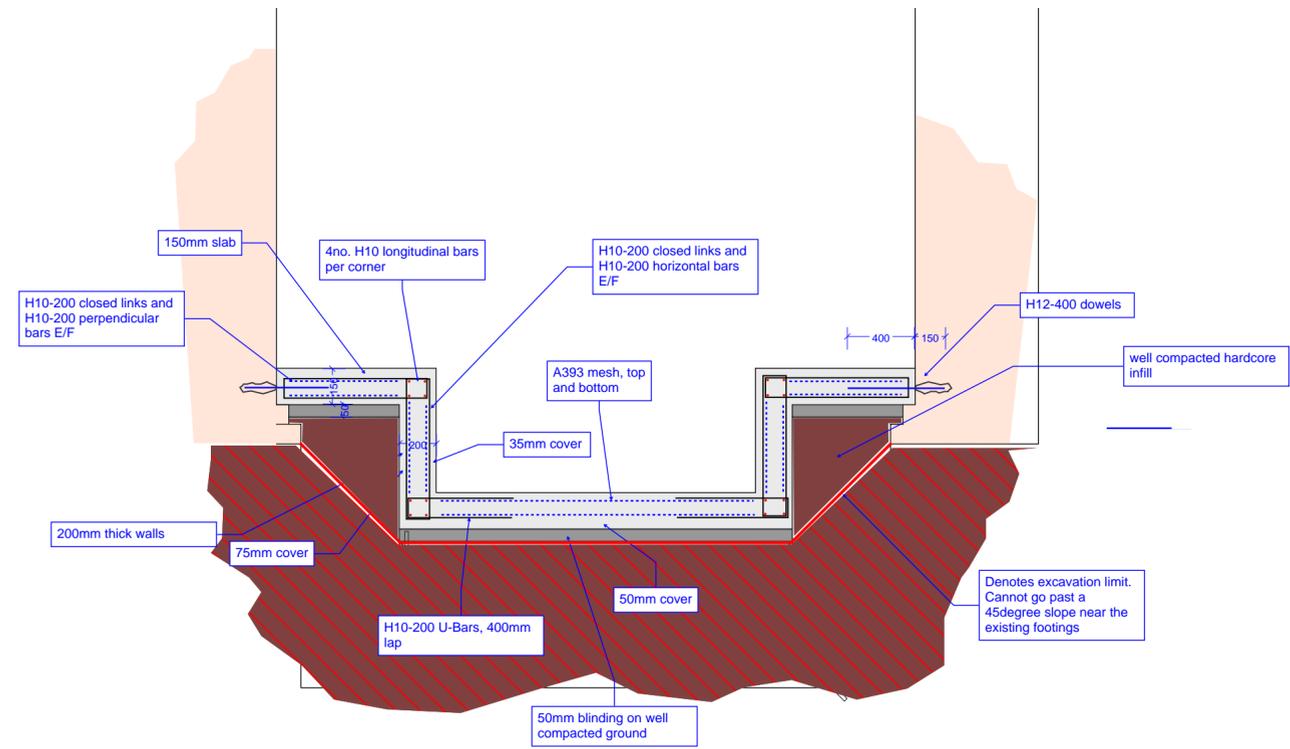
— Existing vault after the removal of the infill wall. The partial existing concrete slab is visible in the foreground



— Uncovered Vault showing condition of walls



— Existing water mains stop cock on the vault wall to be relocated to the kitchenette



TYPICAL SECTION AND REINFORCEMENT INTENT

— Structural proposal which avoids any pressure on the existing foundations by keeping a 45 degree zone clear

