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9 LANGDON AVENUE - DESIGN AND ACCESS STATEMENT

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DESIGN AND ACCESS STATEMENT

9 Langdon Avenue

Ash

CT3 2BP

Introduction

This Design and Access Statement has been prepared to support the planning application to Dover District Council for single storey rear and side extensions to 9 Langdon Avenue, Ash

The Design and Access Statement provides an explanation of the design and principles which have informed the proposal and how it is accessed.

Planning Context

The site is located within the Ash settlement boundary, it is not located within designated land. There are no Article 4 designations which cover the property.



Proposed view - Rear

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Location

The property is located at the end of Langdon Avenue, an unmade cul-de-sac leading from New Street. The property is well set back from the street with a front garden and a driveway. To the south and west (rear) the property faces open countryside, to the north east side the property is adjacent to No.8.

Langdon Avenue is a residential street with a mix of property types and ages. The street is predominantly single storey homes of the similar age with some older 2 storey homes. A number of the properties to the street have been modified including single storey extensions and conservatories. Directly to the east of the property is a single storey new build home to the site of the old tractor shed, approved December 2019 including change of use to residential.

Existing Property

The existing property is a single storey 3 bedroom detached bungalow built in the late 1960's. The property has had a number of modifications and additions over the years, including a flat roof single storey extension to the side and rear containing the living room, a conservatory to the rear, and a detached garage to the side and front as well as the addition of a roof window. The existing property has a white textural rendered facade, white UPVC framed windows and conservatory, and aluminium framed glazed doors to the garden. The main roof is clay tiles with a flat roof to the side/ rear extension and garage.



Existing Site Location

Not To Scale

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1. Rear garden
2. Front garden
3. Rear patio
4. Rear patio
5. Side passage
6. Rear garden



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- 7. Front garden
- 8. South west along Langdon Avenue
- 9. North east along Langdon Avenue
- 10. South west along Langdon Avenue
- 11. Rear garden
- 12. Rear garden



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Proposed Works

The proposal involves the demolition of the existing garage and conservatory. The existing extension will be retained and integrated with new matching single storey extensions to the side and rear, as well as a loft conversion, roof windows and associated alterations to the chimney.

To the rear large glazed doors will significantly improve the relationship with the garden and open up views to the countryside beyond. A free-standing timber sunshade runs to the width of the property to provide solar shading to the south facing spaces, create a covered seating area to the patio and provide character to the home.

Access

The primary pedestrian and vehicle access to the property will not be changed as part of the proposed works. The existing garage will be demolished, however this is not currently used for car parking and the existing driveway to the front provides sufficient off street parking.



Existing Ground Floor Plan
Not To Scale



Proposed Ground Floor Plan
Not To Scale

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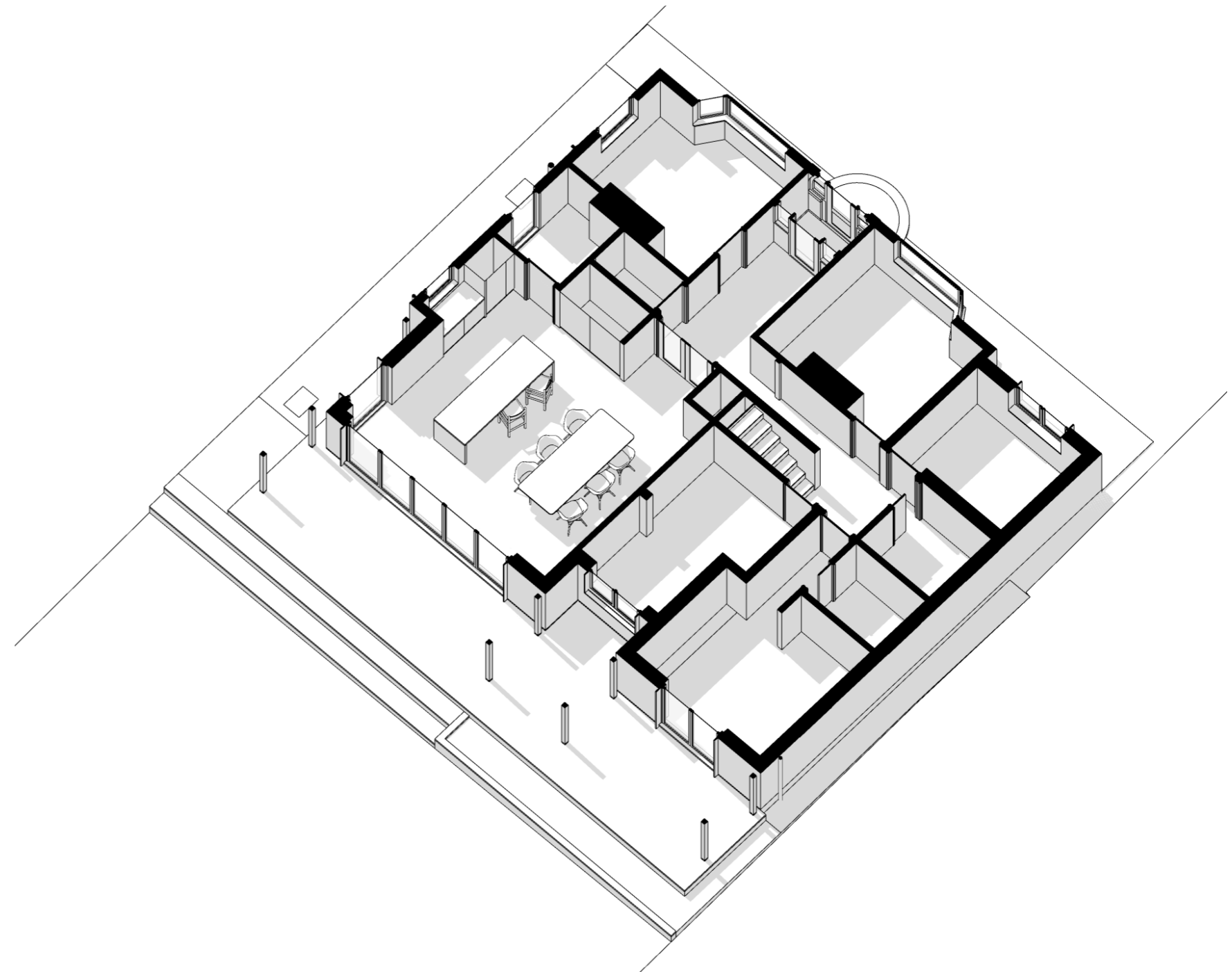
Residential Amenity

The proposed works will significantly improve the amenity and liveability of the property and create a modern and practical family home. The existing ground floor layout has poor internal circulation with bedrooms and living spaces mixed together across the single floor. The living room and kitchen are located at opposite ends of the home from each other with the small kitchen only accessed through the dining room.

The proposed layout will create:

- A practical internal layout with a clear arrangement of spaces to create distinct living and sleeping wings to the home.
- Strong views through the house with improved views to the garden and countryside beyond.
- Key spaces are orientated to benefit from improved natural light and relationship with the outside.
- A large open plan kitchen/ dining room that forms the heart of the home.
- An additional bedroom and bathroom as well as usable loft rooms to contain a study and play room.
- A consolidated utility space and back door that addresses practical family needs.

The proposed layout aims to minimise impacts on neighbouring properties and their amenity. Appropriate measures have been included to mitigate overlooking and loss of privacy with the neighbouring property, including high level obscure glass windows to the side elevation and screen planting facing No.8. The single storey extension is of the same height as the existing extension and demolished garage and will therefore not cause additional overshadowing to adjacent property.



Proposed Cutaway Axo View
Not To Scale

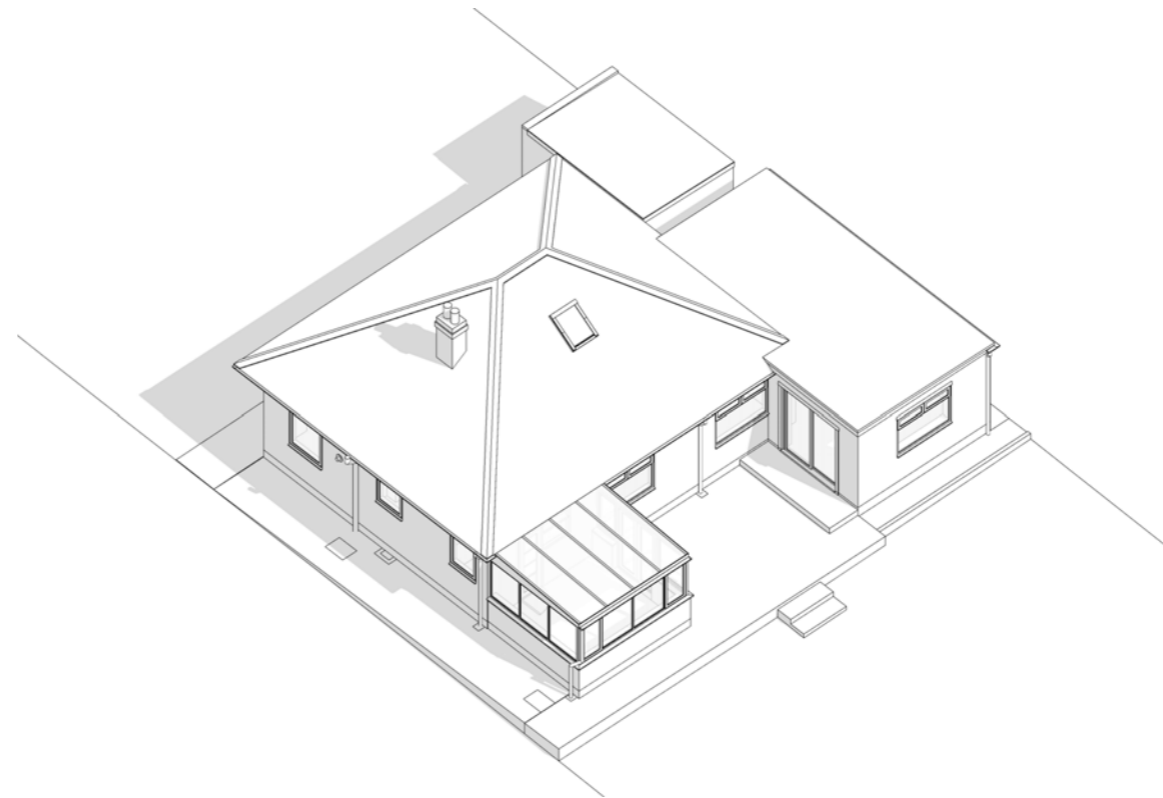
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Massing

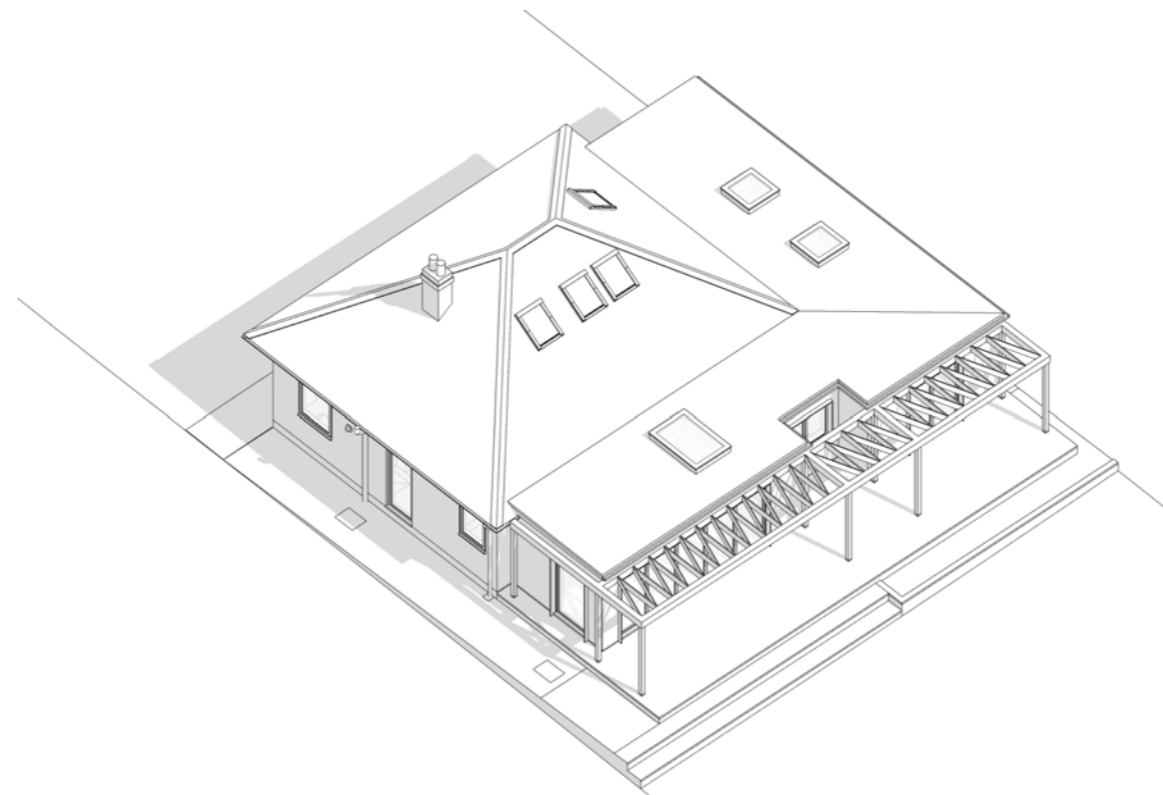
Key to the design is ensuring that the new additions do not dominate the original house and that the original form of the bungalow is clearly maintained when viewed from the street and the side facing the countryside. Both the flat roofed side and rear extensions are set back from the existing building lines to ensure that the original house is differentiated from the new form.

To the rear the property is transformed to provide a singular new form facing the garden with the timber sun shade structure adding character and providing a distinct appearance. The rear extension replaces the existing conservatory and infill's the space between it and the previous extension to the same depth and height but with an indent to the rear building line to break down the scale of the elevation. To the side facing No.8 the massing is similar to the existing ensuring the current relationship and scale are maintained. The side extension replaces the existing garage but with a smaller footprint that is set back from the primary frontage.

The scale and form of the proposed extensions are entirely in keeping with the house and are similar to the previous additions. In fact the main difference in footprint is the infilling of the area between the existing extension and conservatory. The proposal will therefore not appear disproportionate with the house or surrounding area. The new side and rear extensions will be fully integrated with the existing extension so that it reads as a whole to provide a distinct new form and clear delineation between the original pitched roof house and a singular flat roofed addition.



Existing Axo View
Not To Scale



Proposed Axo View
Not To Scale

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Materials

The design compliments the original house and whilst there is a clear hierarchy of built forms, a consistent materiality is applied across the whole building. The new extensions continue the textural rendered facade of the existing house and later additions, but with contemporary detailing and the addition of natural timber to the material palette.

The combined flat roofed additions are clearly modern in their detailing, providing a subtle difference in appearance that further emphasises the relationship between original bungalow and newer additions.

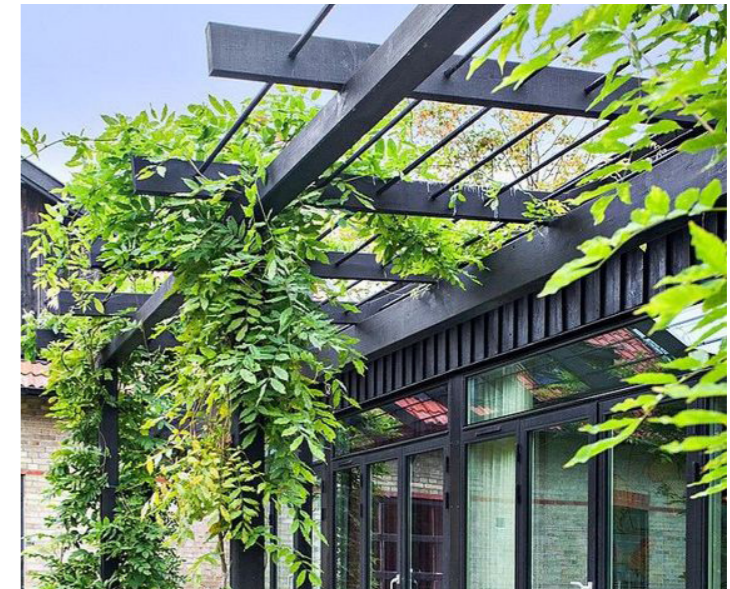
The new flat roof will be a simple flat roof membrane and will include recovering the existing flat roof to provide a consistent roof finish.

The sunshade element to the rear is a free standing natural timber structure, climbing plants will be encourage to grow over the structure in order to create a dappled canopy to the patio seating area.

Windows and glazed doors to the singular flat roofed building form will be grey coloured aluminium and UPVC framed with timber surrounding the windows to provide visual interest and a connection between the sunshade and building. Replacement windows and doors to the original pitched roof house will be white UPVC to match the existing.



Proposed Material Palette



Precedent Projects

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Summary

The proposal satisfies the requirements of the NPPF and the Dover District Council Local Plan. It is a high quality design that is considered, well detailed, and an individual response to the site and the existing building. The proposal significantly improves the liveability and amenity of the home and represents a sustainable design that maximises access to natural light.

The design is a complimentary but contemporary addition to the home that will enhance its appearance and transform the rear. The design ensures that from the street front and open countryside the original house form is still visible and is not dominated by the proposed extension. The scale and form are entirely in keeping with the house and will not appear disproportionate with the surrounding area. Impacts on the neighbouring properties have been minimised, the proposal will not result in additional shadowing and appropriate measures have been incorporated to mitigate overlooking and loss of privacy.

The property is not located within designed land, however as the total size of enlargement of the combined existing side extension and new rear extension will be more than half the width of the original house planning permission is sought. The fall-back position under permitted development would be to separate the new rear extension from the previous side extension. The proposed design is preferable however as it improves the internal layout, the fall-back will also create an awkward external patio space.



Proposed view - Rear