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HERITAGE ASSESSMENT
EAST GABLE SOUTH RANGE
MANOR FARMHOUSE, NETHER WINCHENDON

1. Introduction

This Heritage Assessment, together with the structural report produced by SFK Consulting, is provided in response to the Heritage Advice provided by Morwenna Breen-Haynes, Heritage Officer at Buckinghamshire Council to identify the heritage impact of the proposed works.

2. Reference documents

2.1. Response for Heritage Advice at Manor Farm House, Nether Winchendon

28th October 2020

Morwenna Breen-Haynes, Heritage Officer

Planning, Growth & Sustainability

Buckinghamshire Council

2.2. Chimney Stack, East Gable, South Range, Manor Farmhouse, Nether Winchendon

3rd November 2020

Richard Swift

SFK Consulting

2.3. Chimney Stack, East Gable South Range, Manor Farm House, Nether Winchendon

16th July 2020

Richard Oxley

Oxley Conservation

3. Existing presentation

The historic fabric to the east gable is concealed behind modern finishes, the cement rendered upper gable and the plasterboard lined internal ground floor accommodation. Consequently, the significance of the concealed fabric is not currently evident.



Fig 1: View of the east facing elevation

The east gable of the south range is on the left [highlighted] behind the 21st century single storey orangery style conservatory extension.

Fig 2: Detail of the upper part of the east gable of south range



photo: The upper part of the east gable is concealed cement-based render.

Fig 3: Internal view of the east face to the base of stack

Right photo: View from within the extension looking towards the south range. The stack and ground floor of the east wall are concealed by modern linings. The window opening [A] was introduced at the same time as the extension. Openings between the 21st century extension and the historic south range of the building have been made or adapted when the extension was built. The door opening created in association with the extension works is highlighted [refer to Figs 4 & 5].



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4. Remaining historic fabric

Drawings and photographs produced in 2011, before the extension was built, enable to appreciate what historic fabric was present and the extent and nature of the work that was carried out.

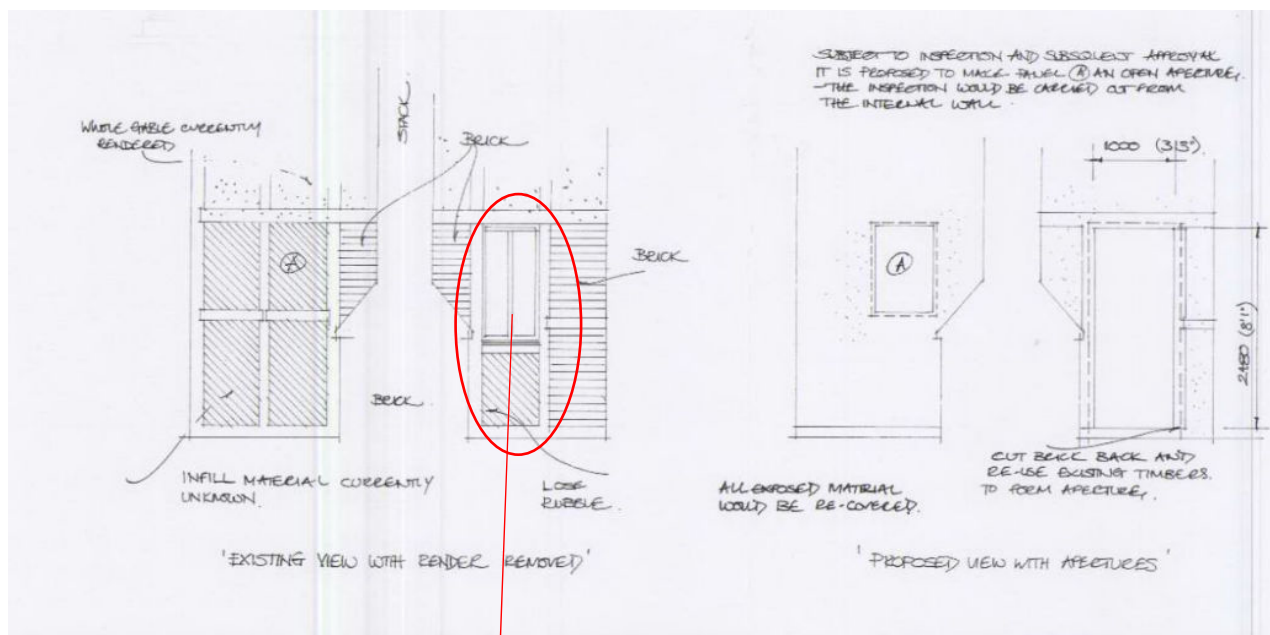


Fig 4: Extract of drawing dated 4th February 2011 submitted as minor amended plans

This drawing is stamp dated 7th February by Building Control for App No 10/02323. The drawing illustrates the exposed fabric and the proposed alterations to the ground floor of the east gable of the south range in 2011.



Fig 6: Detail of the ground floor of the east gable in 2011
Right photo

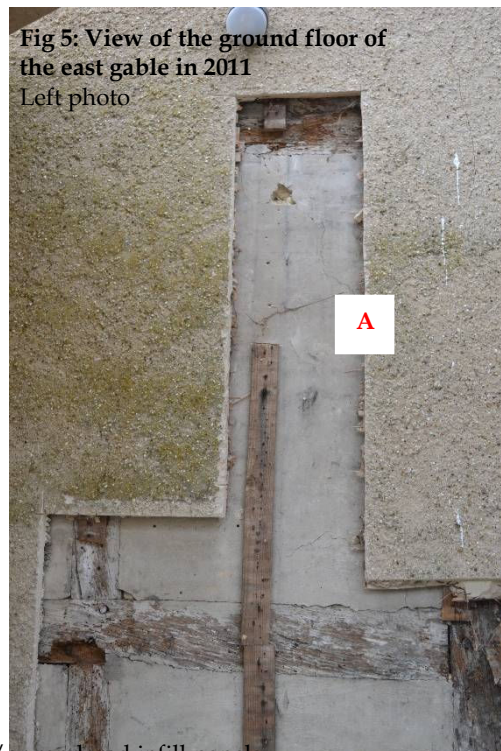


Fig 5: View of the ground floor of the east gable in 2011
Left photo

The removal of the render reveals a surviving timber frame with brick and/or rendered infill panels.

The window and the infill panel below the window to the north [right] of the stack [highlighted] now form the door opening [Fig 3] where the drawing described the works to “Cut brick back and re-use existing timbers to form aperture”. A window opening [A] was created with the removal of an infill panel [Fig 4].

The width of the infill panel [Fig 5] where the door opening is now located [Fig 3] would have been too narrow to accommodate this opening. The opening has been enlarged to provide the existing door opening. This follows the proposed alterations of cutting brickwork back and reusing the timbers to form the door opening [Fig 4]. It is

anticipated that this involved the removal of part, or most probably, the timber frame and infill panels to the north [right] of the door opening.

An infill panel [A] was removed [Figs 3-6] to create an internal window opening in the east gable between the south range and the extension. The historic timber frame and some infill panels were altered to accommodate the extension and associated works.



Fig 7 shows the currently concealed base of the chimney stack. The stack has asymmetrical shoulders.

The base of the stack is built off a small coursed rubble stone plinth and in English bond [alternate stretchers and headers] brickwork that is bedded or repointed in cement mortar. The size of the bricks, smaller than those to the flue, and the bond are indicative of a stack earlier than the late 19th or early 20th century flue.

It is possible the base of the stack has been adapted or comprises of reused bricks, it is anticipated that the base of the stack has early to mid-19th century origins.

The base of the stack is too slender and narrow for an earlier stack, as its size is appropriate for smaller coal burning fire places.

The age and nature of the construction would need to be determined from a closer examination.

Fig 7: Detail of the base of the chimney stack to the east gable in 2011

5. Significance

If the base of the stack predates the mid-19th century it would be considered to be of medium significance.

The flue shaft is late 19th or early 20th century in origin and is considered to be of low significance.

The medieval timber-framed east gable is of high significance.

6. Proposal

- 6.1. Remove the modern linings to each face of the east wall of the south range. This will expose the historic fabric and the extent and nature of alteration carried out in 2011-12.
- 6.2. To remove the full height of the chimney stack to the east of the east gable of the south range.
- 6.3. Repair the timber frame and surviving historic infill panels to the east gable of the south range. This may need to include:
 - 6.3.1. Repair of the north east corner post.
 - 6.3.2. Repair or strengthening of the girding beam to the east gable to carry the first floor.
 - 6.3.3. Repair and consolidate brick infill panels and plaster/render.
 - 6.3.4. Re-render the upper part of the gable with a lime-based render and decorate.

7. Heritage impact

Manor Farm House was built and has continued to be developed and used as a residential building, which is the optimum viable use for the building.

The harm of the proposed works can be justified as they are:

- (i) necessary to secure the preservation of the building, and
- (ii) will make a positive contribution to maintaining the optimum viable use of the building

Even though some limited harm to the significance will be caused by the proposed alterations they are minor in their scale and, relative to the significance of the remainder of the building, are considered to cause less than substantial harm.

- A. Removal of the 21st century linings to expose the historic elements of the wall will enhance the significance, of the house.
- B. The removal of the chimney stack will address structural issues [refer to the separate report produced by SFK Consulting] and remove an ongoing threat to the historic timber frame which is of high significance.

The upper slender shaft is late 19th century or early 20th century and considered to be low significance. The removal of the stack will remove the risks of damage to the timber frame and infill panels caused by continued movement.

The base of the stack predates the upper shaft and is considered to be of low/medium significance in relation to the elements of high significance, such as the medieval timber frame and the massive stacks.

- C. The removal of the chimney stack for structural reasons will provide the opportunity to achieve the following:
 - (i) Repair the historic timber frame and infill panels;
 - (ii) Improve physical and visual connection between the kitchen and the existing conservatory extension. This will provide an important functional connection between these two rooms and will make a positive contribution to maintaining the optimum viable use of the building.

The proposed alterations will result in less than substantial harm, having minimal negative impact on the significance of Manor Farm House whilst allowing the building to continue in full beneficial use.

The works will, therefore, secure the optimum viable use of the building and support the long term conservation of this particularly important building of more than special architectural and historic interest.

The setting of the building will not be affected by the proposed alterations.

Richard Oxley SC DipBldgCons MRICS IHBC

RICS Accredited in Building Conservation

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