

Foundations: 600x300mm concrete foundations 900mm deep to the existing frame foundation to BS 5328. Set foundations below drain runs and protect with 150mm x 100mm AC label over. Provide 35N concrete blockwork below ground level with clean mix earth fill 225mm below the lowest DPC with external DPC 150mm above ground level.

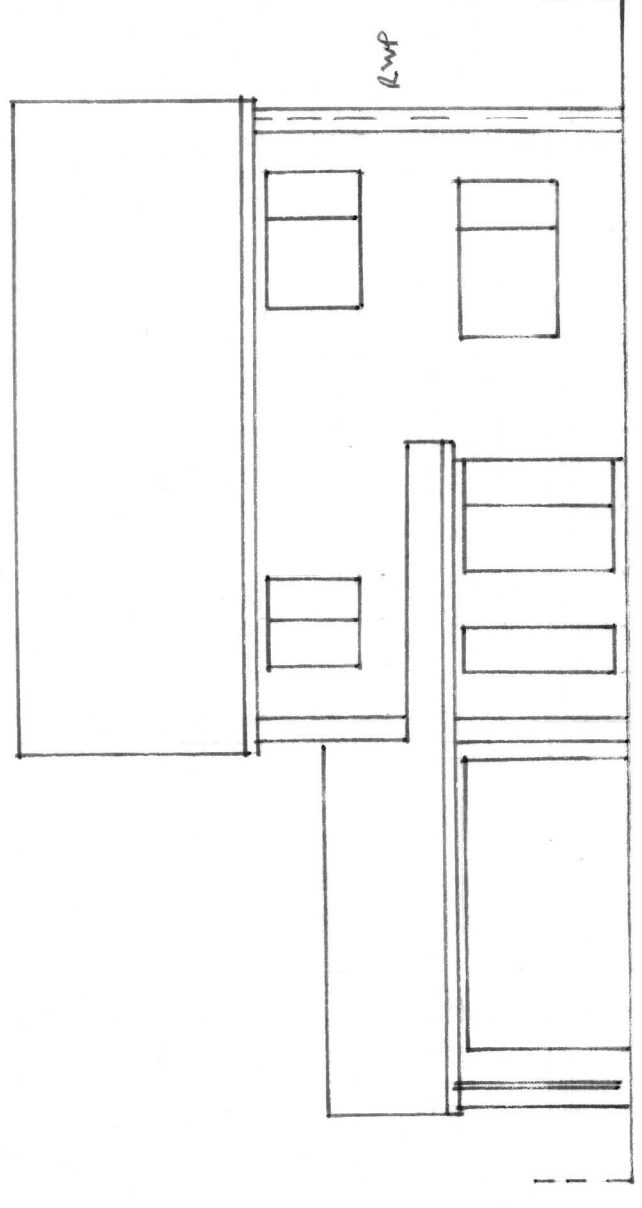
Walls: Garage: External wall built off new foundation as detail of the existing foundation is not long enough on subsistence. Provide 35N concrete blockwork with 100mm cavity filled with 100mm Dithon insulation with clay tile walling to DD140, 750mm height, 450mm vertical stagger and 215mm to reveal up to new joint height. External Garage/Wall: 100x50mm studwork studs at 400mm centres built off the existing garage floor slab with 100mm Kingspan K7 insulation between the studs with 12mm V88 plywood and 125mm plasterboard and stone, fully fire stopped. External Side Wall: 100x50mm studwork studs at 400mm centres built off double up floor joists as necessary with 100mm Rockwool insulation between the studs with 12.5mm plasterboard and stone finish.

External Walls: 100mm blockwork to match existing, 100mm cavity with 100mm Dithon insulation with 100mm thermal break min-leaf 0.12 w/mk with 12.5mm plasterboard and stone. Provide stainless steel walling to DD140, 750mm height, 450mm vertical stagger and 215mm to reveal. Fully bond new walls to existing masonry cavity with unadvised vertical DPCs to reveal. Provide unadvised Battley C840 detail to all external openings to the manufacturers leading details and CSS internally to structural engineers design all with 12.5mm plasterboard and stone finish.

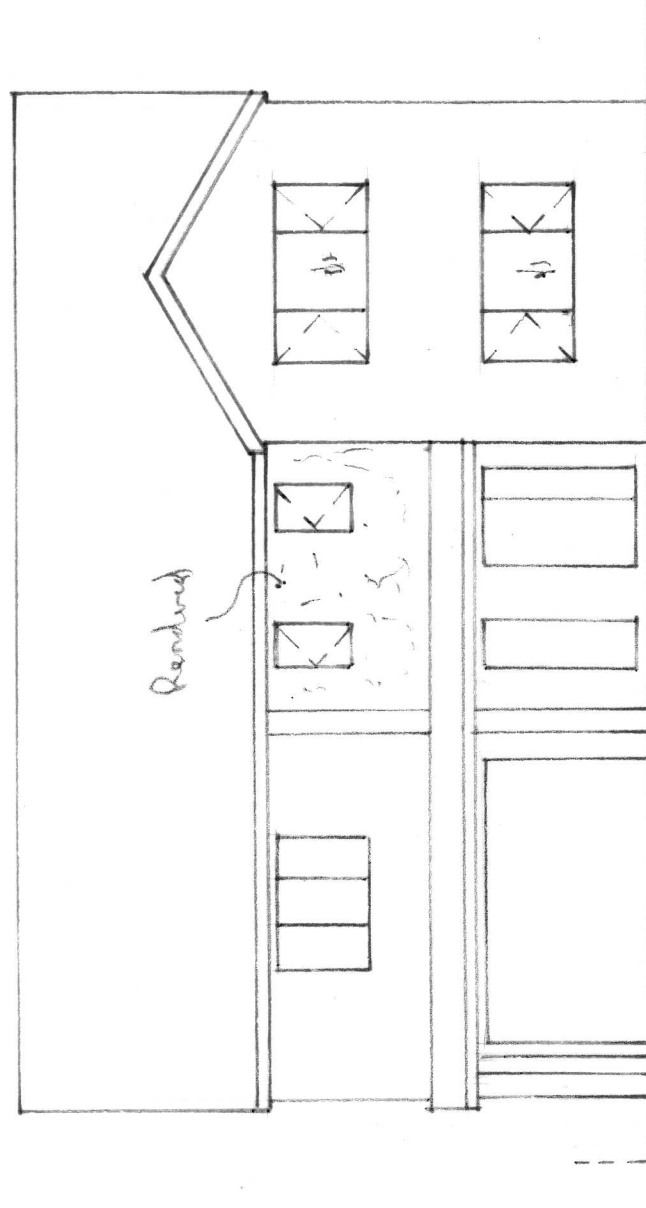
Floors: Garage Floor: 100mm concrete slab on 100mm Kingspan K7 insulation with 25mm concrete upstand on 1500g DPM topped into the new DPC and surrounding DPM on minimum 150mm sand filled consolidated drainage with the new floor level with the existing floor. NB: Kitchen/utility rooms specification as above.

First Floor: 18mm moisture resistant wpc on 22.5mm joists at 400mm centres built into the new and existing walls with solid staining at 1/3 parts and lateral restraint studs over 300 joists at 1.5m centres sealed on 50x50mm wpc on 200mm Rockwool insulation between the joists with 12.5mm plasterboard and stone finish, fire stopped in the garage area.

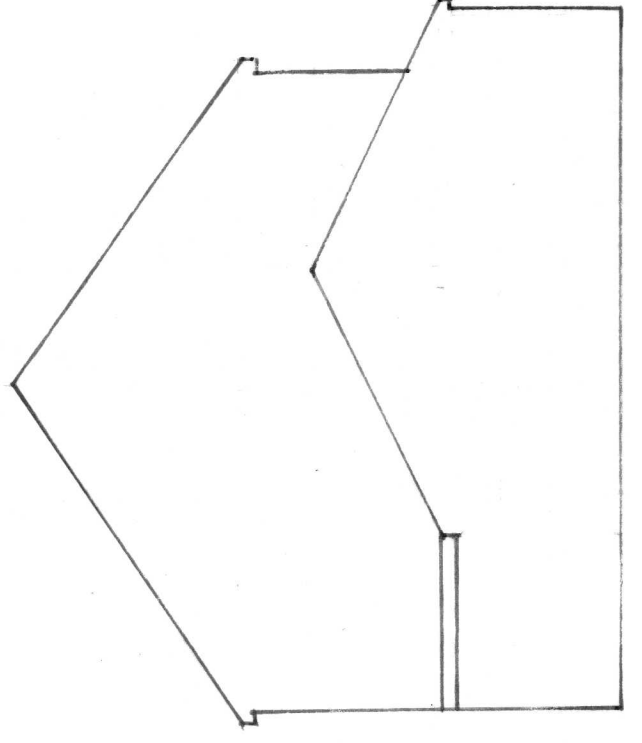
Drainage: Provide a redbrick B117 gully to rear corner into FFI drainage with a 300mm diameter inspection chamber in 100mm UPVC pipework with 150mm guller head and surround with 100mm concrete haunching over lead to 140 falls. Relocate existing SW gully to the front elevation and provide new gully to suit elevation below into the existing SW inspection chamber all to the above specification.



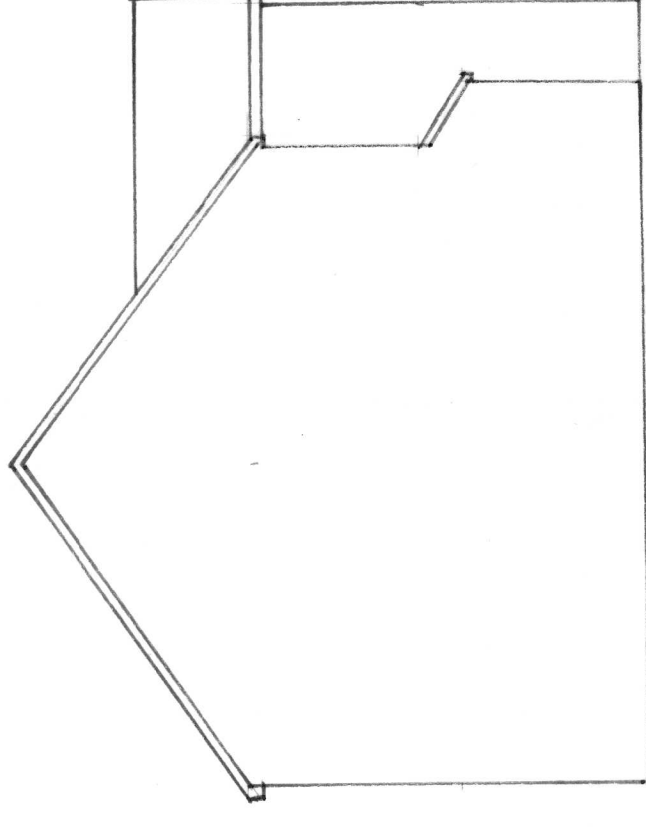
Existing Front Elevation



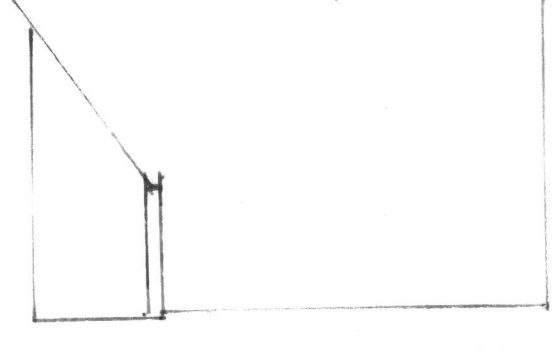
Proposed Front Elevation



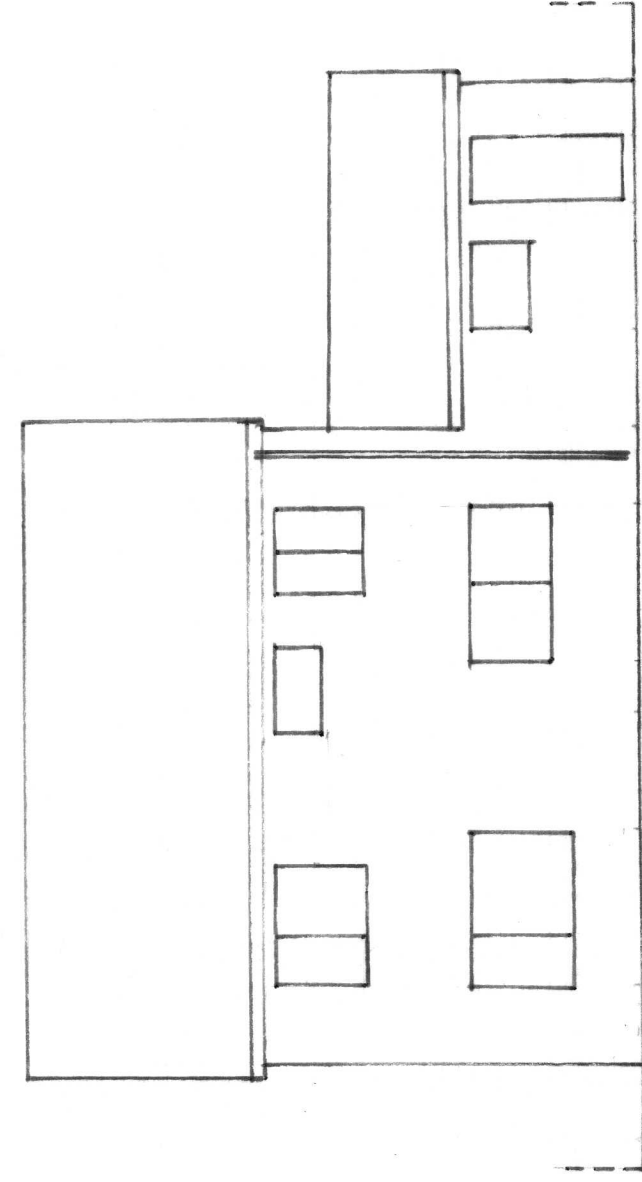
Existing Side Elevation



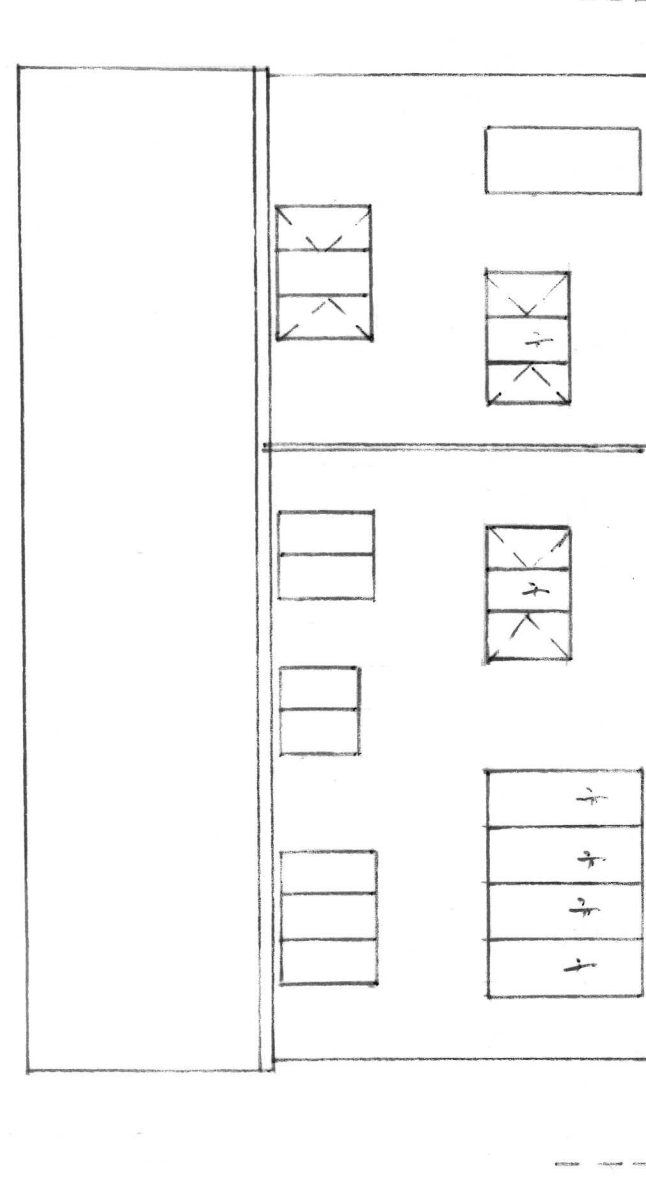
Proposed Side Elevation



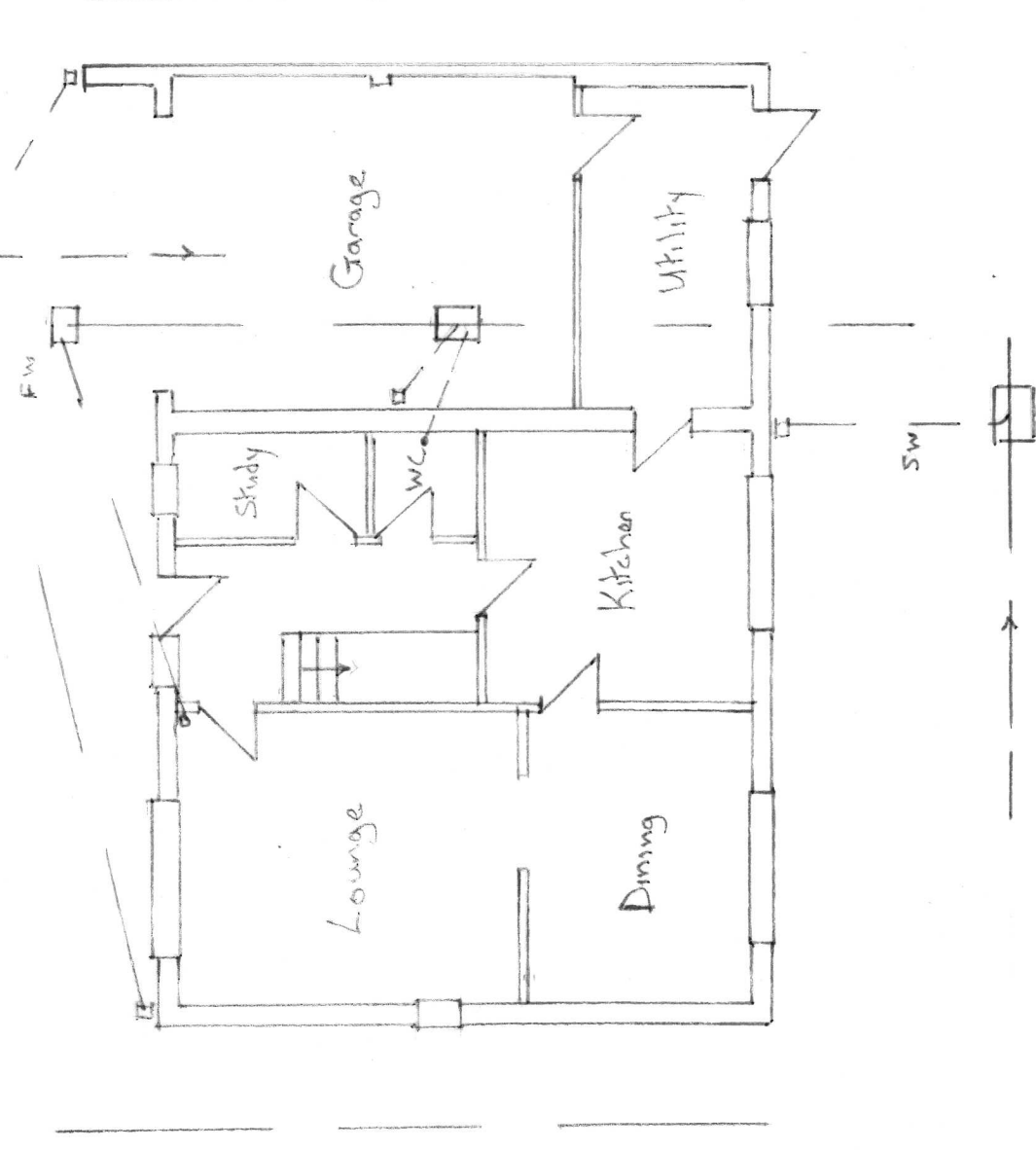
Proposed Roof Elevation



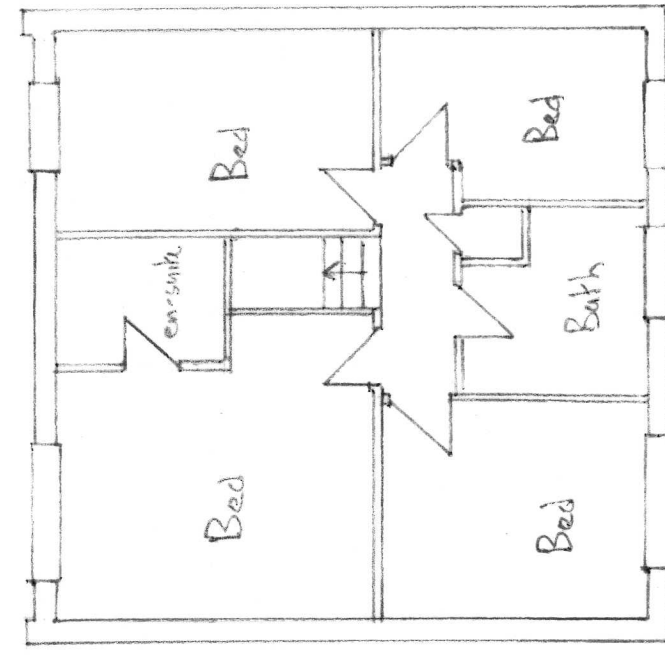
Existing Rear Elevation



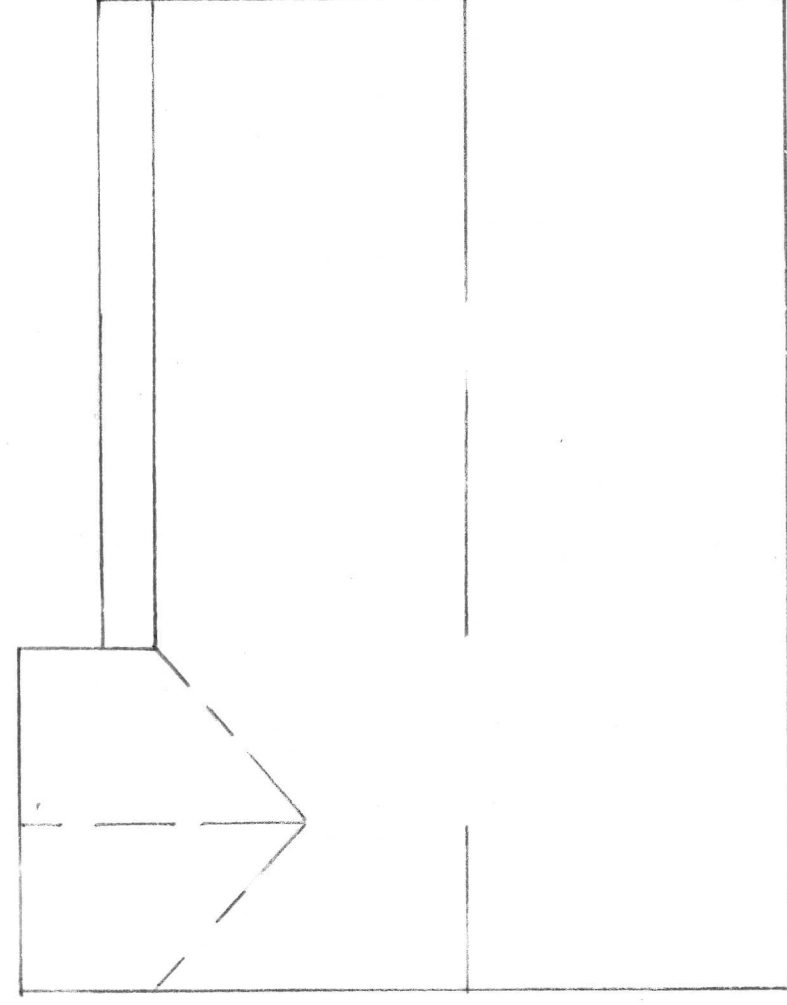
Proposed Rear Elevation



Existing Ground Floor Plan



Existing 1st Floor Plan



Proposed Roof Plan

23, The Chase
2 Storey Side Extension and 2 Storey Front Extension

Scale 1:100