



HOUSE OF COMMONS
NORTHERN ESTATE PROGRAMME

NORMAN SHAW NORTH
PLANNING AND LISTED BUILDING CONSENT APPLICATION

DESIGN AND ACCESS STATEMENT
00NSN-2131-BDP-90-XX-T-AR-RG-00171



Northern Estate Programme

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Norman Shaw North Standalone

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DESIGN AND ACCESS STATEMENT

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Contributions

This report has been produced by Building Design Partnership (BDP) with input from the following project design team members:

BDP.

- Masterplanning
- Architecture
- Interior Design
- Sustainability
- Landscape Architecture
- Architectural Lighting
- Graphics & Wayfinding
- Planning Consultant



Mace & Turner Townsend (MTT)

- Project Manager
- Cost Consultant



Aecom

- Structural Engineer
- Services Engineer



Donald Insall Associates

- Historic Building Consultant (BDP subconsultant)



Centre for Accessible Environments (CAE)

- Accessibility Consultant (BDP subconsultant)



Steer

- Transportation Consultant (BDP subconsultant)



MFD

- Security Consultant (BDP subconsultant)



Litmus

- Catering Consultant (BDP subconsultant)



MOLA

- Archaeological Consultant

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1. Introduction

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1.1 Executive summary

1.1.1 The refurbishment and renewal of Norman Shaw North (NSN) is a key project within the wider programme of development planned for the Parliamentary Northern Estate. While the outcome of the NEP masterplan applications is on hold pending further work arising from the R & R Strategic Review, the House of Commons Commission has decided to proceed with the full refurbishment of Norman Shaw North.

1.1.2 The Norman Shaw North Standalone proposal therefore illustrates a scheme that enables the building to be developed and delivered in advance of the other projects within the NEP Masterplan, and thus is independent of the outcome of the Strategic Review, that effectively paused the original October 2019 applications.

1.1.3 The proposals illustrated within this Design and Access Statement (DAS) document, are therefore premised on those illustrated in October 2019, with adjustments made to reflect the previous masterplan interdependencies with respect to landscape, energy and operational aspects. As per the original application, they seek to preserve the special interest of the building, provide the required quantum of floor space and make the necessary fabric upgrades, particularly to outdated building services, in order to secure the long-term use and benefit the heritage of this Grade I listed building.

1.1.4 The proposals incorporate those essential repair and refurbishment works contained within the October 2020 NSN Envelope Application (20/06649/FULL and LBC 20/06650/LBC, which was consented on 3 February 2021), to bring together a total and coherent application for the building.

1.1.5 The NSN Standalone proposals have been developed to be delivered as an independent package of internal and external works to the building, whilst also being designed to be compatible with a comprehensive package of envelope works including the external refurbishment of NSN, or as a constituent part of a wider masterplan for the Northern Estate. As such the standalone proposals are compatible with and do not preclude the determination of the October 2019 NEP2 applications.

1.1.6 In essence, the proposals seek to safeguard the condition and continued use of the building for the long term. These are positive proposals that would, overall, preserve the significance of the listed building and enhance the character and appearance of the Whitehall Conservation Area.

1.2 Description of development

1.2.1 With these proposals, NSN will accommodate office areas for Passholders, with the additional floor area derived from the newly internalised courtyard, providing key amenity space.

1.2.2 The description of the proposed development is as follows:

Full planning consent for the refurbishment of Norman Shaw North including the installation of a glazed roof covering to the internal courtyard, to provide further accommodation for parliamentary uses (Sui Generis); installation of chillers at ground level adjacent to the northern elevation; basement piling; alterations to the courtyard eaves to create a roof access gallery; alteration of the northern elevation; alteration of north western corner stepped plinth; alteration to Laundry Road landscape and levels to provide accessibility improvements; and crane gantry screw piling located in Commissioners Yard.

Listed Building Consent for the internal and external refurbishment, including installation of new building services and rooftop repairs and reconfiguration including rooftop louvres and reconstruction of chimneys; courtyard roof fixings; secondary glazing; and interiors; alterations to existing openings and basement vaults; and associated works including temporary construction works.

1.2.3 The area summary associated with the proposed development comprises:

Norman Shaw North area summary		
	Existing	Proposed
GEA (sqm)	14,592	15,135
GIA (sqm)	13,019	13,550

Area summary key

GEA: Gross External Area

GIA: Gross Internal Area



Aerial photograph, the red line indicates the extent of the Northern Estate site

1.3 The Estate

1.3.1 The Northern Estate is located to the north of the Palace of Westminster, and contained between Parliament Street and the Victoria Embankment. It forms part of a backdrop to major ceremonial and public events, as well as the adjacent UNESCO World Heritage site, and is experienced by millions of visitors every year.

1.3.2 The Estate contains a group of 18th, 19th, 20th and 21st century buildings, most of which are listed and of considerable heritage value. This group comprises of Norman Shaw North, Norman Shaw South, 1 Canon Row, Portcullis House, the Parliament Street Buildings and Richmond House.

1.3.3 While the proposals for NSN contained within this application have been developed as standalone to the masterplan, the ethos and philosophy behind the masterplan still remain relevant in guiding development, through both the spatial re-organisation of the Estate and the refurbishment and renewal of the existing buildings, landscape and public realm, in a way that seeks to balance heritage, sustainability and operational needs.



Parliamentary masterplan drivers

1.3.4 The key themes and drivers for development within the Estate, to which our proposals respond to, are:

- Providing equality of access and inclusive design across the Estate
- Improving public access to the House of Commons and functioning of British Democracy, alongside the provision of new education and participation spaces
- Creation of a safe and secure environment for Parliamentary staff and visitors
- Development of the Estate in ways that are socially, economically and environmentally sustainable and which bring long term value
- Providing facilities for Parliament to create a fit for purpose Estate that supports modern ways of working and which provides a range of spaces for Parliamentary staff and visitors to come together and undertake the business of Parliament
- Relocating Estate servicing to create a coherent and legible Parliamentary campus that celebrates the built heritage and creates a specific sense of place
- To work within a conservation-led approach to refurbishment and renewal that understands and responds to the significance of the key heritage assets

1.4 Norman Shaw North

1.4.1 Norman Shaw North was constructed in 1887-90 for the Metropolitan Police as its headquarters and was originally known as New Scotland Yard. It was designed by the architect Richard Norman Shaw, with the assistance of the Surveyor to the Metropolitan Police, John Butler, and his son John Dixon Butler, who succeeded Butler senior as Surveyor in 1895.

1.4.2 The New Scotland Yard development was Shaw's first and only civic commission and its impact on British Architecture was profound. The building is of exceptional architectural and historic interest, and widely recognised as Shaw's masterpiece. The building was listed at Grade I in 1970.

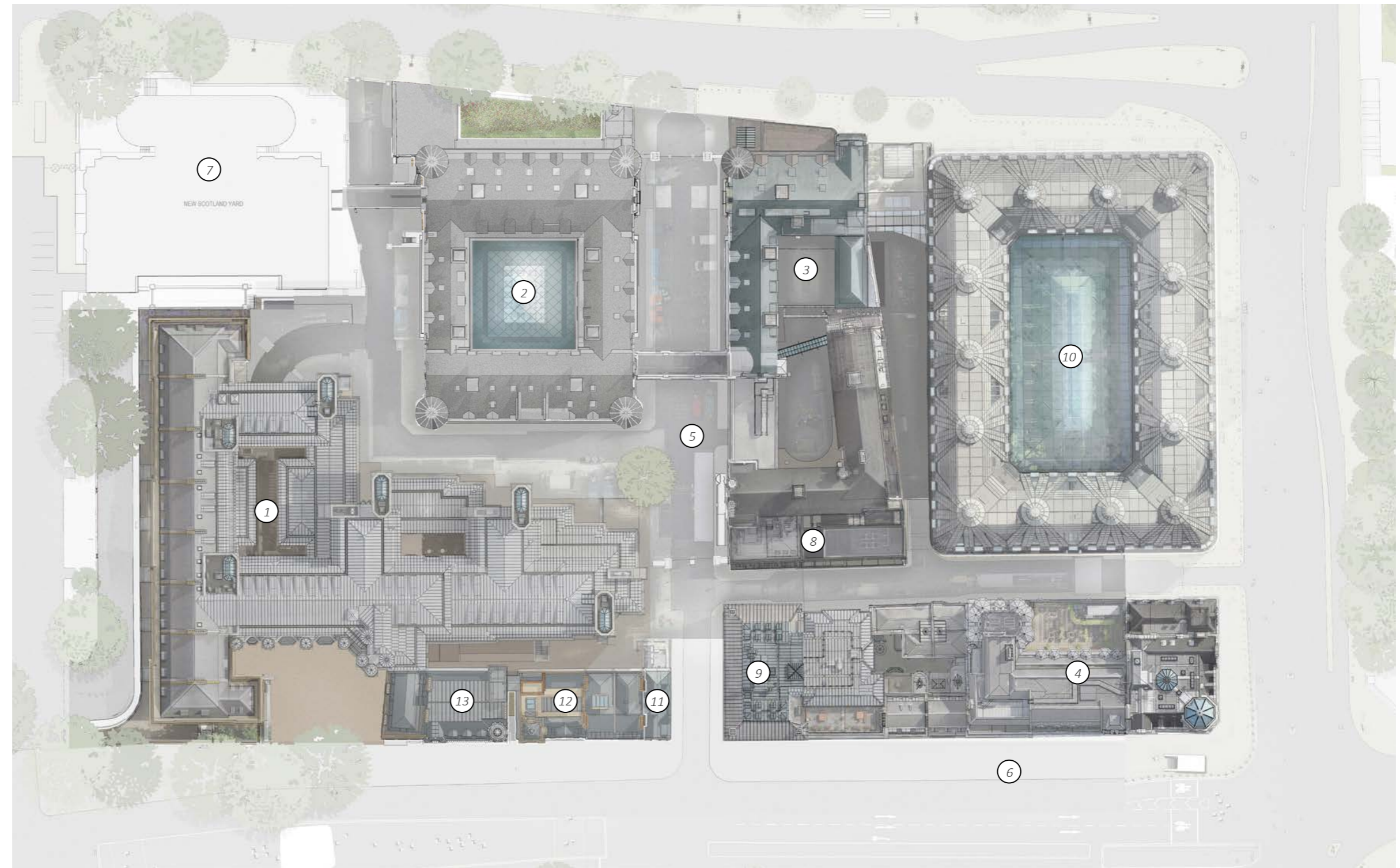
1.4.3 Despite the change in use, from purpose-built headquarters for the Metropolitan Police in 1890, to government offices in 1967, the original spatial arrangement remains relatively intact, with the more significant internal interventions limited to two WC core and lift areas, which were carried-out as part of the refurbishment of the building 1973-1976. Further, less extensive refurbishment was carried out during the mid-1990s and 1998, including extensive remodelling of the sixth floor and the conversion of the original bedrooms to offices.

1.4.4 Norman Shaw North is currently used mainly as Parliamentary office space and ancillary accommodation, in addition to workshop and staff areas.

1.4.5 The building is prominent within the Estate, in particular the eastern boundary facing the Embankment and the River Thames, where it sits between Norman Shaw South and New Scotland Yard (the Metropolitan Police Headquarters and not in the demise of the Estate).

Key

- 1. Richmond House
- 2. Norman Shaw North
- 3. Norman Shaw South
- 4. The Parliament Street Buildings
- 5. Estate Landscape
- 6. Public Realm
- 7. New Scotland Yard
- 8. 1 Canon Row
- 9. 1 Derby Gate
- 10. Portcullis House
- 11. Red Lion Pub
- 12. 49 Parliament Street
- 13. 54 Parliament Street



NSN location within NEP

1.5 Summary of proposals

1.5.1 This Design and Access Statement (DAS) is submitted as part of the planning and listed building consent application for Norman Shaw North, and describes the design proposals for the refurbishment and remodelling of the building to create fit for purpose, flexible, efficient and accessible workspace. The works allow for the existing external courtyard to be enclosed with a new lightweight glass roof, reactivating the space as a new catering and informal meeting area.

1.5.2 As part of the works, important upgrades to the security, thermal efficiency and fire safety of the building envelope, as well as internal areas, will be addressed. This includes the comprehensive repair and refurbishment of the exterior of the building, including the elevations and roof. The stripping out and replacement of modern building servicing provides an opportunity to more thoughtfully integrate this essential building infrastructure.

1.5.3 The proposals have been specifically designed to minimise harm to the significance of the historic building, and work in sympathy with the building fabric, the character of the surrounding conservation area and the setting of adjacent listed buildings.

1.5.4 These proposals have been reviewed regularly throughout their development with planning and conservation officers at Westminster City Council, and also with Historic England. The design has been developed in response to the feedback received. The enclosure of the inner courtyard to create the new atrium space has been broadly supported in public consultations.

1.5.5 A core element of the brief is to provide improved accessibility, while providing for the following functions:

- Parliamentary office accommodation
- Meeting and conference rooms
- Staff areas

- Restaurant
- Maintenance workshop space

1.5.6 Use and amount

1.5.6.1 The refurbishment of Norman Shaw North provides 5,304sqm NIA including the newly enclosed courtyard area and an overall proposed floor area of circa 13,550sqm GIA and 15,135sqm GEA for sui generis Parliamentary use.

1.5.6.2 The proposals provide Parliamentary office accommodation with proper support and amenity space, primarily via the new internal courtyard space. The courtyard with circa 405sqm additional new floor space (NIA) comprises the principal new build intervention within the scheme, providing an essential communal space, serving both the building and wider Estate. Whilst the proposals for NSN increase overall floor area (GIA), predominantly due to the enclosure of the courtyard, the overall usable space within the building is reduced by circa 980sqm (NIA) due to the additional plant areas proposed to meet modern operational requirements.

1.5.7 Layout

1.5.7.1 The Norman Shaw North building comprises nine stories above street level and one basement level and comprises a discrete block within the Estate. It is surrounded by three pedestrianised roads on the south, west and north: Commissioner's Yard, Laundry Road and Curtis Green Yard, with the east elevation facing Victoria Embankment and the Thames.

1.5.7.2 The historic plan form of the building is a courtyard layout and the proposed works respect and preserve this arrangement.

1.5.7.3 The majority of the building will continue to house private office accommodation and support spaces within the existing cellular layout. Plant will continue to be accommodated in spaces unsuited to office use. The new restaurant will be at entrance level, adjacent to the courtyard and main building entrance.



Axonometric view - Norman Shaw North in existing context



Norman Shaw North east elevation

1.5.8 Scale

1.5.8.1 The proposed courtyard roof is contained within the existing envelope of the building and is therefore not visible from townscape views. The design and positioning of the new roof, coincident with the Fifth Floor slab level, responds to the historic detailing and scale of the courtyard, as well as optimising environmental performance. The scale and layout of internal interventions associated with services have been designed to be as compact as possible and recover the legibility of significant historic spaces.

1.5.9 Appearance

1.5.9.1 All facades of the building are to be cleaned, maintained and repaired, enabling the wire mesh netting that has been installed as a result of falling loose masonry, to also be removed. Subject to the existing condition survey analysis, the slate roof will be repaired or replaced to match the existing appearance. Slates will be salvaged and reused where possible. Five of the existing chimneys will be rebuilt to match their current appearance.

1.5.9.2 The new courtyard roof will be fully glazed, supported by a lattice framework and perimeter ring beam to feel as lightweight as possible and preserve views through to the historic facade and roofscape beyond. Alterations to the eaves detail to the courtyard elevations will enable safe access.

1.5.9.3 Internally, historic features will be retained and restored in conjunction with removal of the 1970s interventions and alterations. New elements will respond to the heritage features of the building, rather than replicate them, and utilise a simple material and colour palette.

1.5.10 Landscape

1.5.10.1 The external landscape areas are highly significant to the heritage setting of both the building and Estate. Our proposals re-set and rationalise the immediate landscape to improve accessibility and address logistics requirements. Soft landscaping is retained to the external forecourt area facing the Victoria Embankment.

1.5.10.2 To the north, the existing plinth that once founded an original single storey structure is utilised as the site for an enclosure structure of equivalent volume.

1.5.10.3 Although internal, the courtyard will be finished in a manner in keeping with its original external character; perimeter light well features will be retained and the central oculus will be reinstated.

1.5.11 Access

1.5.11.1 The main pedestrian entrance is re-located to Laundry Road and will provide direct, level access to the courtyard and the newly formed main entrance lobby. This entrance will lead directly to the original circulation corridor which connects to the original stair cores and to two banks of lifts strategically located adjacent to existing circulation corridors. The vast majority of the building will therefore become accessible step-free, (being designed to support movement to meet the eight-minute division bell), while preserving the existing stairs, steps and circulation spaces which make an important contribution to the character and use of the building.

1.5.11.2 Vehicular and cycle access is provided, with blue badge parking spaces located in Commissioner's Yard and cycle racks re-located to the Richmond House basement. Changing and shower facilities for cyclists are included within the NSN basement.

1.5.11.3 Service and maintenance access to the building is maintained via Curtis Green Yard, and proposals have been designed to work with the day-to-day vehicular movements that occur within the Estate.



Proposed Norman Shaw North courtyard

1.6 Purpose of the Design and Access Statement

1.6.1 This Design and Access Statement (DAS), will describe the site, its context, history and significance and will provide further details of the scheme's design process, the options that have been explored, and the rationale behind the submitted proposals.

1.6.2 The DAS covers both design principles and concepts and how issues relating to access have been addressed within the final scheme design. The DAS:

- Demonstrates that proposals are based on a considered approach to design and heritage.
- Explains how proposals respond to the context of the application site and surrounding area.
- Explains how consultation and engagement have informed the evolution of the proposals.

1.6.3 The statement also sets out the design principles and concepts that have been applied and how they have informed the proposals, namely:

- Organisation and planning.
- Scale and massing of new elements.
- External appearance.
- Materials and finishes.
- Interior spaces.
- Key details.
- Landscape design.

1.6.4 This DAS has been prepared with regard to the guidance set out by the Ministry of Housing, Communities and Local Government in the Planning Practice Guidance (PPG) / Making an Application / National Information Requirements / Design and Access Statements paragraphs 029 – 033. This statement also draws on the Commission for Architecture and the Built Environment (CABE) document 'Design and Access Statements; How to write, read and use them' (2006) and the Urban Design Group document, 'Design and Access Statements Explained' (2008).

1.6.5 This document has been produced by BDP on behalf of the Corporate Officer of the House of Commons with input from the project design team. It is submitted to accompany the Planning and Listed Building Application submission for Norman Shaw North, within the Parliamentary Northern Estate.

1.7 Planning policy context and consultation

1.7.1 The design proposals described within this report have been developed in response to a range of national, regional and local planning policy and guidance. They have also been the subject of extensive pre-application consultation with Westminster City Council and Historic England and our proposals have been guided by the feedback received.

1.7.2 For a full account of the pre-application engagement undertaken and the design response please refer to the Planning Statement submitted in support of this application.

1.7.3 Section 38 (6) of the Planning and Compulsory Purchase Act of 2004 requires all applications for planning permission to be determined in accordance with the development plan, unless material considerations indicate otherwise. The development plan for Westminster comprises the London Plan (March, 2021), the Westminster City Plan (November, 2016) and a number of 'saved' Westminster Unitary Development Plan (January, 2007).

1.7.4 The Planning (Listed Buildings and Conservation Areas) Act 1990 is the legislative basis for decision-making on planning and listed building consent applications that affect the historic environment. Section 16 of the Act requires the decision maker when considering to grant Listed Building Consent to "...have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses."

1.7.5 Sections 66 and 72 of the Act impose a statutory duty upon local planning authorities to have 'special regard to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses' and, in respect of conservation areas, that 'special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area'.

1.7.6 The proposals have also been developed with regard to current and emerging planning policy, afforded weight according to its current progress through the adoption process. This includes:

- London Plan 2021
- Westminster City Plan 2019-2040 (June 2019) – adoption anticipated spring/summer 2021.

1.7.7 Both the GLA and Westminster City Council have also prepared a number of Supplementary Planning Documents (SPDs) and Guidance (SPGs) which have informed the design proposals.

1.7.8 For a full assessment of the proposals against the relevant legislative basis and planning policy framework please refer to the Planning Statement submitted in support of this application.

1.7.9 The Site is subject to the following policy designations, as identified in the WCC adopted Core Strategy Proposals Map and the London Plan:

- Core Central Activities Zone.
- Whitehall Conservation Area.
- Lundenwic and Thorney Island Area of Special Archaeological Priority.
- Flood Zone 3.
- Rapid Inundation Zone.
- Westminster Air Quality Management Area.
- Thames Policy Area.

1.7.10 Regard has also been given to the Whitehall Conservation Area Audit published by WCC. This describes the historical development, character and appearance of the Whitehall Conservation Area and has informed both the understanding of the strategic context and the development of the proposals.

1.7.11 A detailed analysis of the planning policy framework is set out in the Planning Statement submitted in support of this application.

2. The site

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2.1 Site context

2.1.1 Norman Shaw North sits within the Northern Estate site, which comprises an urban block, bounded by Victoria Embankment and the River Thames to the east; Westminster Bridge and the Palace of Westminster to the south; Parliament Street and Whitehall to the west; and a pedestrian footpath connecting Parliament Street with Victoria Embankment to the north.

2.1.2 It is located in the historic Whitehall conservation area. The Trafalgar Square conservation area is located to the north, while the South Bank conservation area lies across the river. NSN and the wider Northern Estate site forms a crucial part of the setting for the adjacent UNESCO World Heritage Site that includes the Palace of Westminster, Westminster Abbey and St Margaret's Church.

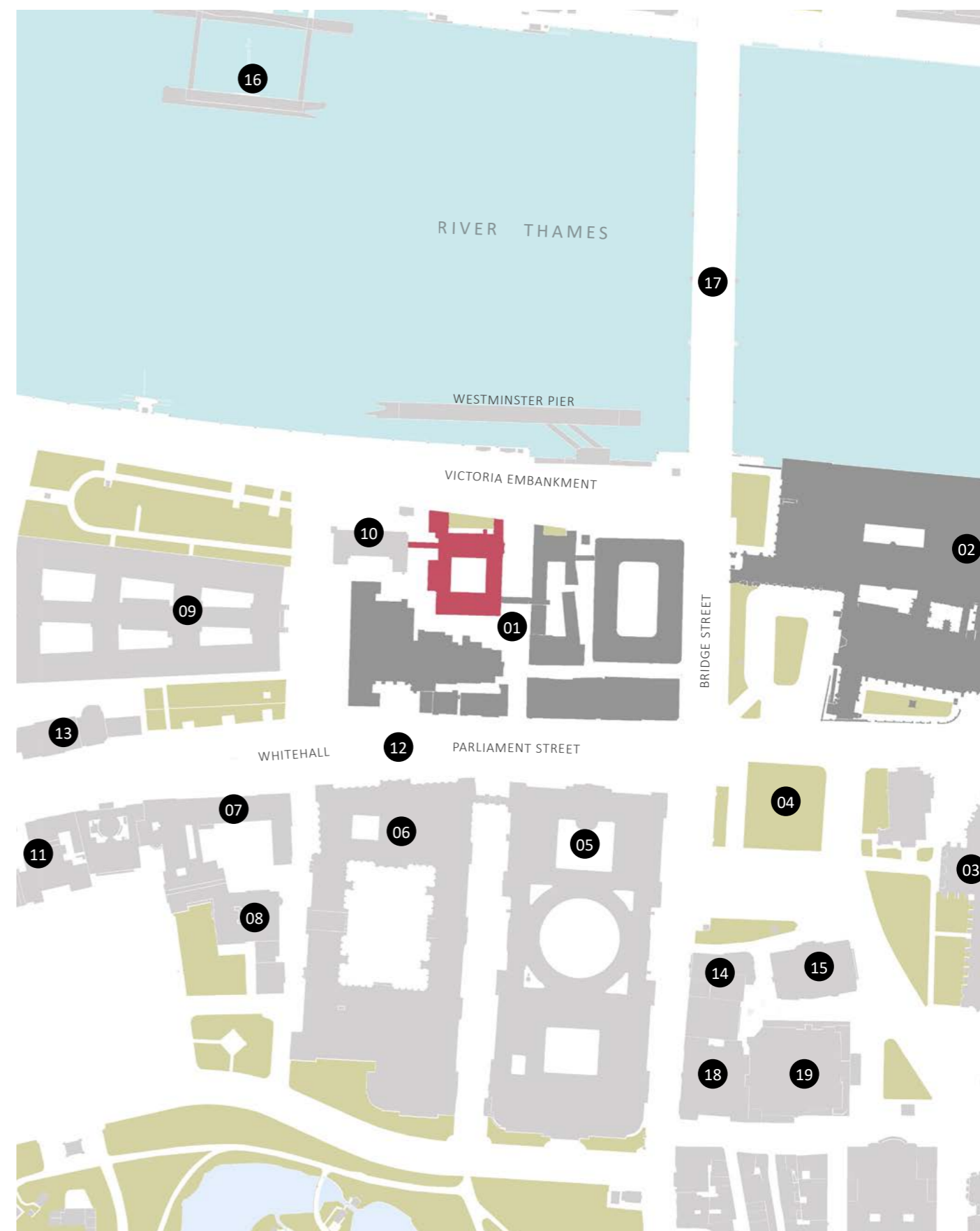
2.1.3 The site sits within the Lundenwic and Thorney Island Area of Special Archaeological Priority. This area has now been redefined as the Westminster and Whitehall Archaeological Priority Area in Westminster's Draft City Plan 2019-2040. This means it is designated within an area with high potential for significant archaeological remains.

2.1.4 Within the Northern Estate, Norman Shaw North is Grade I listed, while most other buildings are either Grade II or II* listed. The only unlisted building on the site, Portcullis House, is a positive contributor to the character and appearance of the conservation area.

2.1.5 The area surrounding the Northern Estate comprises the heart of UK government. This is centred on the Palace of Westminster to the south, containing the Chambers of both the House of Commons and the House of Lords, the Foreign and Commonwealth offices and the Treasury to the west, and the Ministry of Defence to the north.

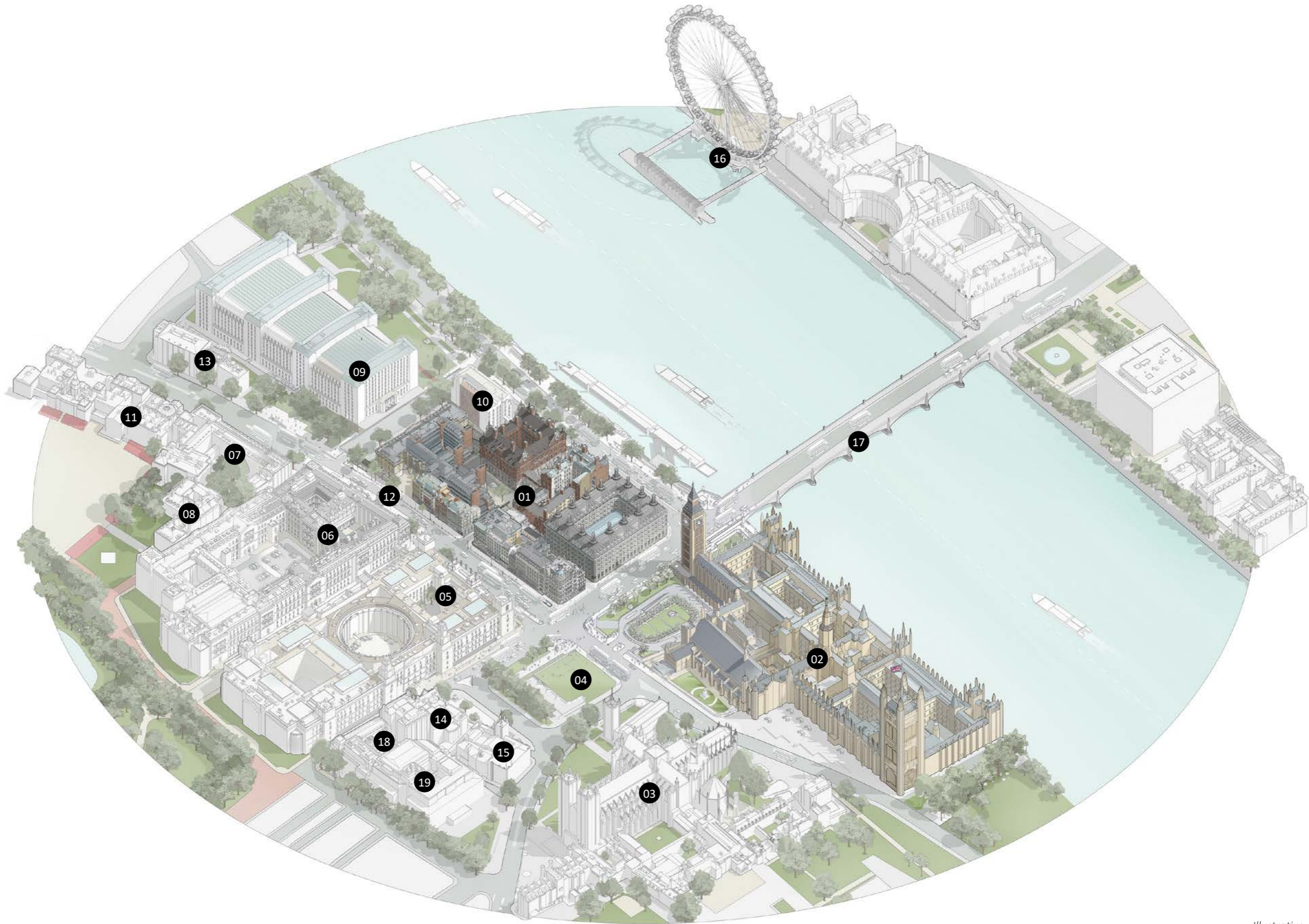
2.1.6 Being within the heart of Westminster, the site benefits from the highest available public transport accessibility level (PTAL). Westminster underground station is located beneath the south-east corner of the site, and several bus and strategic cycle routes run through the area. A cycle hire docking station is located at Abingdon Street Gardens, a five minute walk away.

- 01 The Northern Estate
- 02 Palace of Westminster
- 03 Westminster Abbey
- 04 Parliament Square
- 05 HM Revenue and Customs
- 06 Foreign and Commonwealth Offices
- 07 Cabinet Office
- 08 10 Downing Street
- 09 Ministry of Defence building
- 10 New Scotland Yard
- 11 Horse Guards Gate
- 12 The Cenotaph
- 13 The Banqueting House
- 14 Royal Institute of Chartered Surveyors
- 15 Supreme Court
- 16 London Eye
- 17 Westminster Bridge
- 18 Institute of Civil Engineers
- 19 Queen Elizabeth II Centre



Illustrative site plan - NSN highlighted within the Northern Estate



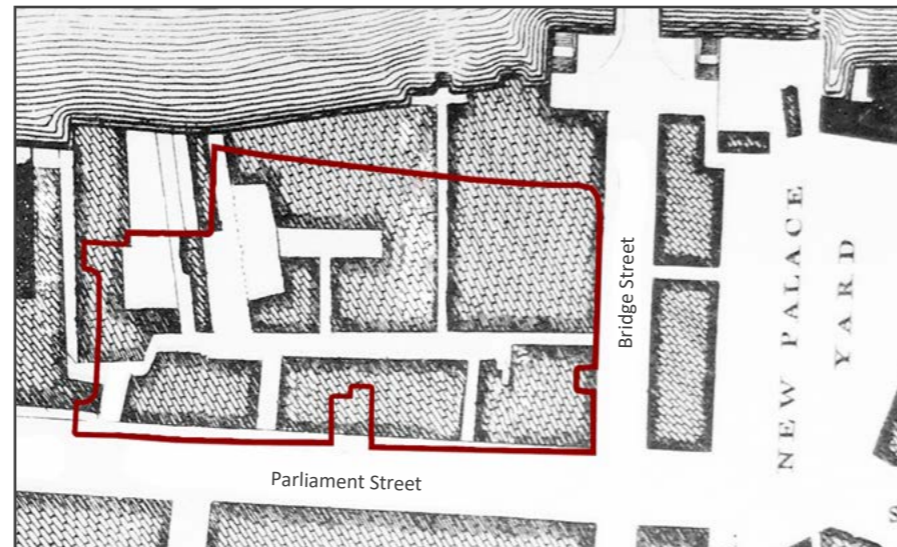


Illustrative axonometric view

2.2 Historic context

2.2.1 Whitehall has served as the geographic centre of British government for centuries. It takes its name from the Palace of Whitehall, once the largest in Europe and home to the British monarchy in the 16th and 17th centuries, but largely lost to fire in 1698. By the late-17th century, the area's riverfront was dominated by large aristocratic residences, including Manchester House and Derby House, set back behind formal gardens overlooking the Thames. To the west of this a network of small yards and densely-packed, narrow streets ran east-west either side of King Street, which connected the Palace of Whitehall to the home of Parliament in the Palace of Westminster. Channel Row, now known as Canon Row, ran parallel to this between King Street and the river; today this is the oldest street within the Northern Estate.

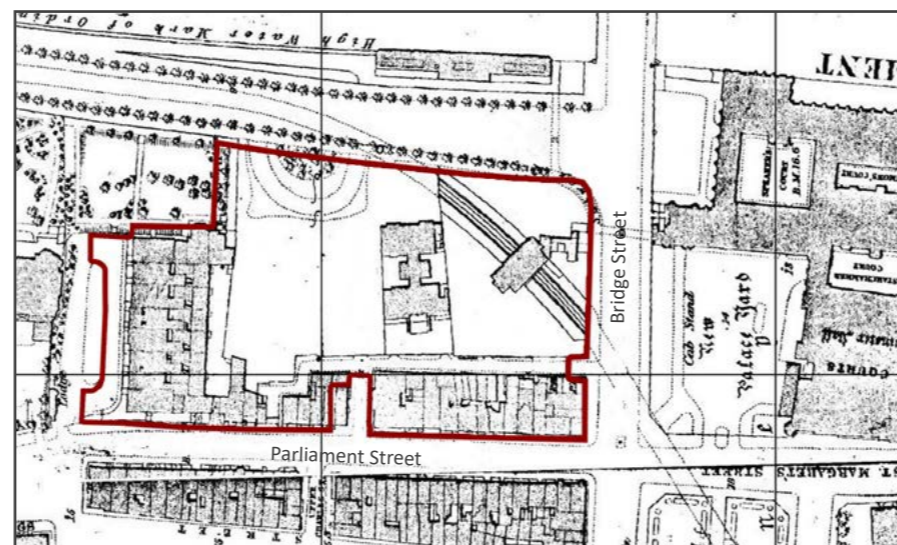
2.2.2 A growth in government services in the early to mid-18th century spurred a proliferation of new buildings in and around Whitehall, including the Admiralty, the Treasury House overlooking Horse Guards Parade which connected to Dover House, in addition to the early 18th century domestic buildings of Downing Street. An Act of Parliament, passed in 1735 and amended in 1738, enabled the construction of Westminster Bridge, transformed the streetscape by allowing areas of land to the north of the bridge to be acquired and cleared between King Street and the Thames, including the removal of the remaining large houses. As King Street was relatively narrow and prone to traffic congestion, the proposals also connected Charing Cross in the north to the approach to the new bridge via a broad thoroughfare, named Parliament Street. By the end of the 18th century, Parliament Street was lined with terraced houses with gardens backing onto Canon Row, while the development of the latter was more piecemeal. To the east of this timber yards, wharves and rows of modest houses led down to the waterfront.



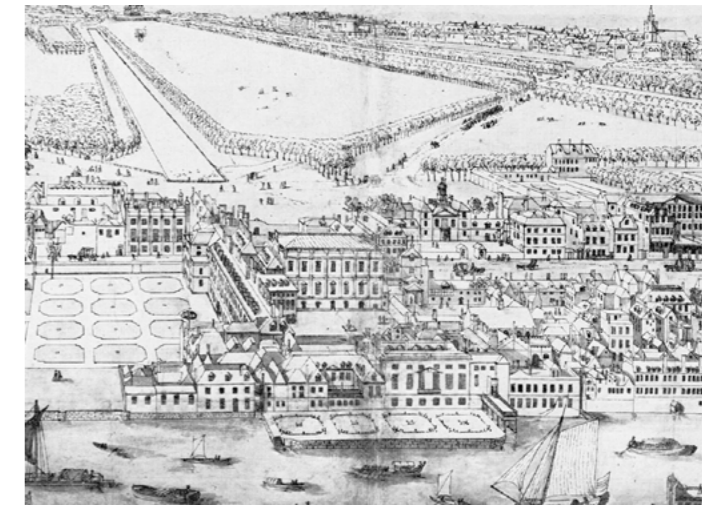
1747 map



1794 map



1878 Ordnance Survey map



Palace of Whitehall in 1695



Richmond Terrace in 1827



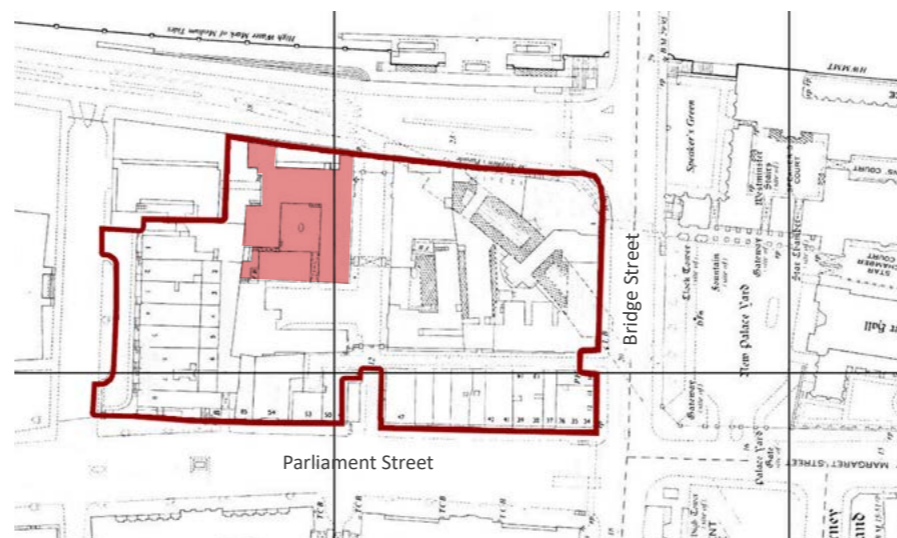
Parliament Street Buildings in 1888

2.2.3 Development took place on a much larger scale in the 19th century throughout Whitehall, including the laying out of Whitehall Gardens in 1824, and the erection of the Foreign Office, the New Public Offices and the Old War Office. The riverfront itself changed dramatically between 1862 and 1872 with the embankment of the Thames, undertaken by Joseph Bazalgette, chief engineer of the Metropolitan Board of Works. As well as providing a sewer complex and tunnel for the Metropolitan District Railway, works reclaimed a strip of land from the foreshore that presented opportunity for new development. A new building for the Royal Opera House – as a private speculation – was proposed and completed up to the roof on a site on the Embankment to the north of Westminster Bridge in the 1870s, but ultimately abandoned due to problematic funding. The Metropolitan Police, having outgrown its Whitehall premises to the north by the mid-19th century, seized the opportunity to utilise the riverfront site for its own expansion and erected New Scotland Yard (now Norman Shaw North) by Norman Shaw in 1887-9. A substantial extension to the HQ was soon deemed necessary and was erected opposite the building in 1904-6, while an additional police station was built at 1 Canon Row in 1898-1900, both under Shaw's guidance and complementary to his original design.

2.2.4 The tradition of exceptional architecture continued in Whitehall in the 20th century, including 55 Whitehall built for the Ministry of Agriculture, Fisheries and Food and the Ministry of Defence building as well as New Scotland Yard, which was designed in 1937-40 by W. Curtis Green within the same urban block as the Northern Estate site. Within what is now the Northern Estate site, 20th-century works included the modern addition of Richmond House for the Department of Health in 1982-4 by Whitfield and Partners and Portcullis House (2001) by Hopkins Architects, for use by Members of Parliament and their staff on the site of the former St Stephen's Club.



1916 Ordnance Survey map



1951 Ordnance Survey map



2019 map



Derby Gate looking east, early 20th Century

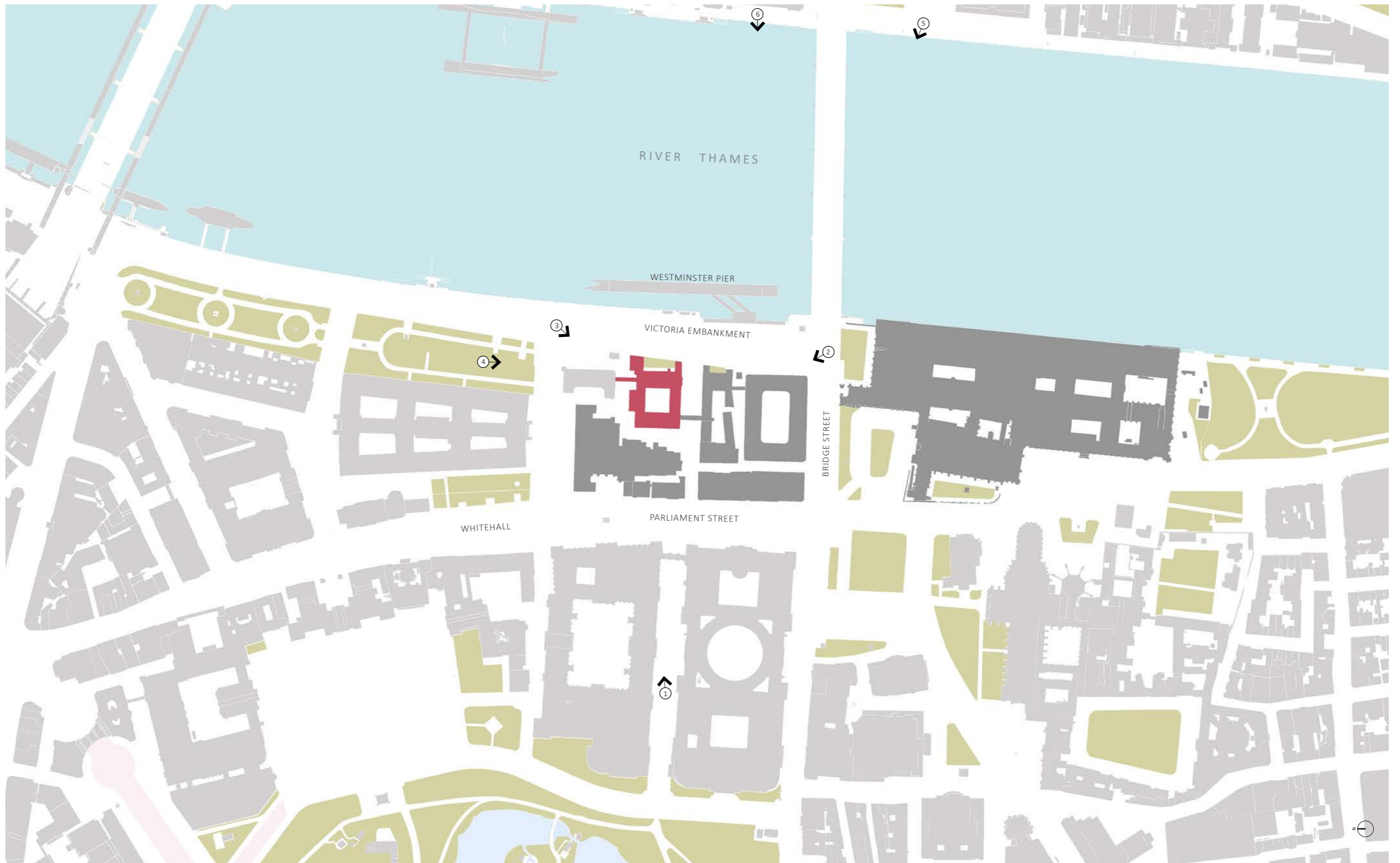


Aerial view in 1948



Parliament Street Buildings in 1967

2 THE SITE | 2.3 Townscape views of Norman Shaw North





① King Charles Street



② Portcullis House



③ Victoria Embankment, looking south



④ Victoria Embankment Gardens



⑤ The Palace of Westminster



⑥ Northern Estate from across the river

2.4 Architectural context

The character, facades and materials seen in the immediate area around NSN is varied, with different styles contributing to the overall character of the townscape.

2.4.1 The Palace of Westminster & Westminster Bridge

Designed by Sir Charles Barry in 1835, in a perpendicular Gothic Revival style to pay homage to the Gothic 11th century Westminster Hall, one of the few buildings to survive the fire of 1834. Use of sand coloured limestone (echoed in Portcullis House opposite) and distinctive turreted profile, designed with the view from the river in mind.

Westminster Bridge was Designed by Thomas Page, complete in 1862, with Gothic Revival detailing by Sir Charles Barry to respond to his design for the adjacent Palace of Westminster.

2.4.2 Whitehall and Great George Street

The Government Offices on Great George Street (GOGGS) by John Brydon (1899-1917) and Foreign Office by Sir George Gilbert Scott with Sir Matthew Digby Wyatt (1861-1873) are in consistent neoclassical style with Portland stone cladding, establishing a civic formal character. The facades feature decorative stonework and large recessed windows.

2.4.3 Northern Estate Whitehall & Parliament Street facade

A more eclectic mix of different buildings from different periods in different styles; the facades reading as a terrace rather than a unified whole. Scale varies from seven to four storeys. Materiality varies between Portland stone, stucco and several different types of brick. The Portland stone cladding and civic neoclassicism of the GOGGS is echoed in the southern end of the Estate's Parliament Street facade.



Key plan



Key plan



Key plan



Palace of Westminster east facade- decorative stonework



View from Parliament Square Garden



Parliament Street looking south



Westminster Bridge railings



Facade detail of Foreign and Commonwealth building



Parliament Street looking north

2.4.4 Victoria Embankment

2.4.4.1 This facade was designed to be seen from medium and long-range views on the River Thames and from the south bank of the river.

2.4.4.2 All the buildings along this facade have been designed as discrete object buildings with very distinctive materiality. To the north, the Metropolitan Police Headquarters and Ministry of Defence have Portland stone facades. On the Northern Estate site, the facade is dominated by the striped red brick and Portland stone of the two Norman Shaw buildings, before altering to the aluminium bronze, granite and gritstone of Portcullis House. On the other side of Westminster Bridge, this then transitions to the sandstone of the Palace of Westminster facade.

2.4.4.3 These buildings have distinctive profiles and use regularly recurring features such as elevated chimneys and pitched roofs several storeys high.

2.4.4.4 The buildings are set back from both the river and the road on this facade, giving it less of an urban edge.

2.4.4.5 The overall elevation makes a strong positive contribution to the setting of the Palace of Westminster, to the wider Whitehall Conservation Area and in views along the River Thames.



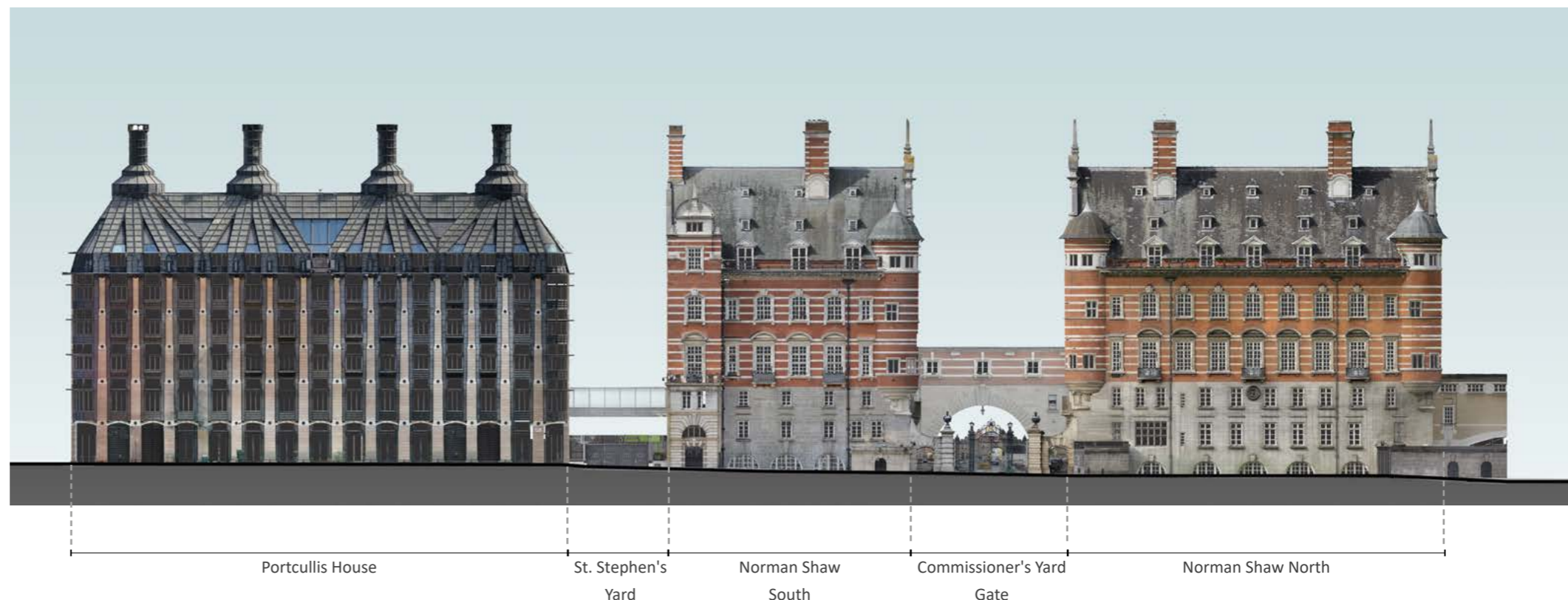
Key plan



Facade details from Norman Shaw South



Commissioner's Yard Gate from Victoria Embankment

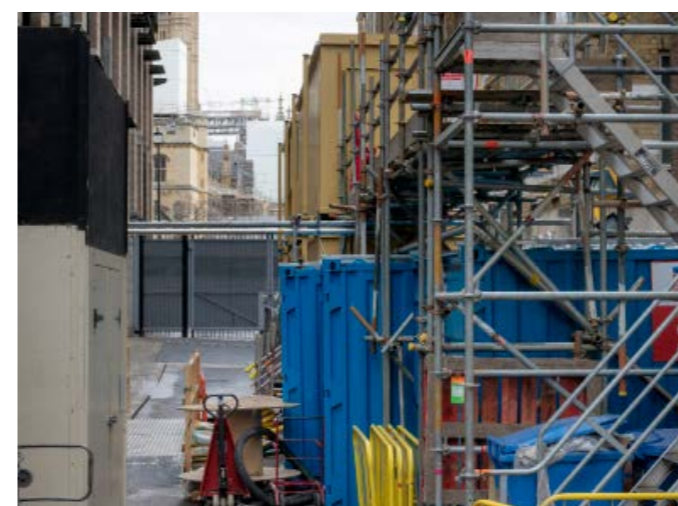


Photographic elevation study - Victoria Embankment

2.4.5 Within the Northern Estate

2.4.5.1 The narrow streets within the Northern Estate site mean that most of the internal estate facades can only be seen from close-range and are rarely viewed as a whole. These facades are typically seen at an oblique angle from street level. As a result, where the buildings feature setbacks the upper facades are rarely seen by pedestrians.

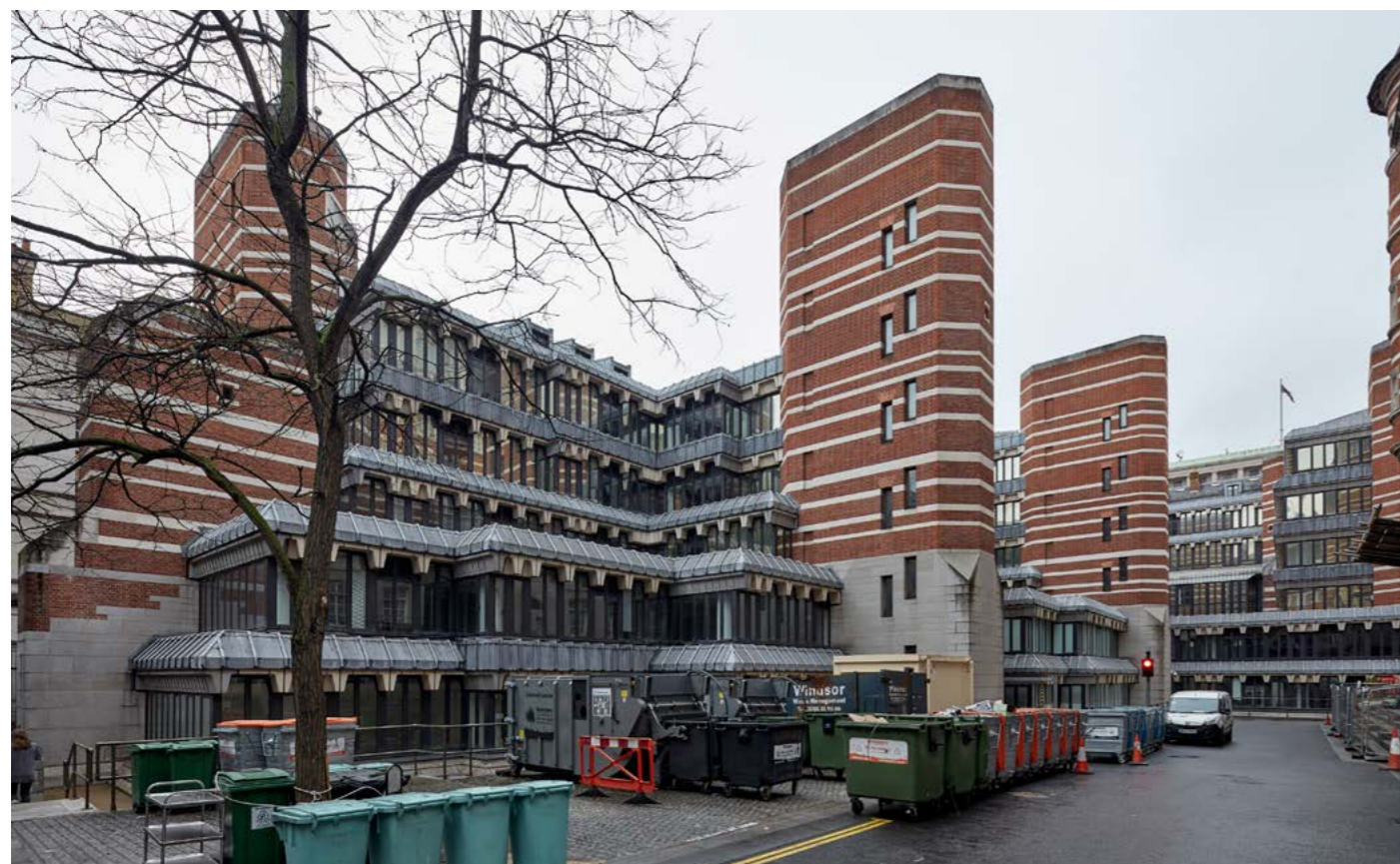
2.4.5.2 Generally, the internal Estate facades are more informal in appearance than the civic outer facades. They are often more fragmented in style, with an eclectic mix of different materials, scales and periods. When viewed at close-range, this fragmentation is rarely fully appreciated.



Canon Row looking south



Upper levels of existing Parliament Street Buildings



Laundry Road looking north



Photographic elevation study - Canon Row



Key plan



Laundry Road looking south



Commissioner's Yard looking west



Canon Row looking north



Photographic elevation study - Commissioner's Yard

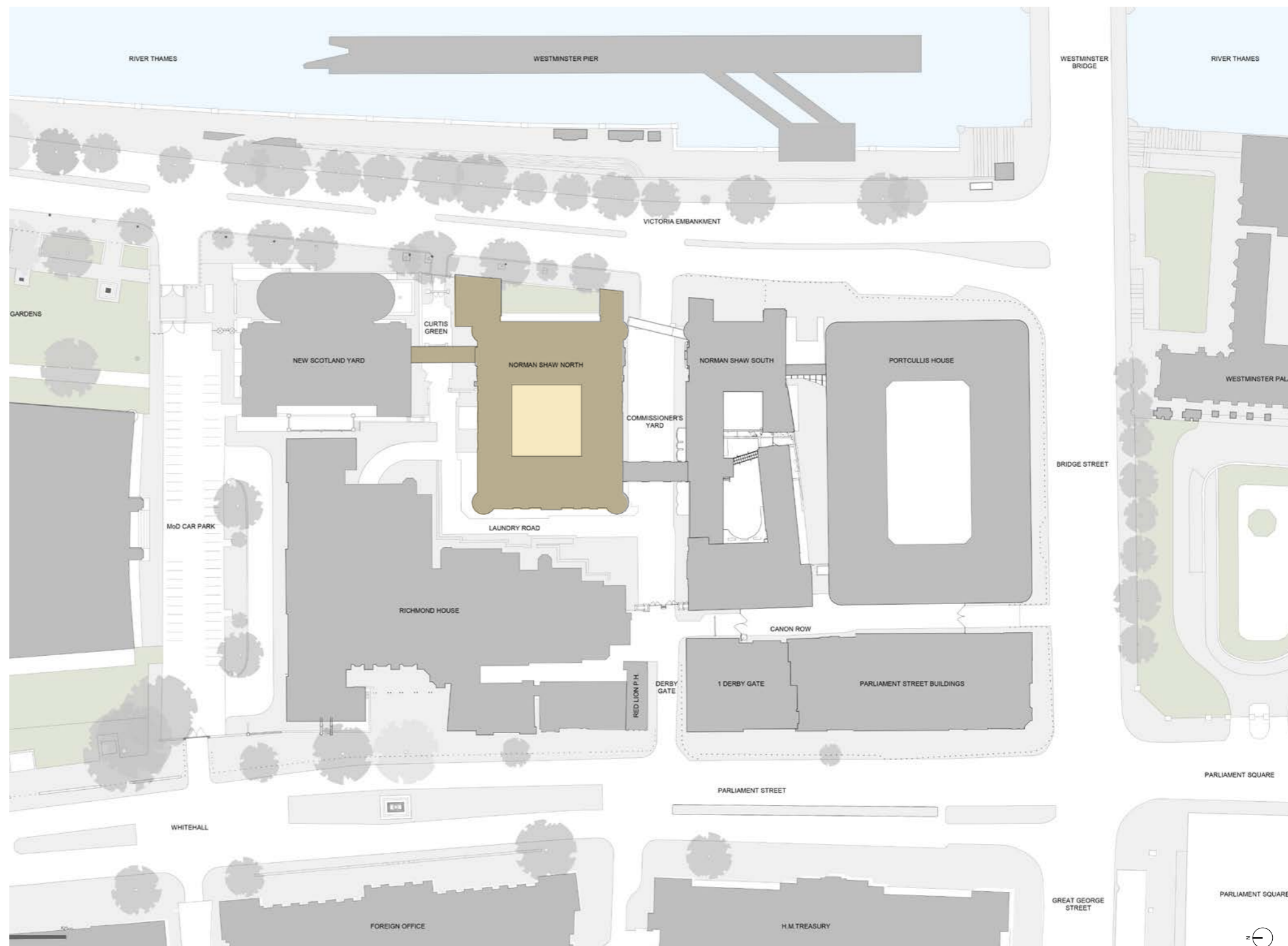
2.5 The site

2.5.1 Norman Shaw North (1890) is a Grade I listed building, which was originally the Met Police Headquarters, and is now used for sui generis Parliamentary uses.

2.5.2 Norman Shaw North is located at the north east corner of the Northern Estate. It is a free-standing building based on a simple rectangular plan form. It is connected by bridges at the upper floors to Norman Shaw South, and the Curtis Green building to the north, however there is no longer access between NSN and the Curtis Green building.

2.5.3 The building forms part of the eastern elevation of the Northern Estate, and is an important element in the series of buildings facing the river along the Victoria Embankment. The other three sides of the building face into the Northern Estate. To the south the building is separated from Norman Shaw South by Commissioner's Yard, to create a formal space of composed proportions between the two buildings. To the west are the set back office floors of Richmond House, which were designed by Whitfield and Partners to respond contextually to the mass and architectural style of Norman Shaw North. The northern side is the least resolved, as the single storey supporting buildings, which were part of Shaw's original design, were removed in the 1980s with the construction of Richmond House and the demolition of Richmond Mews.

2.5.4 Norman Shaw North is best appreciated from the Victoria Embankment, where it forms part of the pair of buildings with Norman Shaw South, and in wider views from across the river makes a major contribution to the river frontage north of Westminster Bridge. Within the estate the building is experienced at much closer quarters from the surrounding spaces, where its strong architectural expression with the granite base and banded brickwork upper floors, has a significant impact on the character of the Northern Estate. From longer range views on Parliament Street and Whitehall its distinctive chimneys and decorated gables make a major contribution to the Whitehall roofscape.



Existing block plan 1:1250 scale

Project site

3. The building

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3.1 Introduction

3.1.1 Grade I listed Norman Shaw North is located in the Whitehall conservation area in the City of Westminster. It is in the immediate setting of the Grade II* listed Norman Shaw South building, Canon Row Police Station and Richmond House, as well as the Grade II* listed gates and piers between the Norman Shaw North and South buildings and the Grade II listed Derby Gate entrance gates and piers and adjacent lamp standards.

3.2 Significance

3.2.1 The design of Norman Shaw North marked a significant change in Shaw's style, with the pretty Queen Anne style of his London houses developed into a grander and more monumental manner. This was relieved by the use of red brick, previously confined to domestic architecture, for the first time in a major public building. In 1940, the architect Sir Reginald Blomfield

stated that, apart from the Houses of Parliament, 'Scotland Yard is the finest public building erected in London since Somerset House'.

3.2.2 As well as for its architecture, the building is also significant in that it formed the first purpose-built headquarter of the modern police force, and reflects the major expansion of the force during the 19th century. The connection with government since the late-20th century is also of historic interest, particularly due to its link with the wider Parliamentary Estate.

3.2.3 Apart from the Palace, Norman Shaw North is the only Grade I listed building in the Parliamentary Estate (listed in 1970) and is therefore of exceptionally high historic, social and architectural importance.

"The Shaw buildings are highly significant for their contribution to the history of English Architecture in the late Victorian and early Edwardian period and for their present contribution to the river front and London's architectural skyline."

3.2.4 The following chapter summarises the characteristic features and significance of Shaw's design. This understanding has informed the conservation-led approach to our proposals and the resultant 'heritage benefits' these will provide for the building.

3.2.5 Our understanding of significance has been guided by a number of documents and sources, principally the Heritage Impact Assessment prepared by Donald Insall Associates and submitted as part of the application, but also condition surveys and investigations and previous reports and Conservation Management Plans.

3.2.6 The appreciation of a hierarchy of significance associated with the existing building fabric, high, medium and modest/negligible, also enables us to evaluate the impact of our proposals both in the context of seeking opportunities to recover/restore fabric and by mitigating impact in areas most sensitive to change.



Norman Shaw North (right), Norman Shaw South (middle) and Portcullis House (left).

3.3 Character, scale and appearance

3.3.1 Norman Shaw North forms an entire block within the Northern Estate, nine stories above street level. The building has two main facades: east and south. The east elevation, paired with Norman Shaw South, forms part of the iconic river view as seen from the Thames and provides views across the Embankment.

3.3.2 The south elevation with the historic entrance portal served as main entrance off Commissioners' Yard when the building was first constructed. All three elevations facing the estate are now inside the perimeter of the Parliament area and cannot be accessed by the public.

3.3.3 Built in bright red crisp brickwork with prominent Portland stone banding and window surrounds above lower storeys of grey Cornish De Lank granite, one of the more remarkable aspects of the design, noted at the time, was the abrupt change of material between granite and brick without the conventional use of architectural mouldings.

3.3.4 The building has prominent corner turrets, or 'tourelles', and a picturesque roofline with steeply pitched dormered roofs and large gables topped with broken pediments and obelisks. The chimney stacks are a particularly notable architectural feature with pedimented niches and stone banding. The roofs slope down with deliberate emphasis on the west side and the Embankment, while walls are carried up higher in the courtyard than on external elevations.

3.3.5 Also of architectural note is the great variety of size, shape and disposition of windows on each elevation, including those of the courtyard, with a mix of leaded casements with square panes and ratchet fixings, classically detailed sash windows and French doors on to balconies, large semi-circular windows in groups and prominent cornice level dormers. The windows range in style from those with classical pediments and architraves to those more readily

described as Tudor, or Early English, with stone frames, mullions and transoms (i.e. all windows that served stairs, corridor ends and corner turrets). All of the windows relate in scale and character to the spaces they serve and while the elevations at first sight appear to be ordered with classical symmetry, there are small and unpredictable discordant changes in fenestration which are more characteristic of Arts and Crafts domestic architecture.



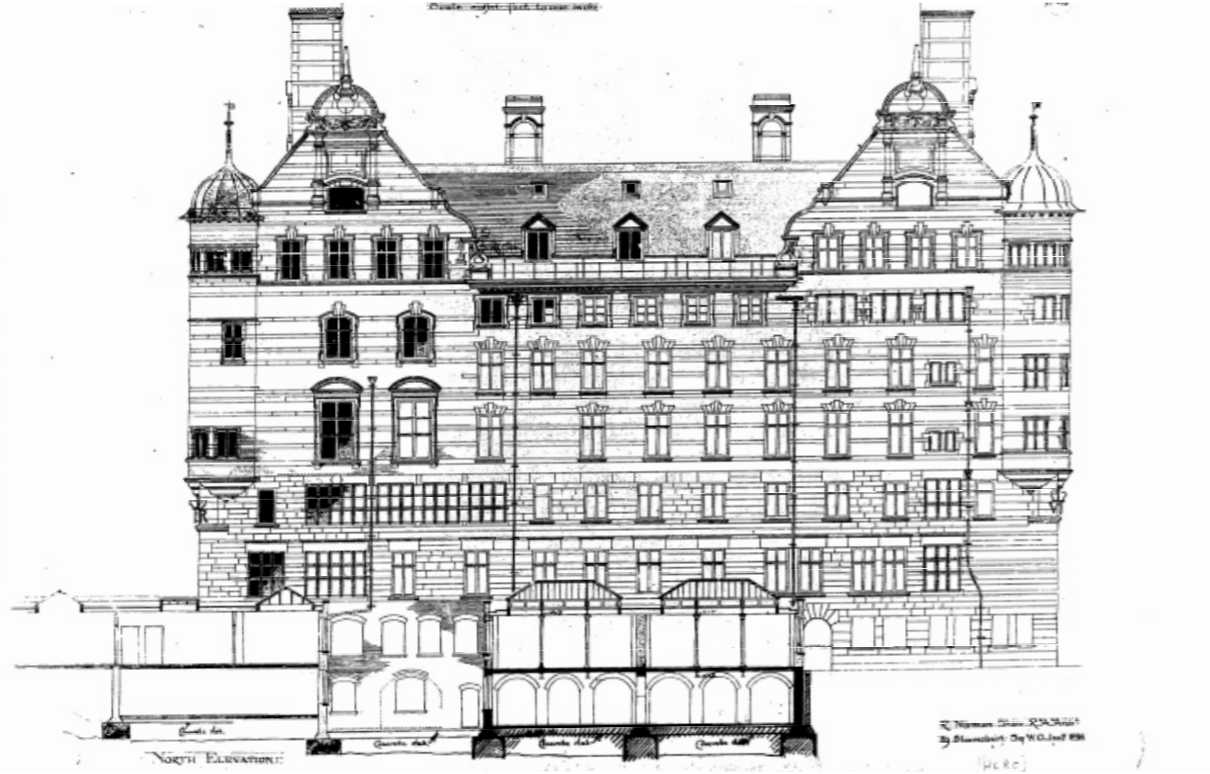
East elevation and early railings, 1890 (London Metropolitan Archives)



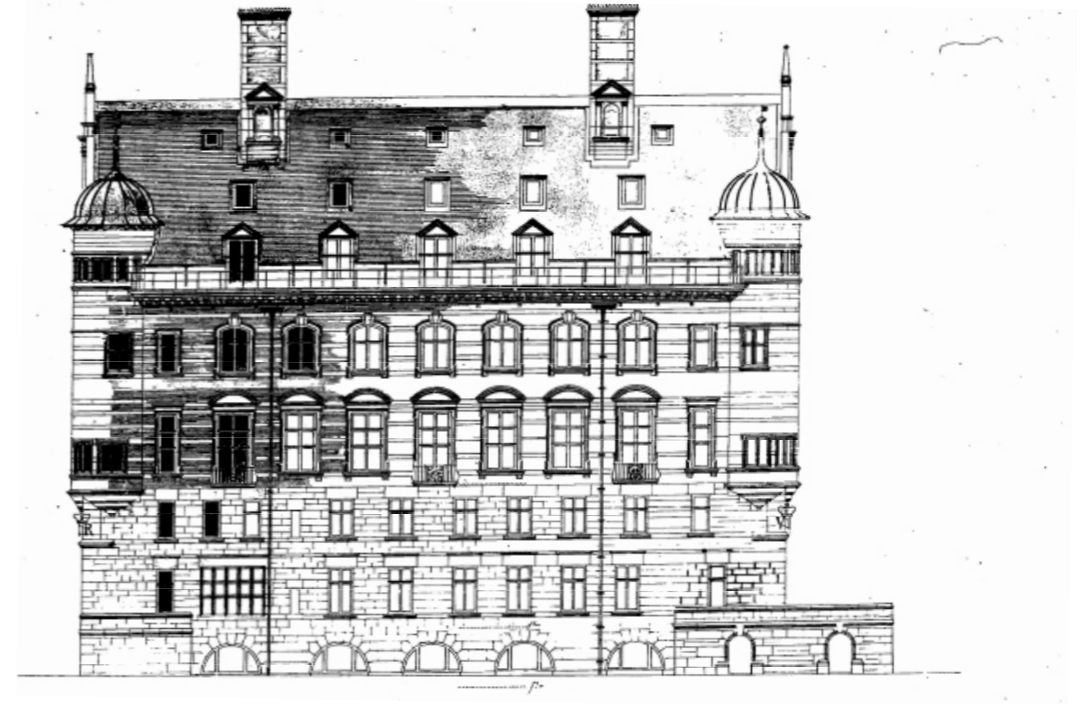
Photograph showing stable block towards Laundry Road, demolished in 1960 (London Metropolitan Archive)



Norman Shaw North and South, 1972



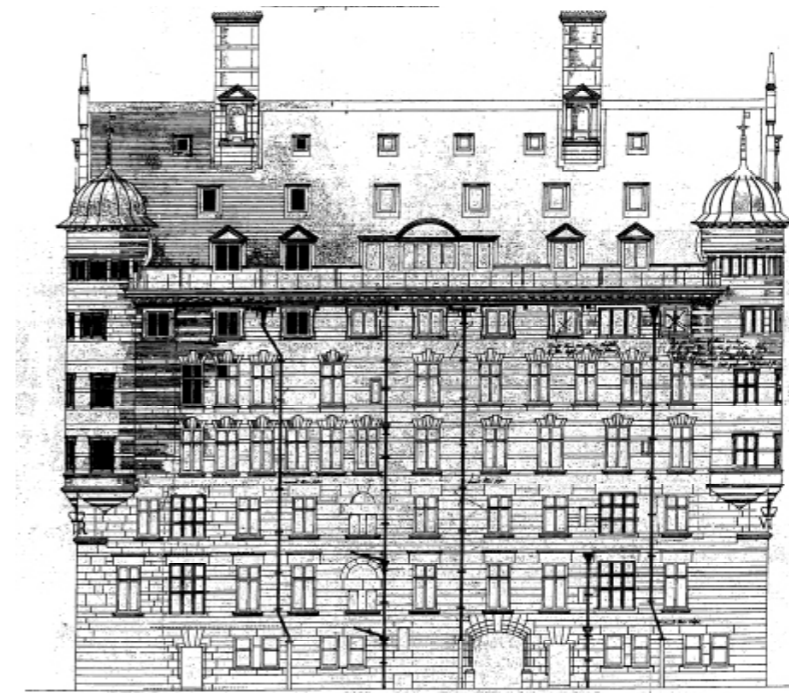
North elevation 1888



East elevation 1888



South elevation 1888



West elevation 1888

3.3.6 Courtyard

3.3.6.1 The central courtyard of Norman Shaw North is of high significance as a space deliberately designed by Norman Shaw to provide views of his interior elevations, which were given a treatment and materiality almost as grand as the outer elevations.

3.3.6.2 Early section drawings held by the RIBA Drawings Collection show that Shaw paid equal attention to the design of its four inward-facing courtyard elevations - a hallmark of what the architect considered "good building". Lower floors featured channelled stone, with red brick and stone banding at the upper floors similar to the principal elevations, all set below pitched roofs with dormers.

3.3.6.3 The fenestration within the courtyard varied in shape, size and stone surrounds including the mullion and transom windows serving the principal staircase.

3.3.6.4 At the lower ground level a glazed canopy was indicated running the full width of the elevation looking east, though it is not clear whether it was built.

3.3.6.5 However research indicates the presence of an original glazed light within the floor of the courtyard, providing natural light to areas below.

3.3.7 Internal character and appearance

3.3.7.1 Shaw's original plan form of the building which mostly comprised central corridors in the short wings and side lit corridors in the long wings is still legible, despite more recent remodelling of the interiors.

3.3.7.2 The sectional arrangement is also highly significant as Shaw adjusted the floor heights to create lofty volumes for grander rooms facing the Embankment. Shaw was a master of internal planning, negotiating a complex hierarchy of volumes into a cohesive form, which also gives variation to the elevations.

3.3.7.3 The existing stair cases vary in layout and design based on the specific functional requirements they address. As an example, the stairs serving the mezzanine levels were originally used to separate different areas of the building. Due to the insertion of a new lift core the original stair core in the west wing was demolished. There are two largely unaltered staircases remaining in the east wing: the principal staircase with its grand stone stair and generous landings, which was sensitively extended upwards in the 1970s (the newer parts clearly have lesser interest), and the elegant winding stone service stair in the northeast corner.

3.3.7.4 The most decorative rooms are mainly located from the first floor upwards many of which are preserved largely as original, with the corner rooms on the second floor in particular being the best preserved and having the most notable interiors.



Principal staircase and windows, 1970 (London Metropolitan Archives)



Principal staircase landings, 1970 (London Metropolitan Archives)



Commissioner's Room, 1970 (London Metropolitan Archives): Corner tourelle location 4th floor: decorative cornice, skirtings and dado rails



Commissioner's Room entrance, 1970 (London Metropolitan Archive) chimney piece and decorative skirtings, dado rails and plaster cornice

3.4 Historic timeline

3.4.7.1 The following timeline summaries the main changes that have occurred at Norman Shaw North since its opening in 1890. Further detail is set out in the Heritage Statement document.

1890 - Original construction completion

1915 - Minor alterations necessary to comply with fire safety regulations including fire doors at the end of corridors, gas lighting replaced with electric fittings, floor infill at fourth floor level.

1925 - Memorial lamp for civil service staff killed in WWI unveiled at present second floor landing of the principal staircase.

1930s - Police force struggling for sufficient space. Number of functions pushed into the building's corridors.

1940 - Extension to New Scotland Yard designed to the north of the original building by the architect Curtis Green opened.

1941 - The south eastern corner of New Scotland Yard was hit by a delayed action high explosive bomb during the blitz. The strike destroyed much of the south eastern turret and penetrated to basement level.

1943 - New set of floor plans illustrate the introduction of partitions throughout basement, doors introduced in lieu of windows to the northern side of the courtyard and the addition of a single storey laundry extension with large chimney to the west. Staircases along the southern and western ranges had been replaced by WCs and store rooms. Bridges to the north and southern extensions are indicated. Smaller offices at first floor western range facing the courtyard. Western and southern corridors unblocked allowing complete circulation.

1965 - Norman Shaw North and South were sold to the Ministry of Public Building and Works and the Metropolitan Police relocated to new premises in Broadway.

1974 - Norman Shaw North re-opened following conversion to new Parliamentary accommodation. This conversion included three new high speed lifts to the eastern side of the building, the extension of the principal staircase above the Second Floor, the conversion of the original Chief Commissioner's Room to a conference room, the addition of WCs, bold and extensive new paint and furnishing schemes and the installation of carpeting, suspended ceilings and strip lighting throughout. The southwest staircase was also extended from what is now the fifth floor to the sixth floor.

Since the 1970s - Minor partition changes at nearly all floor levels. The demolition of northward projections at the lower ground floor and the introduction of temporary buildings within the courtyard.

1987 - The landscape to the north and west elevations of NSN was significantly adjusted as a result of the Richmond House development, with the lowering of the roadway to enable vehicular access to the basement. This resulted in a stepped plinth to NSN (covering basement vault structures), that presents challenges to access and movement. Notable is the existing steep ramped section adjacent to the west entrance, which is non compliant and presents a barrier to some users.



New Scotland Yard and setting in 1897 (Parliamentary Archives)



Wartime bomb damage to the southeastern turret, May 1941 (Westminster Archives)



New Scotland Yard bridge looking east (London Metropolitan Archives)



Laundry block with chimney, demolished 1975

3.5 Current internal condition

3.5.1 The existing MEP installations largely date from the 1970s when the last significant major refurbishment was undertaken.

3.5.2 Whilst adaptations and additions have been made over the years, the installations are dated, they do not meet modern workplace standards and are beyond their economic life expectancy.

3.5.3 The building has been built without a raised floor system due to its age and prior use. The only option for horizontal services distribution is at ceiling level. The 1970s refurbishment scheme has allowed for sizable bulkheads in offices and corridor areas for this purpose which have a harmful impact on the historic environment internally.



Fire doors obstruct views along corridors



Low inserted ceilings to offices interfere with view of windows



Lay-in ceiling grid clashes with layout of office/fireplace



Low inserted ceilings to corridors clash with vaulted ceilings

3.6 Use

3.6.1 Despite the change in use, from purpose-built headquarters for the Metropolitan Police in 1890, to government offices in 1967, the original spatial arrangement remains relatively intact, with the more significant internal interventions limited to two WC core and lift areas, which were carried-out as part of the refurbishment of the building 1973-1976. The fire compartmentalised screens and suspended ceilings were also introduced at this time, undermining the proportions of spaces and concealing detail.

3.6.2 Further, less extensive refurbishment was carried out during the mid-1990's and 1998 including extensive remodelling of the sixth floor and the conversion of the bedrooms to offices.

3.6.3 The building is generally in good condition for its age and the cellular arrangement has enabled its continued use for Parliamentary purposes.

3.6.4 Pedestrian access

3.6.4.1 Norman Shaw North is surrounded by three pedestrianised roads, Commissioner's Yard, Laundry Road and Curtis Green Yard. Victoria Embankment on the east side forms a main pedestrian and vehicle traffic route through this part of Westminster and is busy throughout the day.

3.6.4.2 The historic main entrance on the south façade towards Commissioner's Yard provides a stepped entrance route from the street level. An internal route connects via the link bridge crossing from Norman Shaw South, part of the wider circulation route connecting Portcullis House. The link bridge on the west side towards Curtis Green is not used as a circulation route. There are further stepped back of house entrances via the courtyard and via west and north elevations.

3.6.5 Vertical circulation

3.6.5.1 The existing main stair cases can be found in every corner of the building, except the north west, and have survived with limited alterations. All main stairs connect from the lower ground floor to the 6th floor with the stair case in the north east corner also

running continuously to basement level.

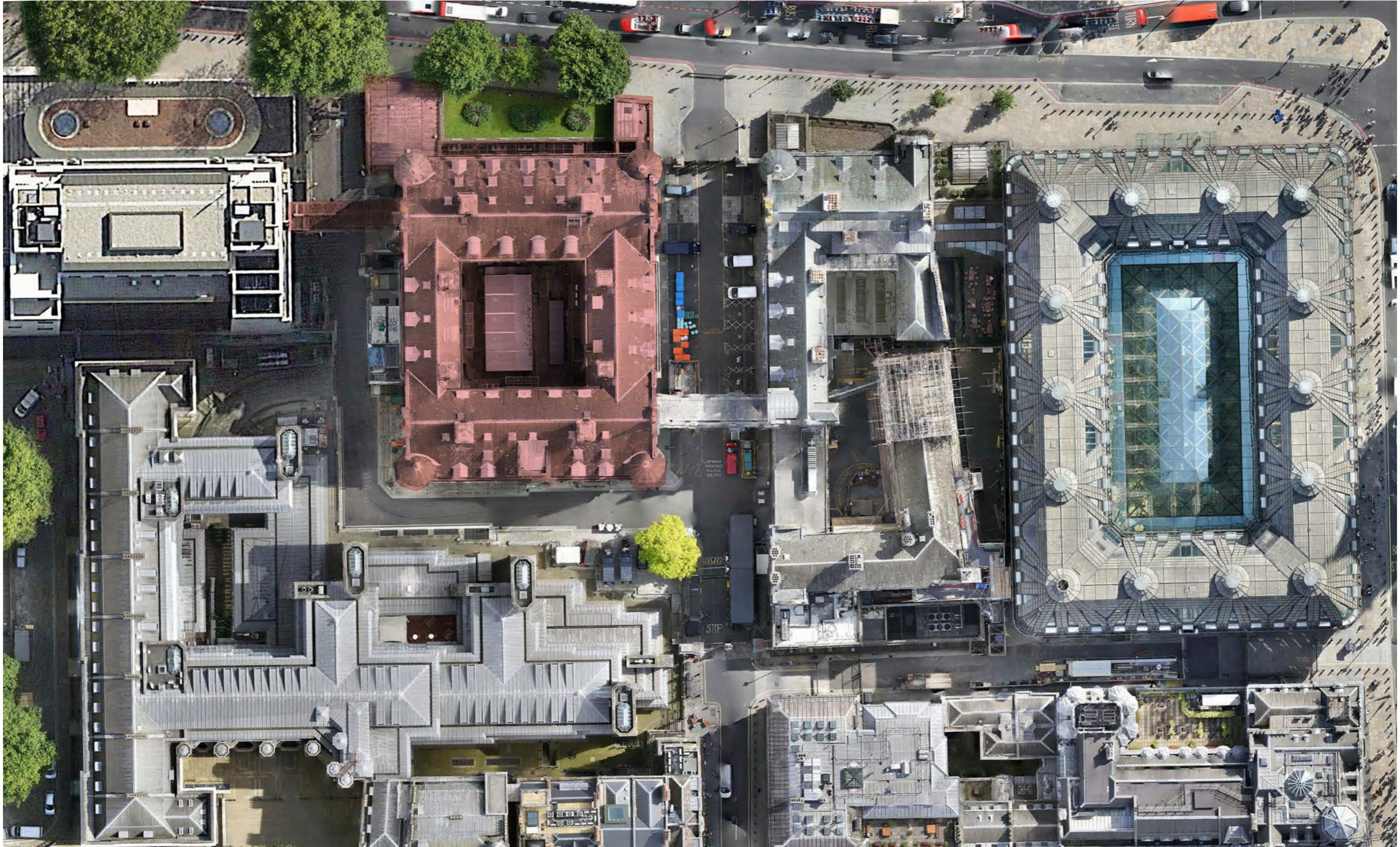
3.6.5.2 There are various additional single story stairs to the basement and a stair in the north west corner connects the mezzanine level to main 2nd floor. Ladders lead from level 6 to the roof area at level 7.

3.6.5.3 The east and west lift cores were inserted during the 1970s renovation at considerable loss of existing fabric. The lifts connect directly to the main circulation corridors on both sides of the building thus enabling lift access to all office levels, except to level 6 and basement. A further small lift in the southwest corner serves lower ground to level 6.

3.6.6 Horizontal circulation

3.6.6.1 Though originally interrupted through clever internal planning, the main circulation corridor now forms a continuous circuit on all levels. The partial mezzanine floor towards the west has introduced the necessity for steps within this circuit which is mitigated by alternative lift access on east and west wings. Most office and meeting spaces connect directly to the main circulation corridor with a minimal number of lobbied spaces.

3.6.6.2 Current circulation includes many routes and main entrances with steps or ramps, making a substantial proportion of NSN difficult to access, particularly for people in wheelchairs or with impaired movement.



Aerial view of the existing Northern Estate site with Norman Shaw North highlighted in red

3.6.7 Estate landscape

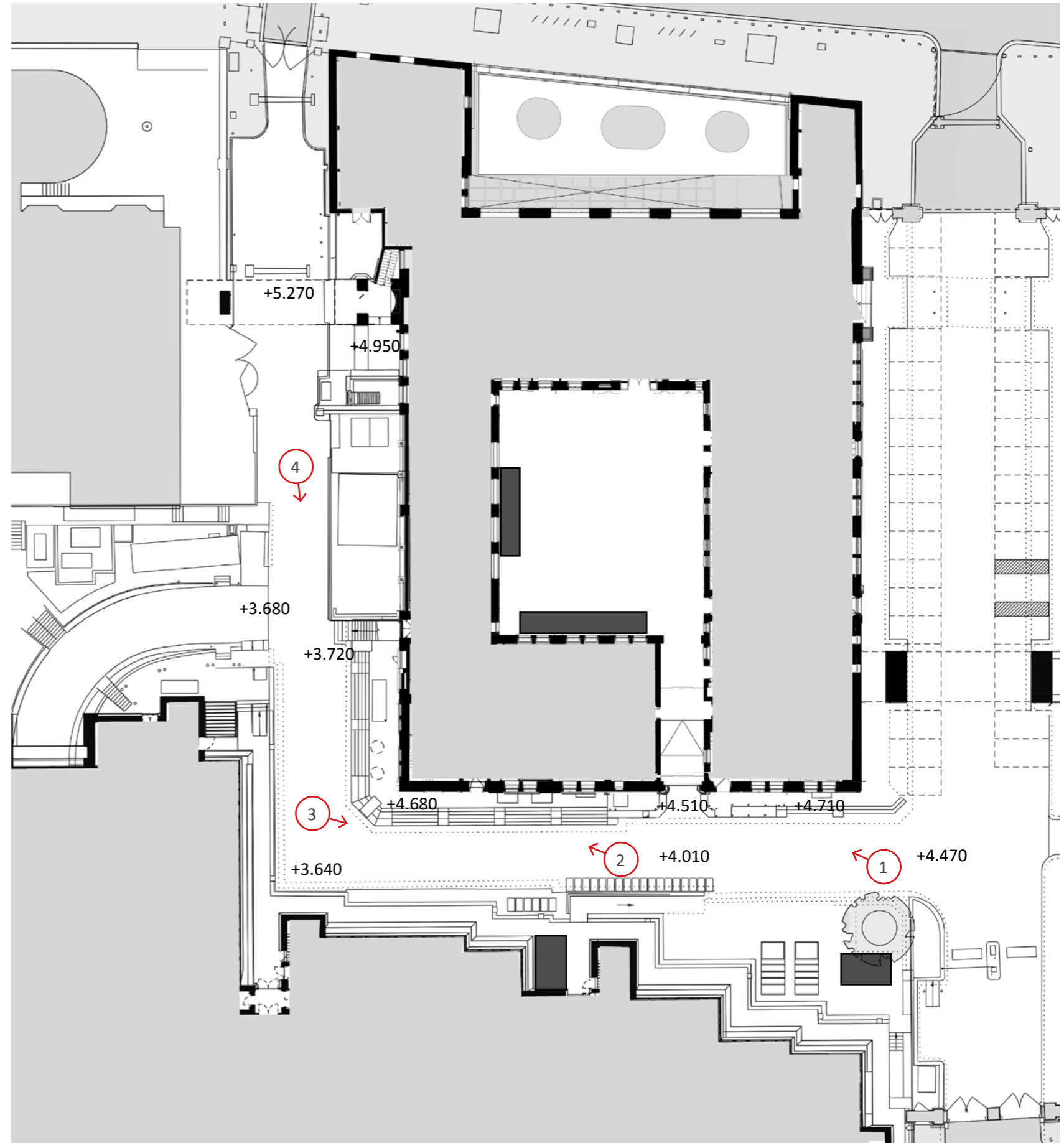
3.6.7.1 The building benefits from a private planted forecourt area between two single story pavilion buildings towards the Embankment which features mature trees on the pavement directly in front of Norman Shaw North.

3.6.7.2 The immediate landscaping around Norman Shaw North is generally of poor quality and detracts from the building setting and that of other designated assets and, consequently, makes a negative contribution to the character and the appearance of the Whitehall Conservation Area. This is exaggerated at the west and north elevations where the stepped plinth and lowered roadway disrupt the resolution of the building to the ground plane and inhibit pedestrian and logistics access.

3.6.7.3 In summary, the key landscape issues around NSN comprise:

- No step-free access to North West plinth
- Non-compliant ramped access to West entrance
- Landscape levels fall from Commissioners' Yard towards NW corner of Laundry Road and Richmond House
- South west plinth step absorbed by tarmac ramp
- Parking zone delineated
- 24 1100 Eurobins on Laundry Road
- 2 compactors on sloping surface, south east of Richmond House
- Non compliant pedestrian ramp to Richmond House

 = Existing cycle parking



3.6.8 Servicing and deliveries

3.6.8.1 Vehicles typically enter the estate from the Curtis Green Gate and pass around NSN on their way to deliver both to NSN and buildings beyond. In summary, approx. 18 vehicles a day (largely in the morning) pass around the building.

3.6.8.2 There are temporary ramps into the courtyard and off the courtyard into the building which facilitate deliveries from the estate streetscape and waste collection.

3.6.8.3 Waster compactors for the Estate are located opposite the south-west corner of the building. Currently, around 24 bins for the Estate are retained on Laundry Road.

3.6.9 Emergency vehicles

3.6.9.1 Emergency vehicles have indirect access to south, west and north elevations via the estate road network. Pavement vaults along the south elevation dictate an approximately three metres distance between any parked vehicles and the building. The existing raised granite plinth on west and north elevation prohibits parking directly next to the façade. A forecourt area flanked by small pavilion buildings creates a zone towards the Embankment which is not accessible to vehicles.



1. Laundry Road towards West entrance



2. Laundry Road, North West steps



3. Looking South down Laundry Road with bins to west



4. Curtis Green looking towards Richmond House

3.7 Elevations

3.7.1 The north elevation largely matches the southern elevation, with original Dutch gables flanked by tourelles and a six bay central section in between. The building has a granite base of three storeys, with red-brick and Portland stone horizontal bands to the upper storeys, surmounted by a deep composite cornice in Portland stone. The north elevation is the most altered of the four external elevations, primarily at basement and lower ground level where single-storey buildings have been removed, leaving an unresolved base at ground level that detracts from the building's significance. The remaining original 'internal' steel columns and beams, brickwork and edges of granite are exposed to the elements.

3.7.2 A detailed visual inspection survey has been carried out and the property overall was found to be in fair structural condition though generally the overall maintenance standard is considered to be poor. A number of most urgent and immediate defects relate mainly to the lack of slates on the west roof generated both by dry and wet rots within the loft space and considerable numbers of defects including hairline and fine cracks across all surfaces and degrading, delaminating masonry.

3.7.3 In addition, the roof coverings including flashings and leadwork, chimney stacks, doors and windows; are required to bring the building envelope into good and weather tight condition, which will be addressed as part of fabric improvements.



North elevation



East elevation



South elevation



West elevation

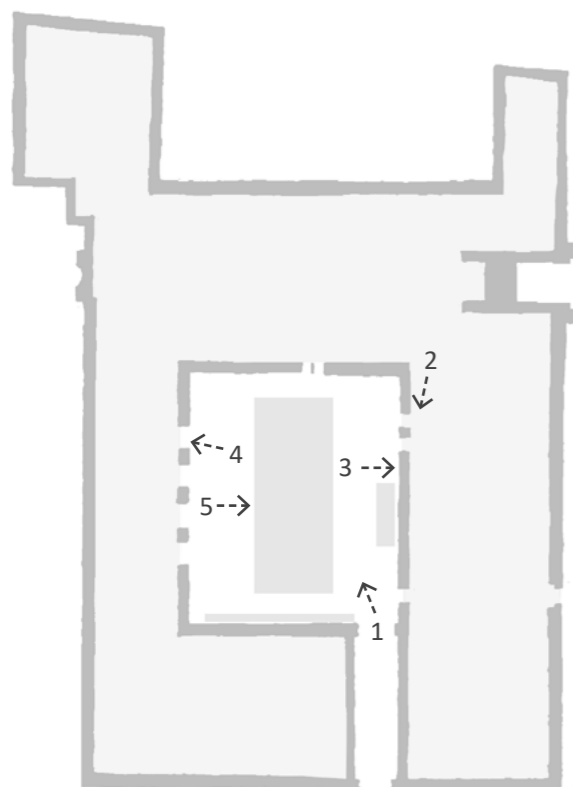
3.8 Courtyard

3.8.1 The current condition of the courtyard inhibits productive use of the space and diminishes the building's architectural value.

3.8.2 It is likely that the metal balcony to the second floor serving the principal staircase was installed as part of the alteration works related to fire safety improvements in the early 20th Century.

3.8.3 A double height portacabin sits in the centre restricting views of the surrounding elevations, detracting from the setting of this Grade I listed building. The ground floor level roof and courtyard base are also occupied by various modern additions such as plant and duct work, bike racks, wiring, and railings.

3.8.4 The concrete roof covering to the single-storey courtyard projection with its utilitarian guardrail also detracts from the building significance.



Key plan



1 - Central oculus has been removed and space occupied by two storey portacabin



2 - Plant, bike racks and protective railings currently inhibiting character of courtyard



3 - Temporary ramp required for level access



4 - Existing screens on north facade



5 - Courtyard currently used for waste disposal

3.9 Roof condition

3.9.1 The existing roof is in a poor condition with significant areas of loose, cracked and failing slate which has resulted in substantial water damage to the roof fabric and structure. The leadwork and window linings are in urgent need of replacement and renewal as part of a comprehensive package of repairs.

3.9.2 The DBR surveys completed in 2017 identified areas of roof which are failing leading to significant water damage to the interior roof linings and structure. Historically poor access to these areas has led to intermittent and ad-hoc maintenance and repairs which has resulted in further deterioration of the roof and building fabric.

3.9.3 Visual surveys have identified the following defects which will be addressed as part of the fabric improvements:

- Slipped slates.
- Delaminating slates.
- Flashing failures throughout.
- Holes in roof.
- Shallow lead gutters require repairs.
- Hollow section of cornice missing.
- Masonry missing.
- Rainwater downpipe and hopper failures/missing.
- Plant and moss growth.
- Staining.
- Missing and broken fixings throughout.
- Debris and loose slates on roof.



Hole in slate covering to NSN roof



Slipped slates in NSN gutters



Slates slipped down to lower areas of NSN roof



Series of missing slates on NSN roof



Photographic survey of south elevation south west turret shows missing and lifting slates



Photographic survey of south elevation shows various missing slates