



# WOOTTON STREET

Landscape Design Report  
16.12.2020  
Revision 01





LANDSCAPE MASTERPLAN

## Existing site

The site sits at the junction of Wootton Street and Greet Street on the route between Waterloo East and Waterloo rail stations. The site is occupied by a single storey building formerly occupied as the Coral Day Nursery and associated child play facilities. The site is bounded by Windmill House to the west and Ethelm Street to the south. The site is surrounded by existing green space on the northern and eastern boundary of the site. The landscape facing Wootton and Greet street consists of a lawn and small areas of shrubbery, enclosed by a low brick wall which makes the space inaccessible to users of all abilities. The remaining boundaries are enclosed with a full height brick wall.

There are three street trees on Greet street, one large tree on Wootton street and three street trees just outside the site boundary to the North-West.

The child play space is linked to operation of the nursery, now vacant and is not accessible from the street, or to occupiers of neighbouring properties.







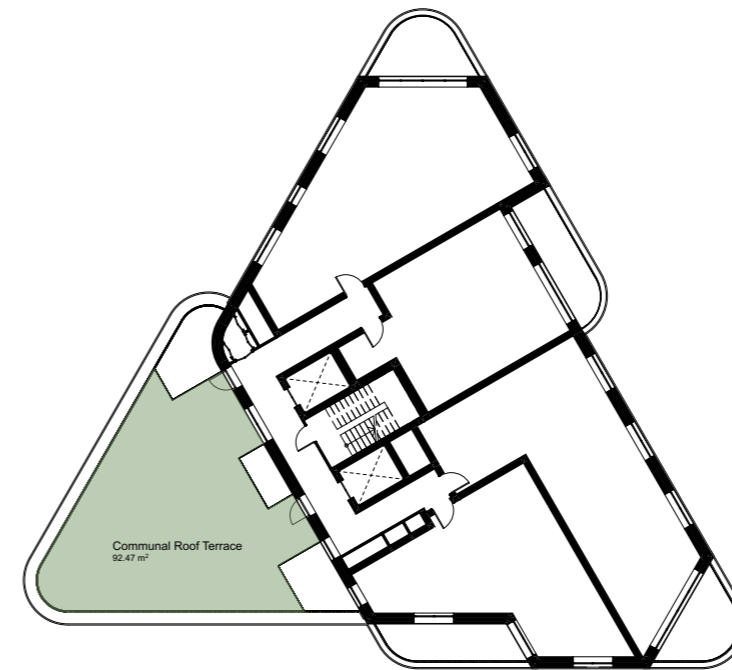
# Proposed open space area measurements

Ground Floor



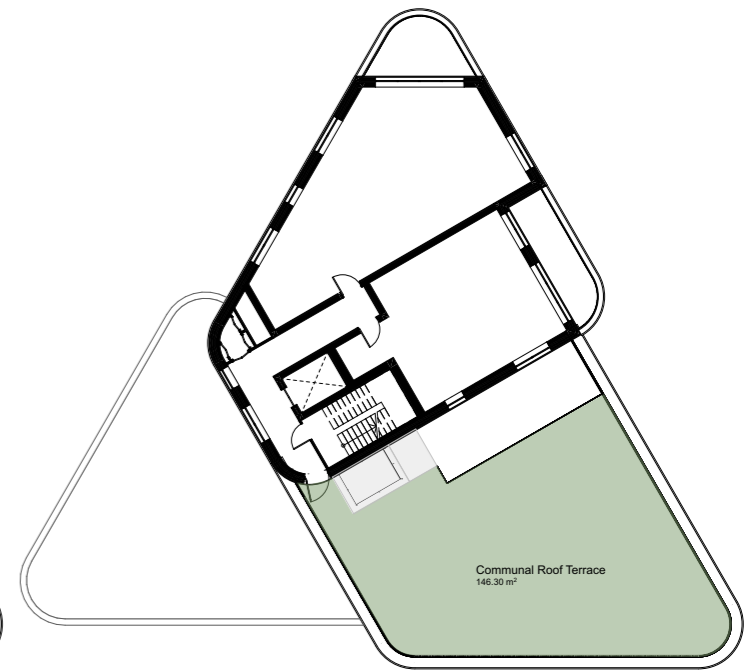
Communal garden 83,92m2  
Play area 157,06m2  
Public open space 127,90m2

5th Floor



Communal roof terrace 111.16m2

8th Floor



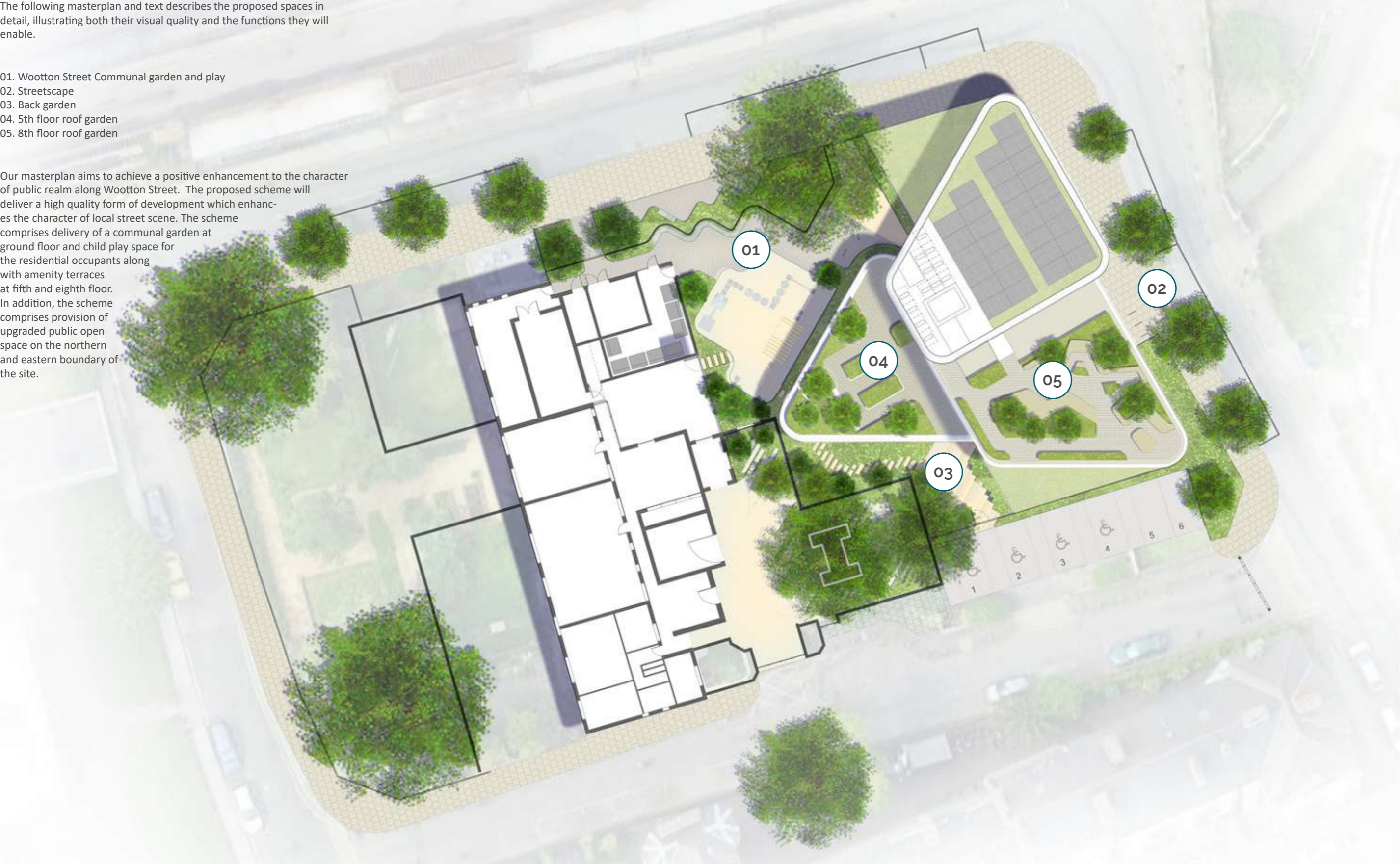
Communal Roof terrace 181.03m2

# Landscape Masterplan

The following masterplan and text describes the proposed spaces in detail, illustrating both their visual quality and the functions they will enable.

- 01. Wootton Street Communal garden and play
- 02. Streetscape
- 03. Back garden
- 04. 5th floor roof garden
- 05. 8th floor roof garden

Our masterplan aims to achieve a positive enhancement to the character of public realm along Wootton Street. The proposed scheme will deliver a high quality form of development which enhances the character of local street scene. The scheme comprises delivery of a communal garden at ground floor and child play space for the residential occupants along with amenity terraces at fifth and eighth floor. In addition, the scheme comprises provision of upgraded public open space on the northern and eastern boundary of the site.







Communal roof gardens



Ground floor communal garden



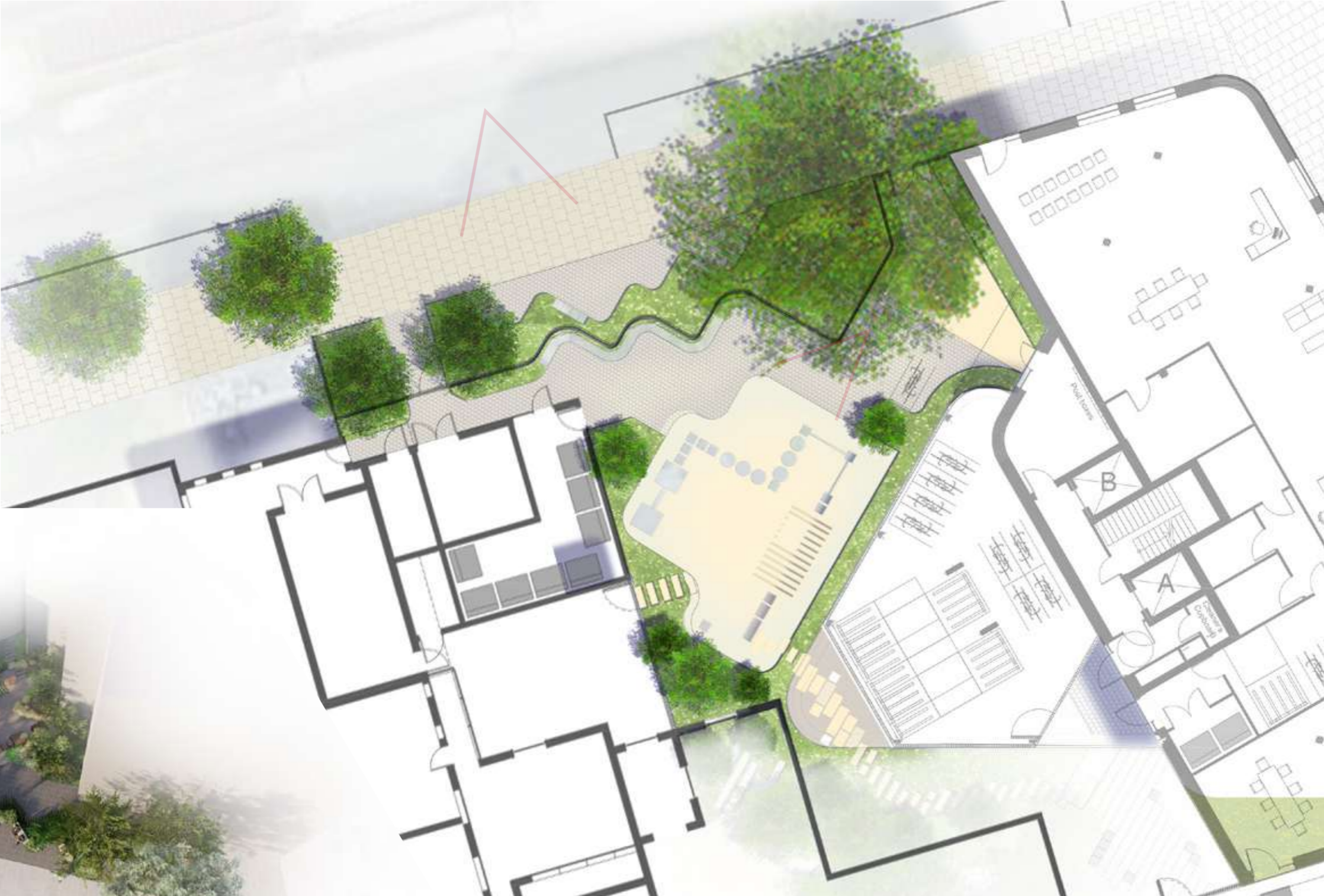
Pocket garden space in the streetscape

# Wootton Street Garden

The garden seen from Wootton Street consist of public realm pocket space divided with a sculptural fence from the communal garden. Visually these spaces form one garden, however they give the new residents quiet, more intimate space to relax and enjoy, as the garden is fully enclosed. The garden consists of a play area and a sculptural seating at the northern part of the garden. We propose to densely plant this area with woodland plants to give it a strong character. Our aim is to create an intimate space full of character, with the opportunity for quieter reflection or for children to explore this 'woodland' space. The garden will be enclosed by the gate and will only be used by the residents and their guests, helping to ensure there is no anti-social behaviour in this secluded area.

The play area is suited for all age groups and includes a rubberised play surface and sculptural play equipment.

A long sculptural bench will be installed along the boundary of the garden to provide seating space / facilities for parents to watch over the children whilst they utilise the informal play space.



Plan view



Bird-eye view



Eye level view

# Back Garden

The part of the garden adjacent to the private estate road will have a informal character. Planting and paving material will enforce naturalistic character. Proposed tree species have open, see through canopies to ensure the garden feels secure and inviting. We propose to have informal seating within the planting. The trail which links through the garden to the north delivers a continuous joined up communal garden.



Plan view



Bird-eye view



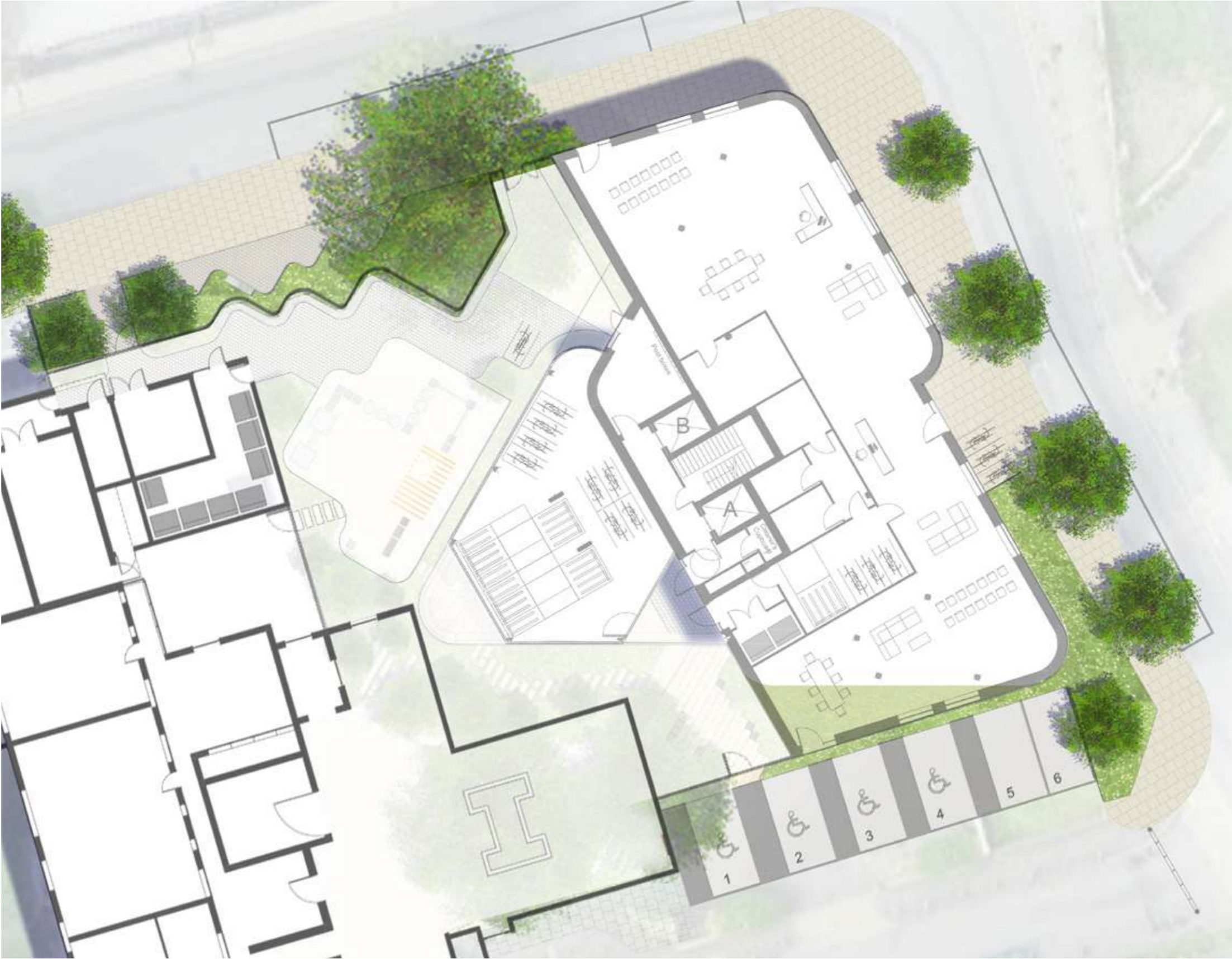
Eye level view



# Streetscape

The proposed development is located in the proximity of Waterloo East and Waterloo Station. This important route will be enhanced with a small pocket space. We propose to keep the mature existing tree and create an area with ornamental planting and benches for passers by to stop and rest. The ornamental fence will seamlessly blend the public realm with the adjacent communal garden.

The proposal on Greet Street consists of replacement of the paving material and new planting bed adjacent to the core entrance. The planting wraps around the building.



Plan view



Eye level view

## Fifth floor garden

Whilst the communal gardens provide an enclosed and intimate amenity space for the residents, further gardens are provided at the upper roof levels. These have very similar landscape elements within them, but their location on the roofs make them more open to both great views and the sun. In this respect we can promote other activities such as growing vegetables to create a better community experience where residents can meet on a regular basis.

The roof gardens also provide an opportunity for the wildlife community, with a range of niches for fauna and flora including herbaceous plants. Similar connectivity can take place here, with birds, bees, bugs, butterflies and pollinating seed heads drifting from one garden across to another.

It is at this level that we can really maximise the 'human-nature' approach with people meeting, playing and socialising together, whilst bio-diversity thrives in a harmonious and symbiotic environment.



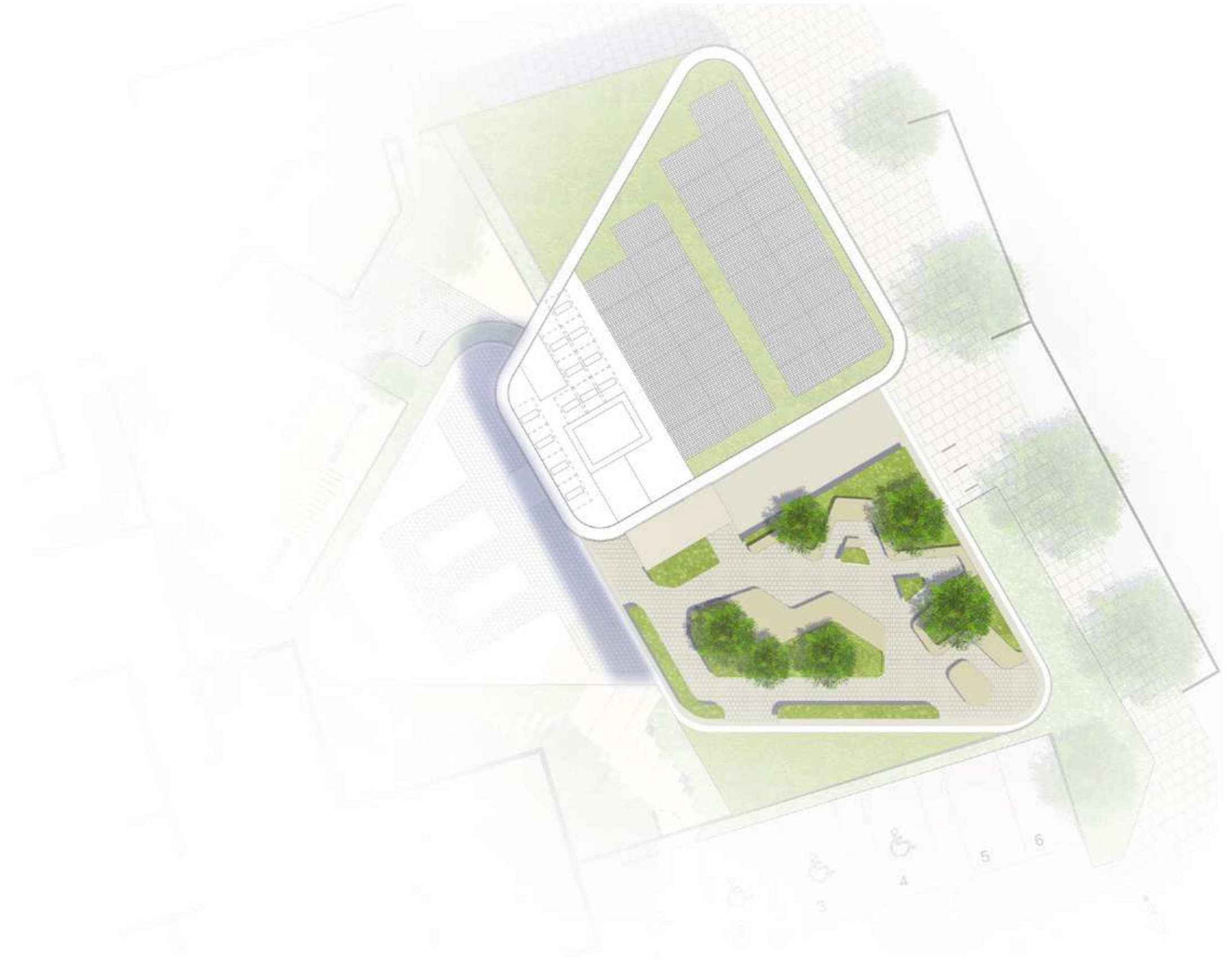
Plan view





## Eight floor garden

The eighth floor garden will offer a semi-private garden for relaxation, play and socialisation. It will be framed with raised planting bed and sculptural seating. This has the dual benefit of providing enough depth to introduce tree planting whilst creating an attractive border to the gardens offering an element of privacy.

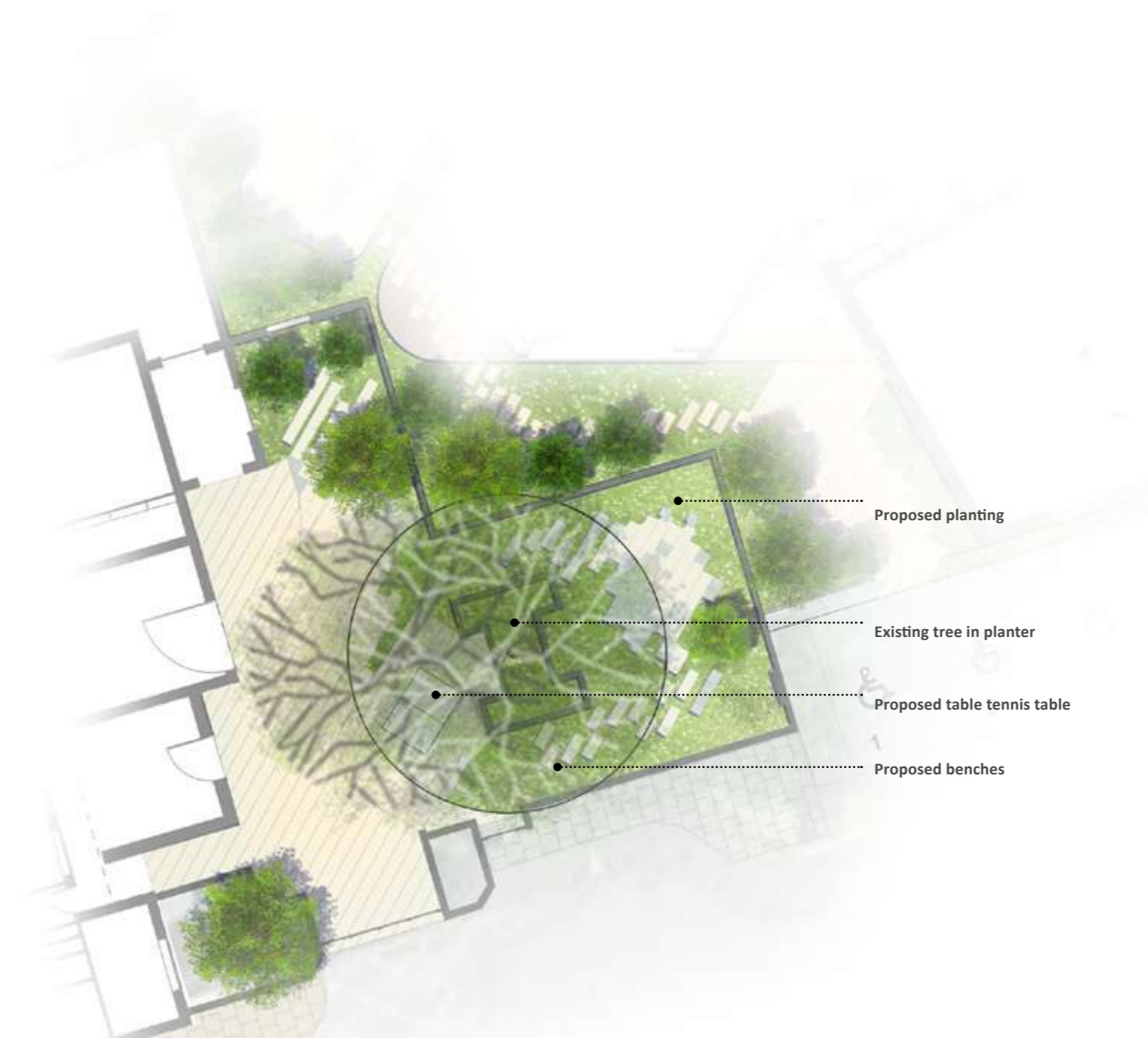




## Off-site work

Following consultation with officers at Lambeth consideration has been paid to delivery of public realm enhancements on land next to Windmill House. : We have explored a package of enhancements that could be delivered in the form of soft / hard landscaping, enhanced planting, seating and informal play facilities for use by new and existing residents.

The visualisations below and on the following page outline an indicative scheme for enhancements to this space.





Eye level view





LANDSCAPE ELEMENTS

# Tree Strategy

Whilst all the landscape elements including paving materials, furniture and planting are all part of the masterplan layout and form, it will be the planting strategy that defines the character of the site.

We are proposing to use a simple palette of trees, shrubs and perennials across the entire masterplan but arrange them in a composition according to their category: whether in the informal/naturalistic, semi-formal/sculptural or formal/civic group.

The tree planting strategy helps to reinforce the spatial hierarchy throughout the site, with larger specimens used a key points to have a real presence in each of the key spaces.









 *Betula pubescens* 4-5m, multi-stem




 *Sorbus aucuparia* 4-5m, multi-stem




 *Malus sylvestris* 3-4m, multi-stem




 *Cornus sanguinea* 3-4m, multi-stem



 *Euonymus europaeus* 2-3m, multi-stem




 *Platanus hispanica* 30-35mm girth



 *Amelanchier lamarckii*



 *Crataegus lavalleei* 'Carierlei'

# Planting Strategy

A well chosen palette of flowering deciduous and evergreen shrubs will create a soft landscape that provides interest and colour and food for insects year around whilst keeping maintenance to a minimum.

The planting on the podium will highlight the playful character of the space. We propose to use species with intense colours and soft textures that best respond to the local micro-climate to best ensure that they thrive. Using plants that have strong sensory attributes will be an important design element, as the podium will predominantly be used by toddlers for play. We propose to use species that will support pollinators, encouraging foraging and promote habitats.





Woodland mix

Flowering mix



Native mix hedge

Roof garden mix

## Urban Green Factor London

### LN00901 - Wootton Street

Total site area: 1596 mq

#### Recommended target score

Residential developments	0.4
Commercial developments	0.3

#### Proposed surface cover

Surface cover Type	Factor F	Area A (mq)	Score FxA (mq)
Semi-natural vegetation (e.g. woodland, flower-rich grassland) created on site.	1	0	0
Wetland or open water (semi-natural; not chlorinated) created on site.	1		0
Intensive green roof or vegetation over structure. Vegetated sections only. Substrate minimum settled depth of	0.8	106	84.8
Standard trees planted in natural soils or with a minimum of 25 cubic metres soil volume per tree (preferably with load-bearing substrates and connected pits)	0.8	0	0
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket)	0.7	0	0
Flower-rich perennial planting	0.7	325	227.5
Rain gardens and other vegetated sustainable drainage elements	0.7		0
Hedges (line of mature shrubs one or two shrubs wide)	0.7	8	5.6
Standard trees planted in individual pits with less than 25 cubic metres soil volume	0.6	436	261.6
Green wall –modular system or climbers rooted in soil	0.6		0
Groundcover planting	0.5	147.5	73.75
Amenity grassland (species-poor regularly mown lawn).	0.4		0
Extensive green roof of sedum mat without substrate or other systems that do not meet GRO Code (2014)	0.3		0
Water features (chlorinated) or unplanted detention basins	0.2		0
Permeable paving	0.1	91	9.1
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0		0
<b>Total</b>		1113.5	662.35
<b>Total score</b>			<b>0.415006266</b>

# Material Strategy

The hard landscaping scheme has been designed to be high quality robust and hard wearing. The colours, sizes and material have been selected to complement each other.

We proposed to use simple material palette in colours responding to the building facade and a high content of recycled materials where possible.





Concrete slabs



Small concrete blocks



Play surface mulch



Stepping stones path



Concrete plank paving to footpath

Paving to match existing

# Furniture Strategy

The selected furniture will be built with natural materials of timber and steel. Selected benches all have back and arm rests to ensure everyone is able to use them.

We propose to use lighting bollards in the garden to allow the residents to use the garden in the evening.





Sculptural metal railing and gates



Timber benches



Sheffield cycle stands



Lighting bollards



Timber seating platforms



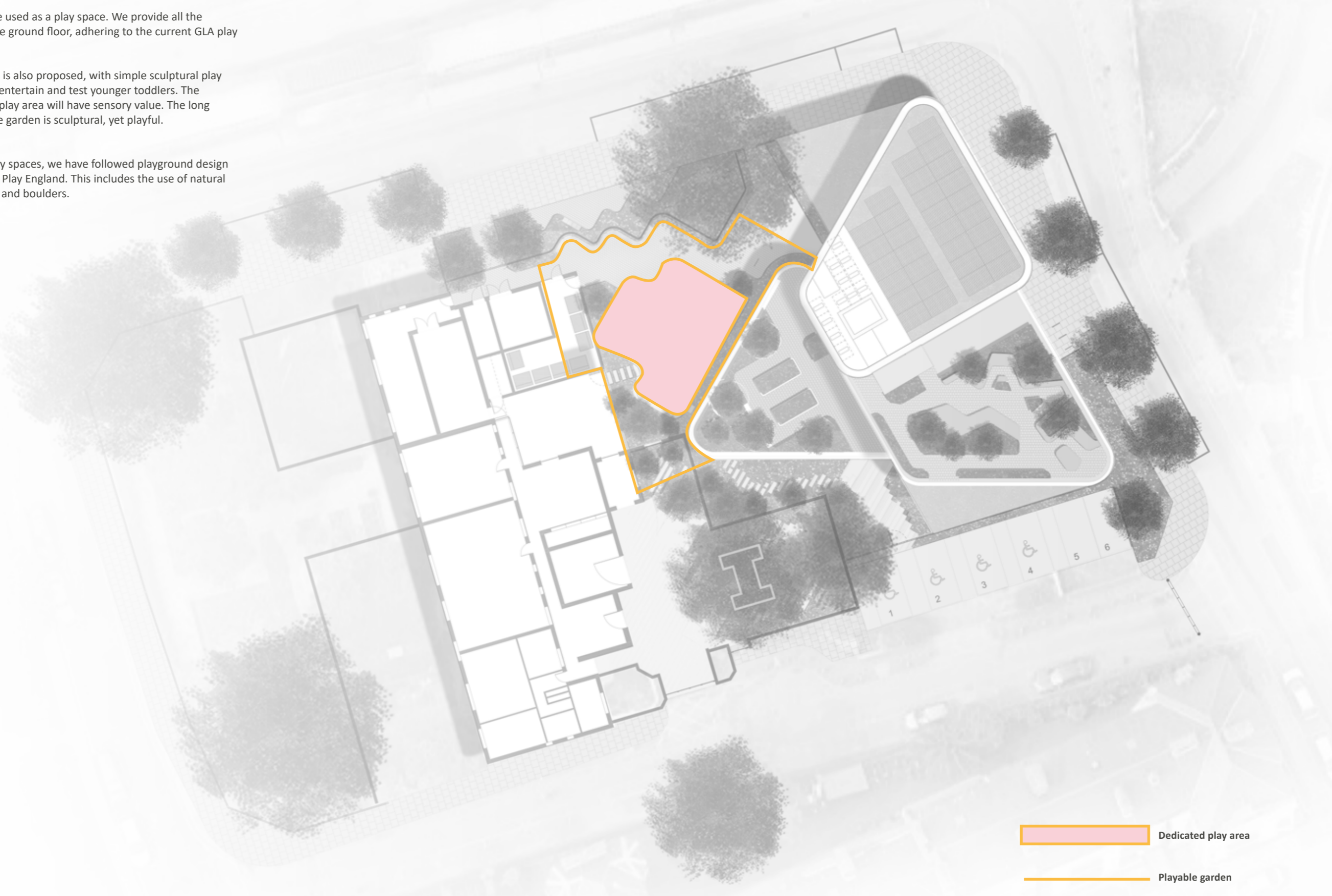
Raised metal planters

# Play Strategy

Part of the garden will be used as a play space. We provide all the required play space in the ground floor, adhering to the current GLA play space requirements.

An area of rubber crumb is also proposed, with simple sculptural play equipment, designed to entertain and test younger toddlers. The planting adjacent to the play area will have sensory value. The long bench to the north of the garden is sculptural, yet playful.

In the creation of the play spaces, we have followed playground design guidance, established by Play England. This includes the use of natural elements such as timber and boulders.





## GLA Population Yield Calculator

	1 bed	2 bed	3 bed	4 bed
Market and Intermediate Units	14	10	1	0
Social Units	2	6	3	0

<b>Total Units</b>	<b>36</b>
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Geographic Aggregation	London
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PTAL	PTAL 5-6
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### Notes

Sample size of 27 sites

Shaded cells require user input

Select both geography and PTAL

For developments in Outer London with PTAL 5-6 use [London/PTAL 5-6] or [Outer London/3-4] to calculate yield

### Yield from Development (persons)

	Market & Intermediate	Social	Total
Ages 0, 1, 2, 3 & 4	2.1	5.5	7.6
Ages 5, 6, 7, 8, 9, 10 & 11	1.4	4.2	5.6
Ages 12, 13, 14 & 15	0.2	2.0	2.2
Ages 16 & 17	0.1	1.0	1.2
18-64	40.9	17.8	58.6
65+	1.0	0.4	1.4
<b>Total Yield</b>	<b>45.7</b>	<b>30.8</b>	<b>76.5</b>

### Play Space Calculator

Total Children	16.5
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	Benchmark (m <sup>2</sup> )	Total play space (m <sup>2</sup> )
Play space requirement	10	164.9







LANDSCAPE MANAGEMENT

## Maintenance

Hard landscape materials, sizes and laying patterns have been carefully considered in order to maximise longevity and integrity of the wearing course. This is essential for buildings that expect relatively high footfall due to the nature of the development. The materials have been chosen for their robust nature, while not compromising their visual quality.

The landscape contractor will be provided with multiple water supply points. If required, watering of the generous soft landscape will be supplemented by an intelligent automated irrigation system. As with any investment in landscape comes the adage that, 'it is not what it is today, but what it becomes tomorrow'. A maintenance specification will be produced and incorporated into the planting specification.

A maintenance specification will address issues such as tree crown development and irrigation requirements to ensure the trees in particular are properly established and shaped in accordance with the design aims.



Clipping hedges to maintain a formal shape/appearance



Routine soft landscape maintenance



Litter picking on a regular basis



Watering during establishment

# Ecology and Sustainability

## Bats

Bats boxes (e.g. Schwegler woodcrete 2FS, 2F, 2FF, FN 1FW bat boxes) can be installed on new buildings and over time on trees (if required). Ideally artificial roosts should be located on or close to existing bat flight lines, in order to maximise the chances of bats finding and using them. This will be monitored over time.

## Birds and Bugs

Bird and bug boxes/units will be located throughout the neighbourhood, on posts, buildings or set within the planting. These will be in accordance with RSPB standards.

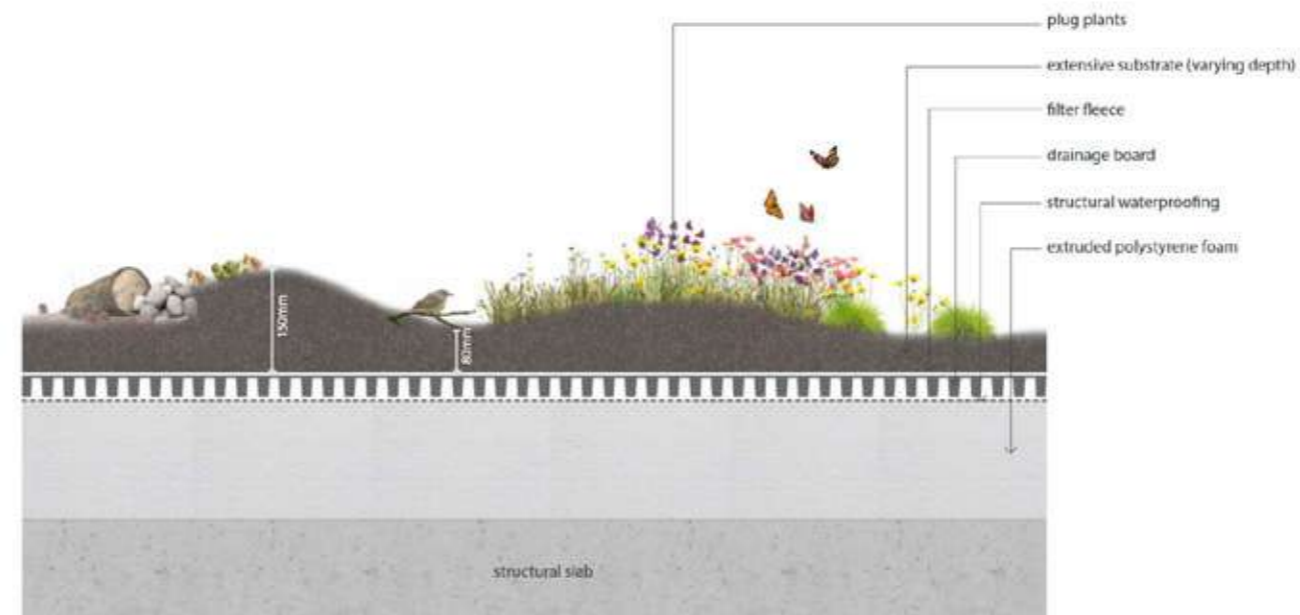
## Green roofs

We will implement green/brown roofs to the upper exposed levels of the building. For more information, please refer to the architects specification. The green roof will be a pre grown planted mat. This mat will provide year round vegetation cover and benefits for wildlife. Biodiverse roofs will be used to cover the majority of the roofscape and will be planted on a shallow, low nutrient substrate. The plant mix will include native wildflower and perennial seed mixes. The biodiverse roofs will also include areas of bare substrate and shallow mounds to provide a variety of micro climates for plants and insects. The biodiverse roofs include a range of native species plants, open areas and log piles to attract insects. A typical cross section through the biodiverse roof build up is illustrated in the adjacent image.

## Sustainability

Wherever possible materials used on site will have a recycled content. The majority of the block paving specified will have a recycled content of at least 50%.

Not only do the materials specified add to sustainability, but by creating spaces and new residents to be involved with the up-keep of the landscape, we create a sustainable community.



Illustrative section through the biodiverse roof illustrating the varying substrate depths





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