



Figure 4.4: CGI representation of the proposed development, as seen from the south looking north along Greet Street. Source: Stockwool.



Figure 4.5: CGI representation of the proposed development, as seen from Windmill House. Source: Stockwool.



Figure 4.6: CGI representation of the proposed development, as seen from Wootton Street, looking east. Source: Stockwool.



Figure 4.7: CGI representation of the proposed development, looking at the rooftop garden over level five. Source: Stockwool.



Figure 4.9: CGI representation of the proposed development, aerial view of the proposed courtyard. Source: Stockwool.



Figure 4.8: CGI representation of the proposed development, as seen from the railway when travelling due east. Source: Stockwool.



Figure 4.10: CGI representation of the proposed development, showing an entrance from Wootton Street. Source: Stockwool.





Figure 4.11: Southern elevation facing the rear of Ipsden flats (not to scale). Source: Stockwool.



Figure 4.13: Eastern elevation facing Greet Street (not to scale). Source: Stockwool.



Figure 4.12: Northern elevation facing Wootton Street (not to scale). Source: Stockwool.



Figure 4.14: Western elevation facing Windmill House (not to scale). Source: Stockwool.





Figure 4.15: Ground floor plan (not to scale). Source: Stockwool.

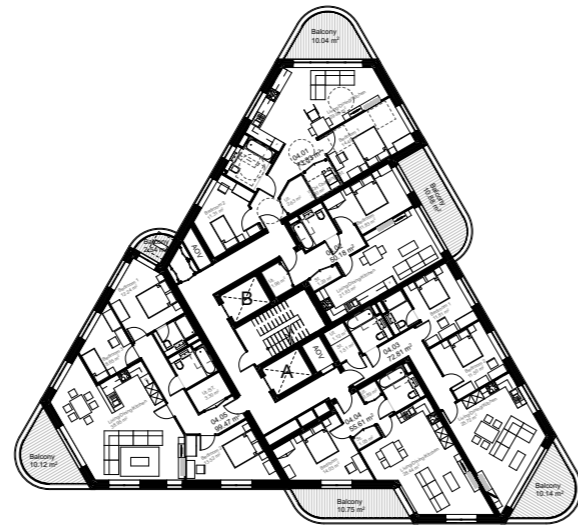


Figure 4.17: 4th floor plan (not to scale). Source: Stockwool.

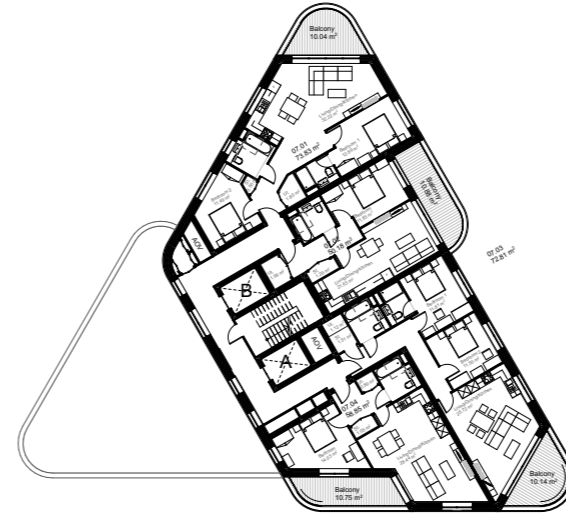


Figure 4.19: 7th floor plan (not to scale). Source: Stockwool.

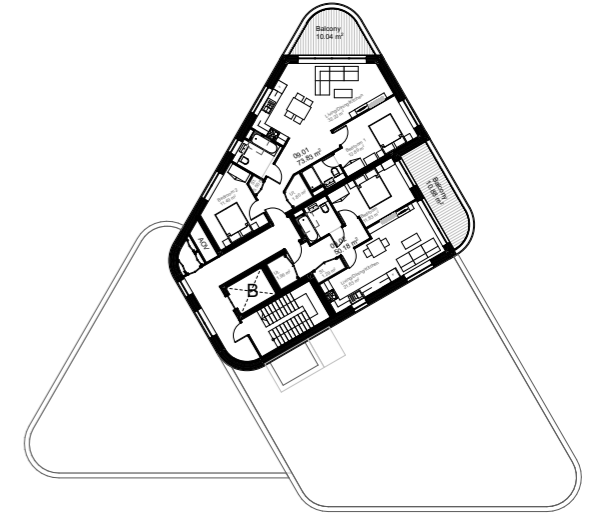


Figure 4.21: 9th floor plan (not to scale). Source: Stockwool.



Figure 4.16: 1st floor plan (not to scale). Source: Stockwool.

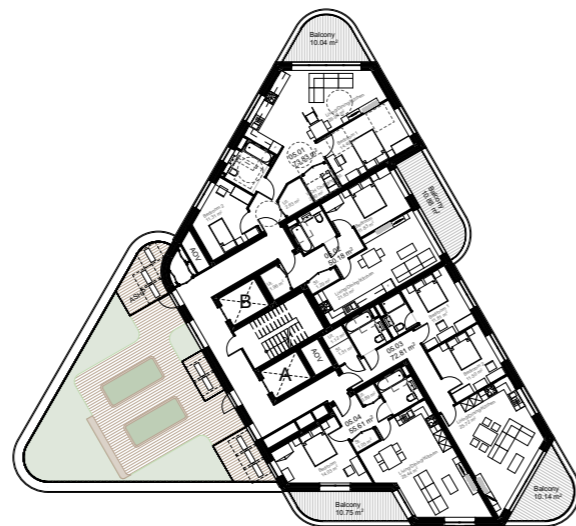


Figure 4.18: 5th floor plan (not to scale). Source: Stockwool.

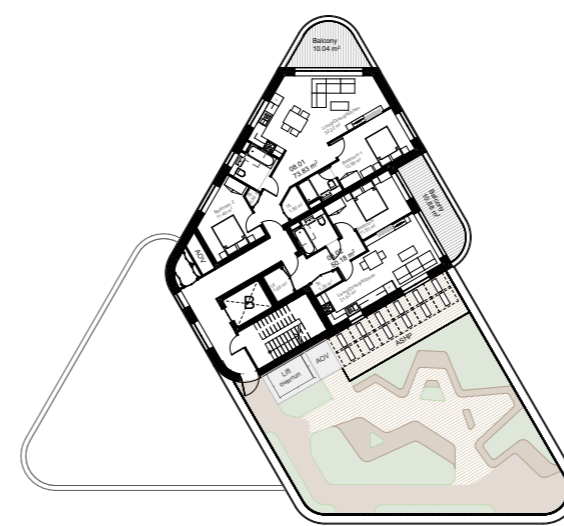


Figure 4.20: 8th floor plan (not to scale). Source: Stockwool.

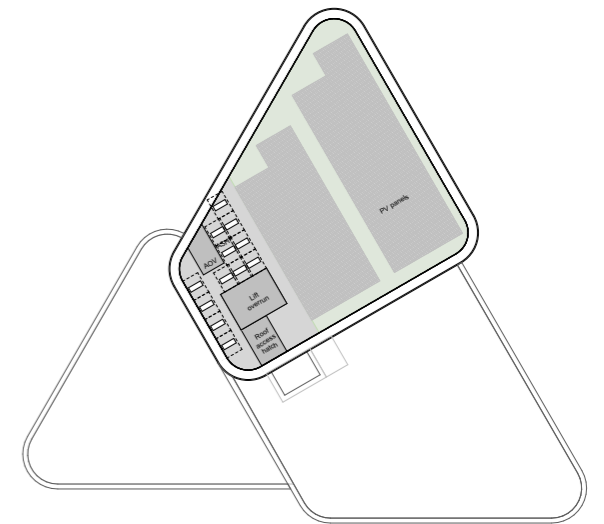


Figure 4.22: 10th floor plan (not to scale). Source: Stockwool.

## 5. Visual and Townscape Assessment

- 5.1 In order to assess the effects of the proposed development on the visual amenity of receptors (people experiencing the views), the consultants have selected 11 townscape viewpoint locations for assessment, based on the methodology as described in chapter 2.0. Five additional views were also considered, but are not assessed in this chapter owing to minimal visibility or lack of visibility of the proposed development in these views. These are represented as 3D model-shots in Appendix 1.
- 5.2 The 11 views assessed are not the only views which are likely to be affected by the proposed development, but represent a general spread of views which illustrate the urban relationships likely to arise between the proposed development and the surrounding townscape. The views chosen and assessed in this chapter represent 'maximum exposure / maximum conjunction' of the proposed development in its context.
- 5.3 In particular, three views (views 8, 9 and 10) were chosen to illustrate the visibility of the proposed development from within the Roupell Street Conservation Area, which is the closest to the site. These views were important in informing the height, massing and architectural expression of the final designs.
- 5.4 The consultants have assessed the visual effects of the proposed development on the local environment, making use of both the quantitative and the qualitative material as provided in the Accurate Visual Representations (AVRs, also known as verified views) presented in this chapter, which were produced by visualisation specialists Miller Hare. The written assessments include both objective and subjective commentary based on professional judgement.
- 5.5 Each of the views is presented and assessed according to the consultancy's methodology as three images:
- An 'existing view' with a photograph of the baseline condition;
  - A 'proposed view' with an image of the proposed development within the view; and
  - A 'cumulative view' with an image of the proposed development in the context of other schemes, submitted for planning consent, consented or under construction.
- 5.6 For the AVRs, the 'proposed' view is presented either as a fully rendered photorealistic photomontage or a blue wireline photomontage, showing the external outline of the proposed development superimposed on the baseline photography. Miller Hare's methodology for the production of AVRs is available at Appendix 2 of this TVIA.
- 5.7 The cumulative views are AVRs with the proposed development shown as per the 'proposed' view and the cumulative schemes depicted as orange wirelines.
- 5.8 All wirelines (cumulative and proposed) are depicted as solid lines where visible from the viewing location and as dotted lines where the proposed or cumulative schemes (or part thereof) are occluded by built form in the foreground and hence not visible.
- 5.9 All viewpoints are plotted in the map at figure 5.1. The 11 viewpoints included in the main preliminary set of views are listed below:
- View 1:** Southwark Arches, next to the Palestra building, looking west (wireline)
- View 2:** Union Street, between The Lord Nelson PH and Rowland Hill House, opposite junction with Gambia Street, looking west (wireline)
- View 3:** The Cut, between Nos. 39A-41, looking north into Greet Street (render)
- View 4:** Baylis Road, at the northern corner of Waterloo Millennium Green, looking north-east (wireline)
- View 5:** Cab Road, in front of the northern stairway entrance to Waterloo Station, looking east (wireline)
- View 6:** Cornwall Road, opposite No. 1 Wootton Street, looking east into Wootton Street (wireline)
- View 7:** Wootton Street, at junction with Windmill Walk, looking east (render)
- View 8:** Whittlesey Street, outside No. 21, looking south into Windmill Walk (render)
- View 9:** Theed Street, outside No. 10, looking south (render)
- View 10:** Theed Street, outside No. 3, looking south (render)
- View 11:** Colombo Street, outside The Rose & Crown PH, looking south-west (wireline)
- 5.10 The five viewpoints included in Appendix 1 are listed below:
- View A:** Ufford Street, between Nos. 20-21, looking north into Short Street (model-shot)
- View B:** Baylis Road, by Cycle Hire Station opposite Waterloo Millennium Park, looking north-east (model-shot)
- View C:** Traffic island between Tenison Way and Waterloo Road, looking south-east towards St John's Church, Waterloo (model-shot)
- View D:** Upper Ground, at the northern entrance of Bernie Spain Gardens, looking south (model-shot)
- View E:** Stamford Street, outside No. 108, looking south into Coin Street (model-shot)



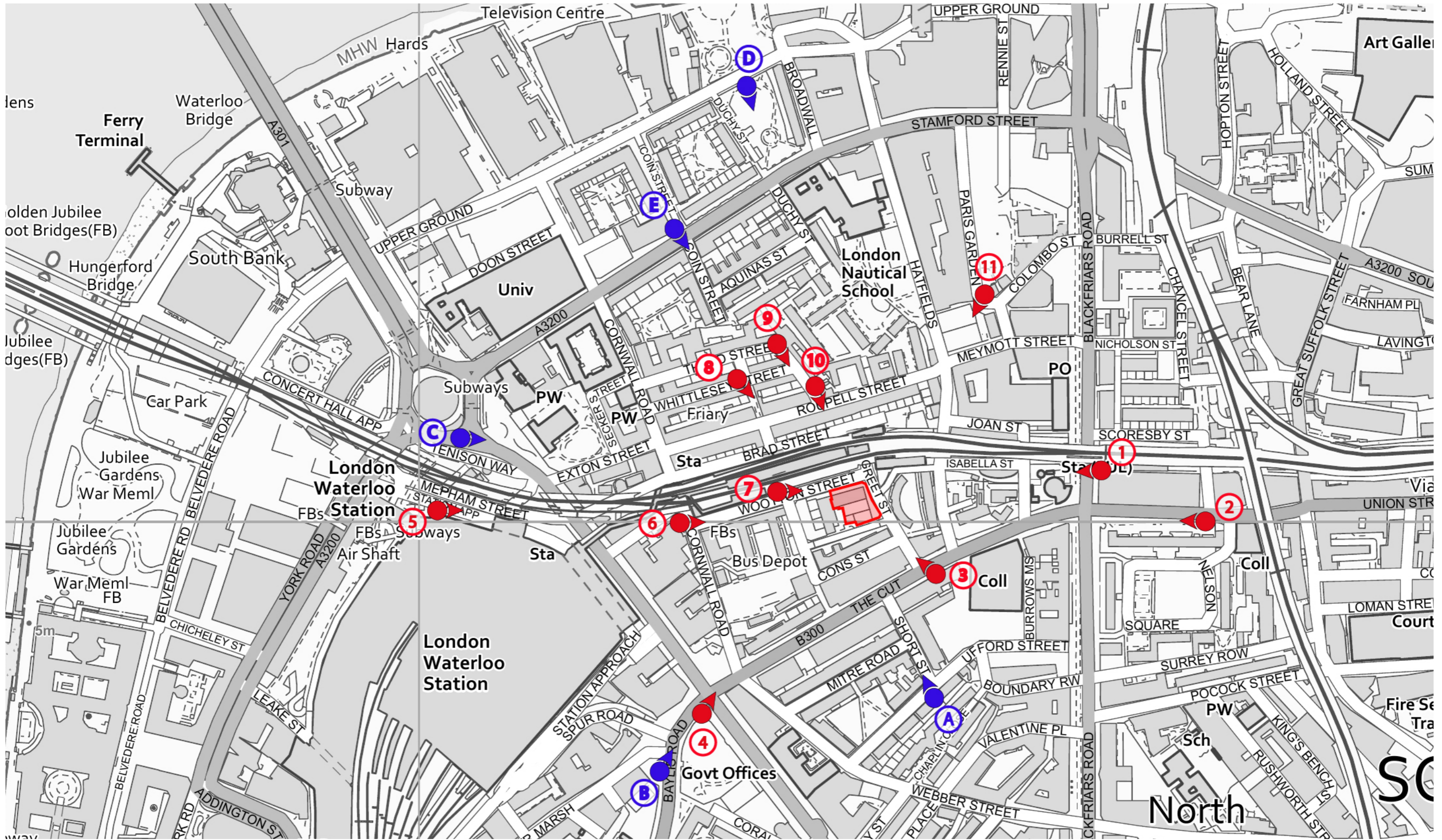


Figure 5.1: Views map with 16 viewpoints, including those selected for assessment in this chapter (shown in red) and those for illustration only and included in Appendix 1 (shown in blue). The site is highlighted in red.

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