

# 2.0

## 2.0 SITE SETTING & CONTEXT

### 2.1 THE SITE

#### SITE LOCATION AND DIMENSIONS

The site is located between Waterloo and Southwark stations and immediately to the south of Waterloo East station. Currently the site is occupied by a single storey brick building which houses the former Coral Day Nursery which is now vacant. The site also contains some low-grade landscaping, several semi-mature trees of mixed quality and some residual parking for local residents.

The site is roughly square at 38x39m although the south-west corner of the square forms the entrance to windmill house to the west and lies outside the application boundary. The site is bounded to the north by Wootton Street, to the east by Greet Street to the south by an estate road utilised by residents of Windmill House and Ipsden Buildings - the Peabody development to the south. To the west of the site lies Windmill House itself.

The immediate area surrounding the site is of mixed architectural context. Windmill House to the west is a nine-storey residential slab block dating from the 1950's which is fully occupied and well maintained. To the east is a curving five-storey Tait House, the distinctive form of which is at odds with the more rectilinear nature of the majority of local buildings. To the south Ipsden Buildings is a typical Edwardian block owned and managed by Peabody. To the north, across Wootton street, the railway viaduct is the dominant structure in the immediate context by way of its continuous length and height - equivalent to three residential storeys.

In the wider context the Roupell Street Conservation Area lies to the north of the railway viaduct, The Cut with its bars and restaurants runs roughly east-west to the south of the site and Waterloo station lies approximately 250m to the west. The site lies within the CAZ and Waterloo Opportunity Area.

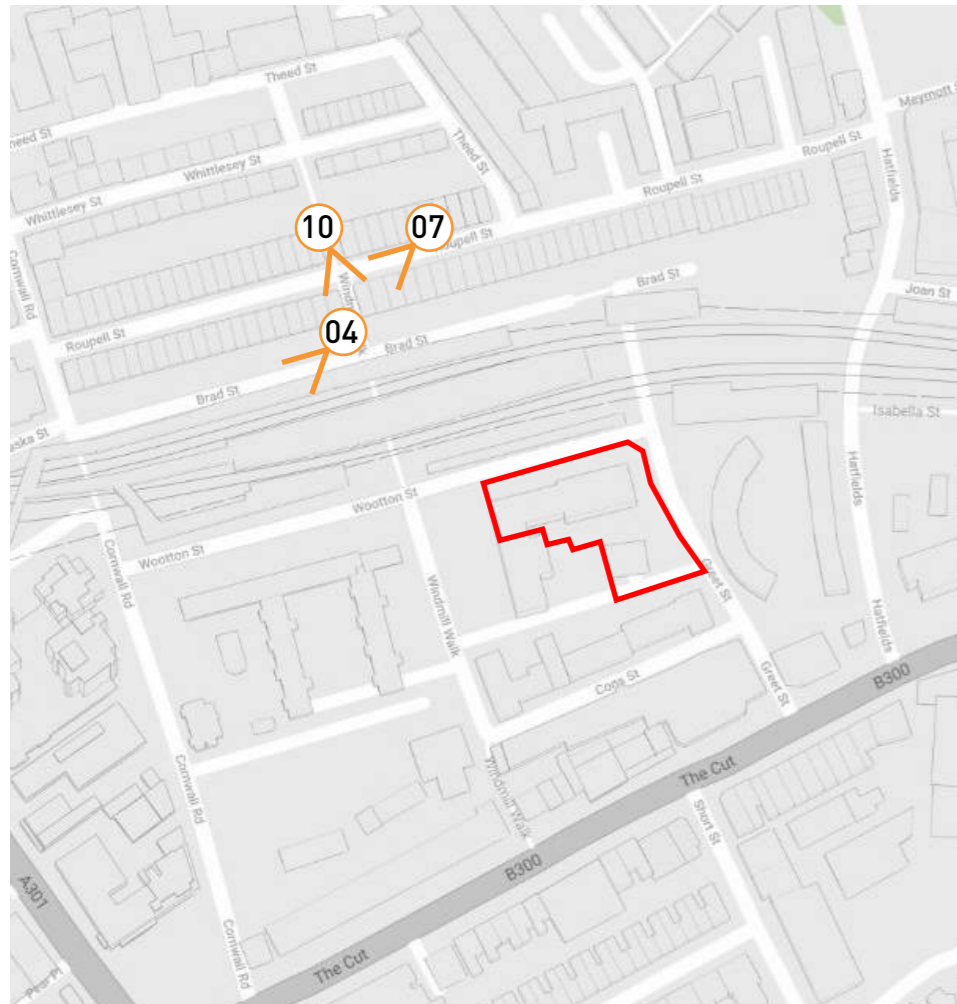




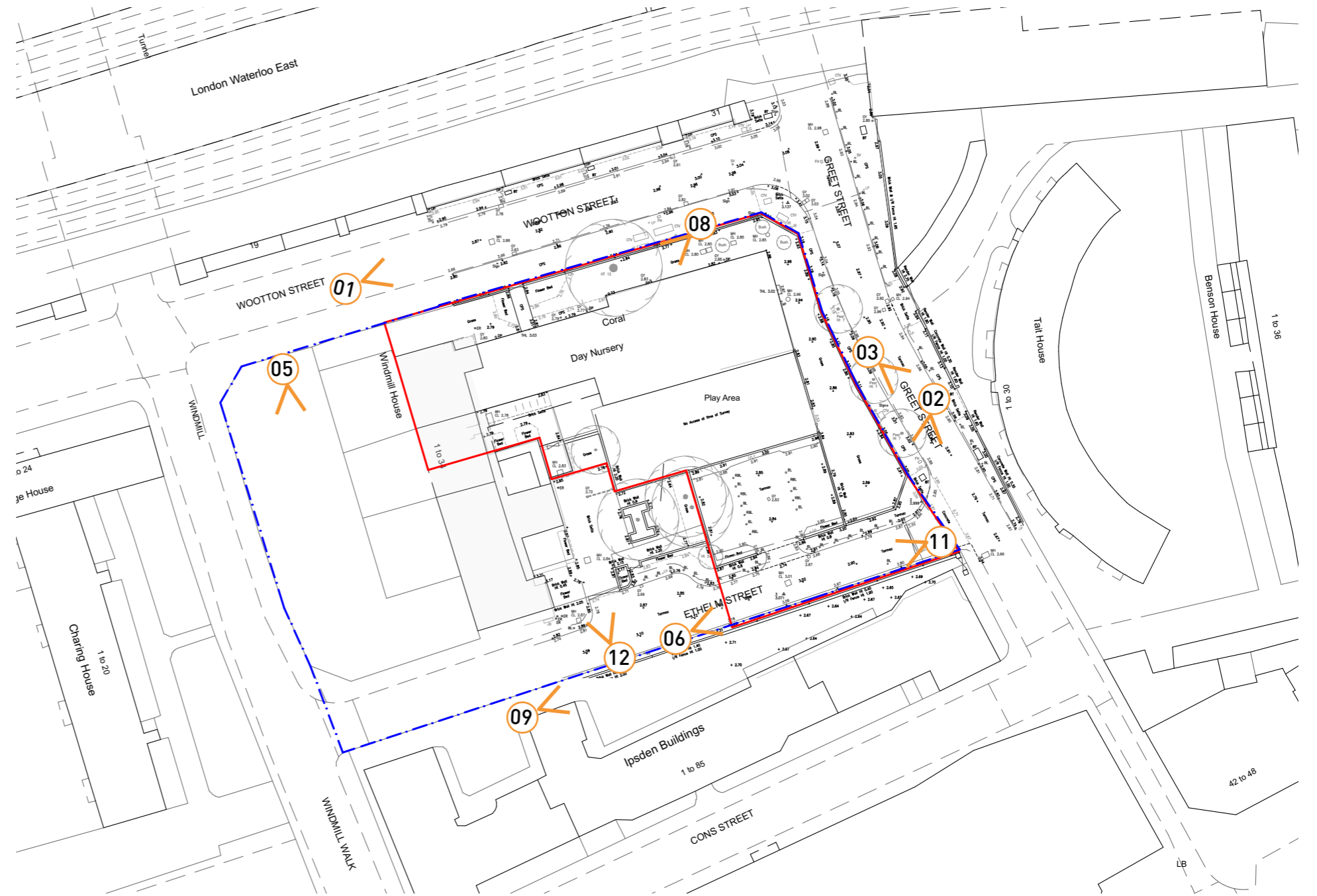
AERIAL PHOTO OF THE SITE

# 2.0 SITE SETTING & CONTEXT

## 2.2 SITE PHOTOS



POSITION OF THE CAMERA



LOCATION MAP



IMAGE 01



IMAGE 04



IMAGE 07



IMAGE 10



IMAGE 02



IMAGE 05



IMAGE 08



IMAGE 11



IMAGE 03



IMAGE 06



IMAGE 09



IMAGE 12

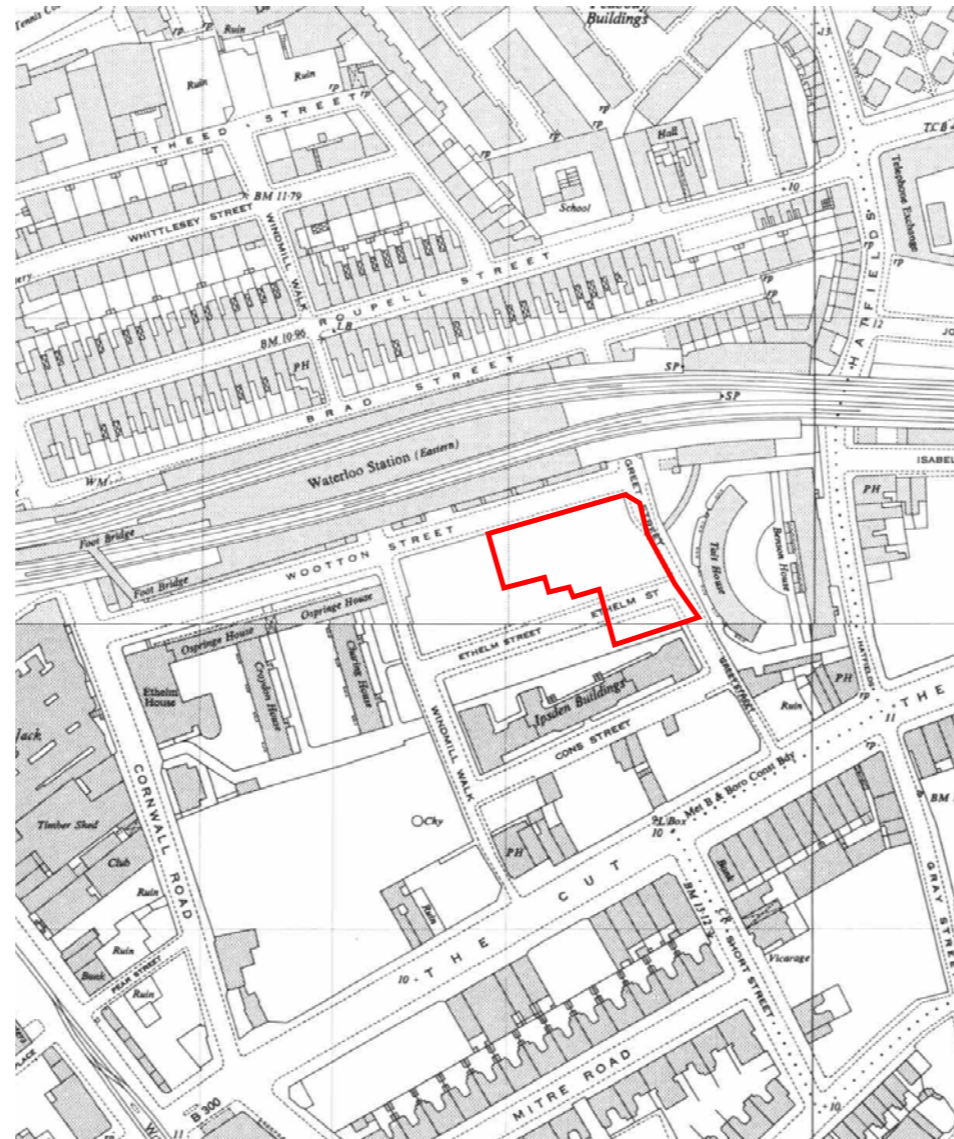
## 2.0 SITE SETTING & CONTEXT

### 2.3 HISTORIC BACKGROUND

Waterloo Junction Station and its line were opened in 1865 and as a result the whole area was urbanised. Many new streets were laid down including Wootton Street, occupied by terrace houses with small rear gardens.

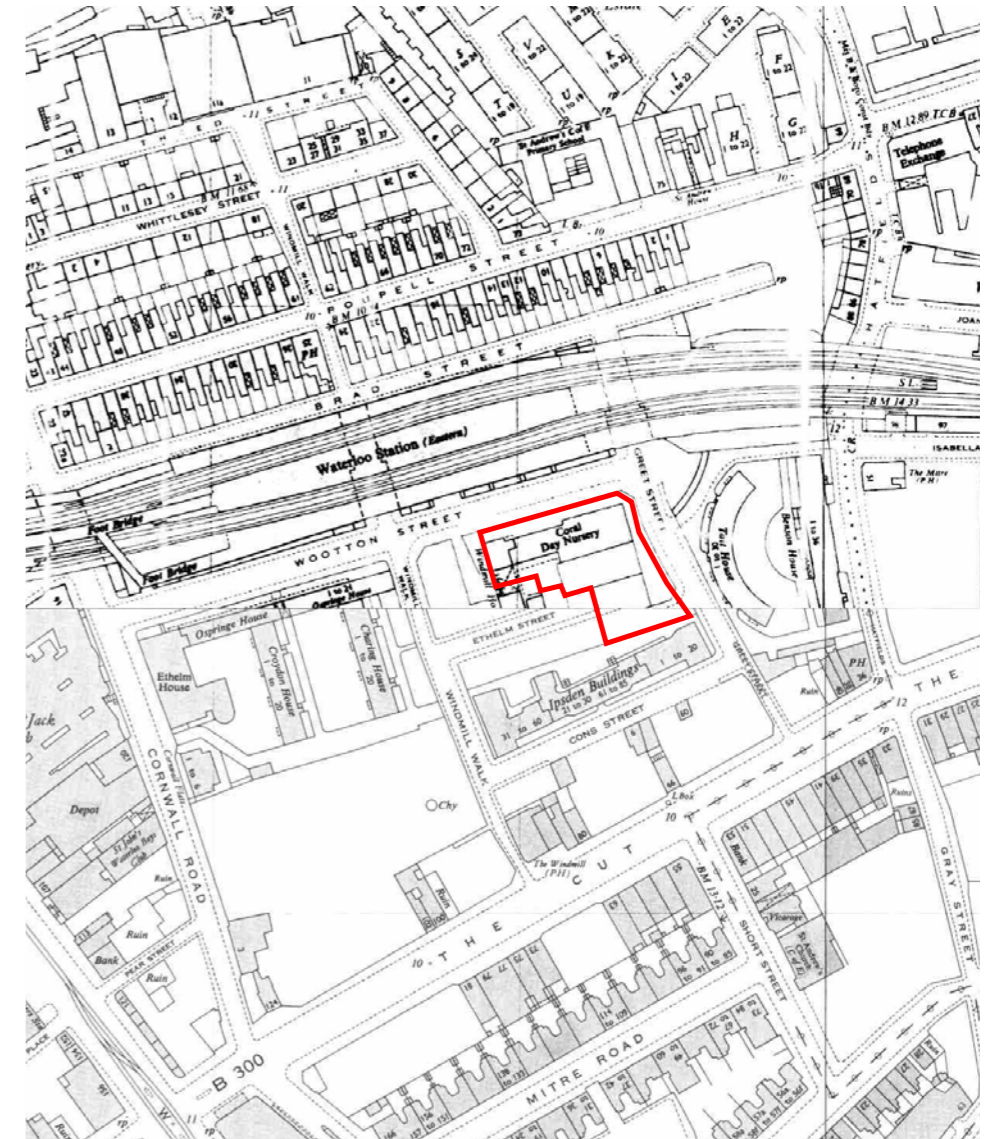


THE SITE AND SURROUNDINGS - 1875 - 1916



THE SITE AND SURROUNDINGS - 1950

By 1950s the south of the railway line had been cleared due to bomb damage. The western end of Wootton Street appears to have been cleared and Tait House which fronts Greet Street (previously Eaton Street) has been built by this time as has the Ipsden Buildings between Ethelm Street and Cons Street. The terrace house fronting Wootton Street were damaged beyond repair. The blocks of flats on the western portion of Wootton Street have been built by this time.



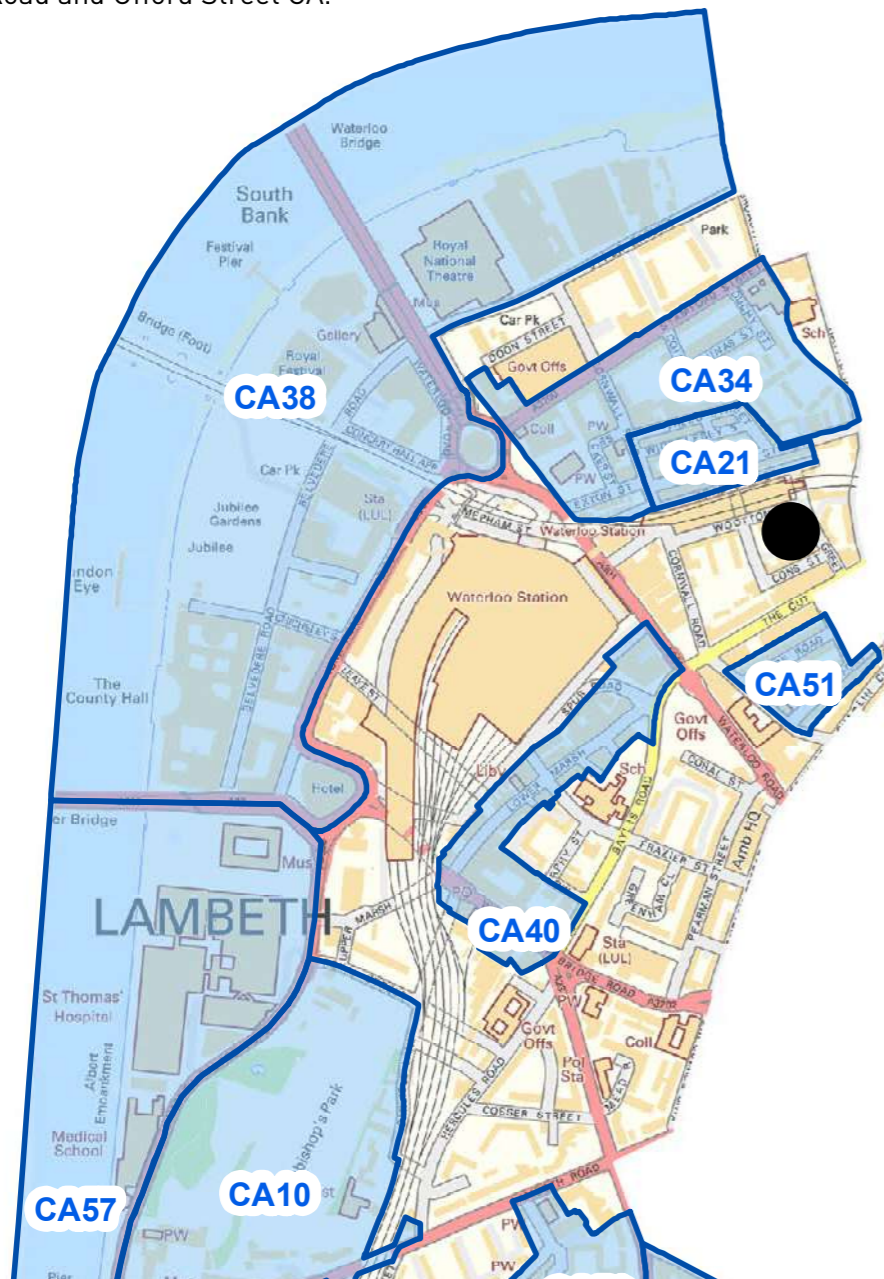
THE SITE AND SURROUNDINGS - 1963-65

The 1958-1963 OS map show the presence of a day nursery at the location of the site. There is a playground to the south as well as other open spaces. The site does not change any further after this date.

## 2.0 SITE SETTING & CONTEXT

### 2.4 CONSERVATION AREAS & LOCALLY SIGNIFICANT BUILDINGS

There are a number of Conservation Areas within the immediate vicinity of Wootton Street. To the north immediately beyond Waterloo East Station is the Roupell Street CA, this is surrounded to the north, east and west by the Waterloo CA. To the north beyond the Roupell Street and Waterloo CAs and extending to the west and south-west is the South Bank CA. To the south-west is the Lower Marsh CA and to the south is the Mitre Road and Ufford Street CA.



LOCAL CONSERVATION AREAS

CA21 is considered one of the most attractive parts of the Borough as it is an intact survivor of early 19th century housing with a number of designated heritage assets within this CA.

There are a number of Grade II listed buildings north of the railway viaduct within the Roupell Street CA. These are all domestic houses typical of early 19th century urban development.

More detailed information is provided in the Heritage Report prepared by MOLA.

- KEY:
- THE SITE
  - CA21 - ROUPELL STREET CA
  - CA34 - WATERLOO CA
  - CA38 - SOUTHBANK CA
  - CA51 - MITRE ROAD AND UFFOLD STREET CA



# 2.0 SITE SETTING & CONTEXT

## 2.5 CONNECTIVITY

### LOCAL ACCESS ROUTES AND PUBLIC TRANSPORT

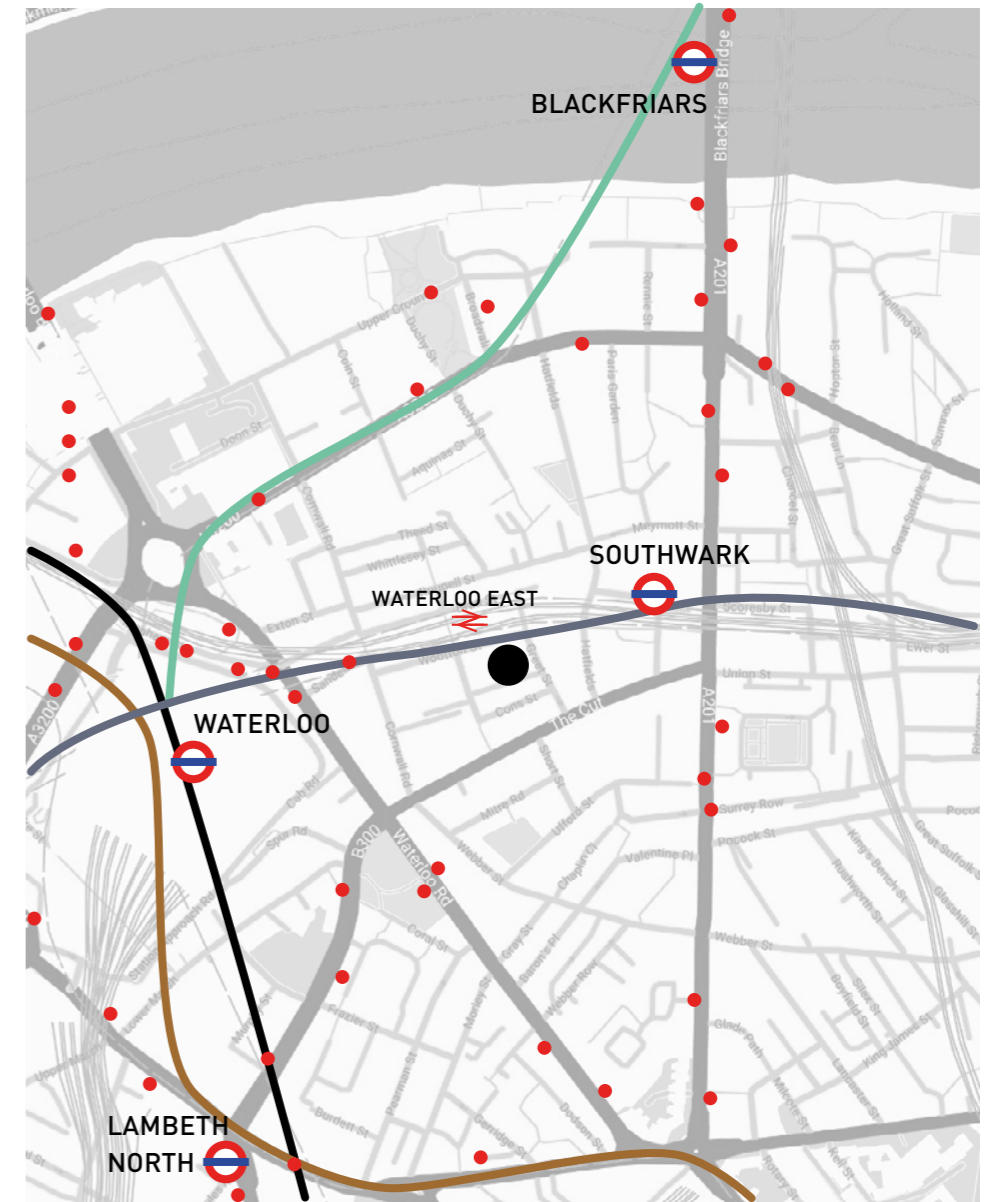
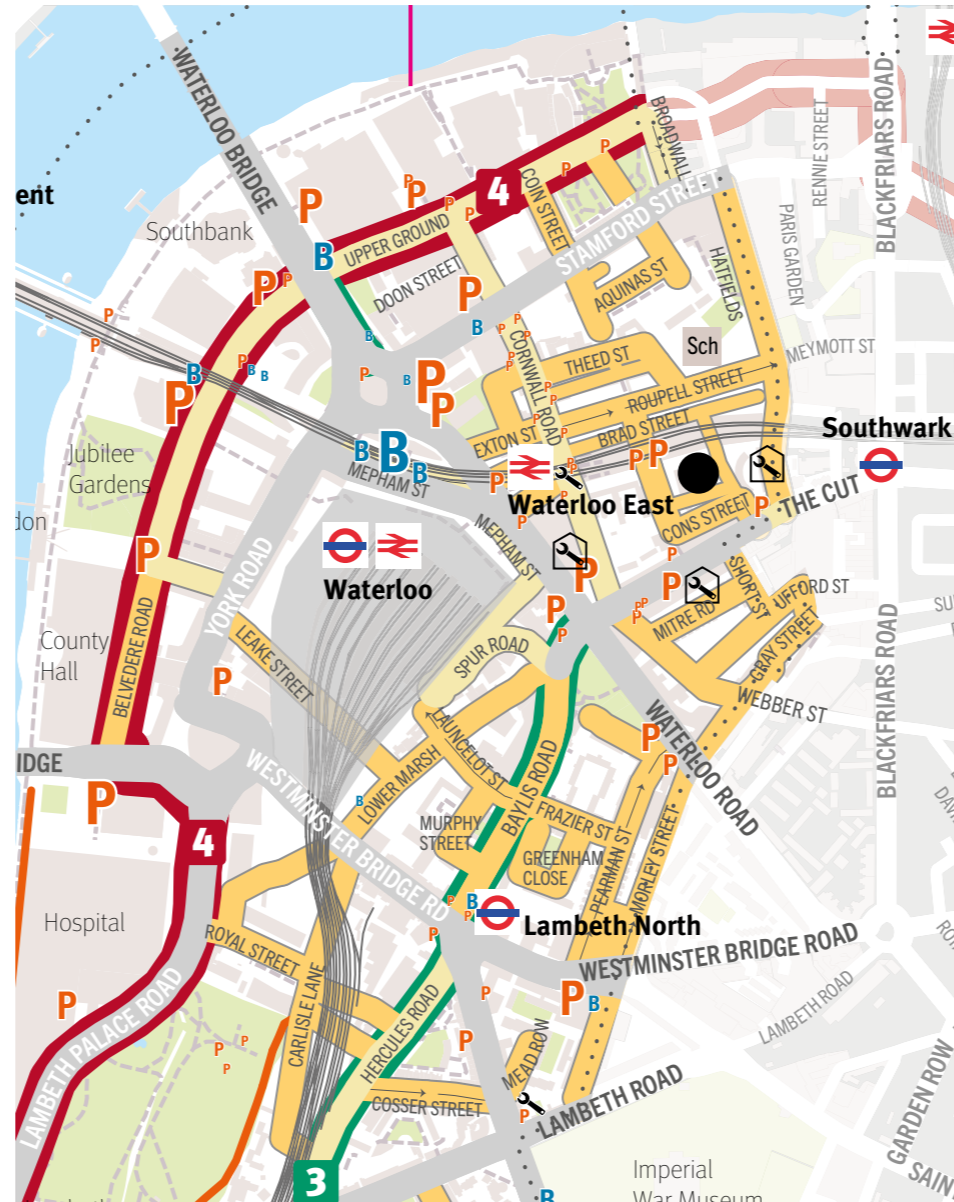
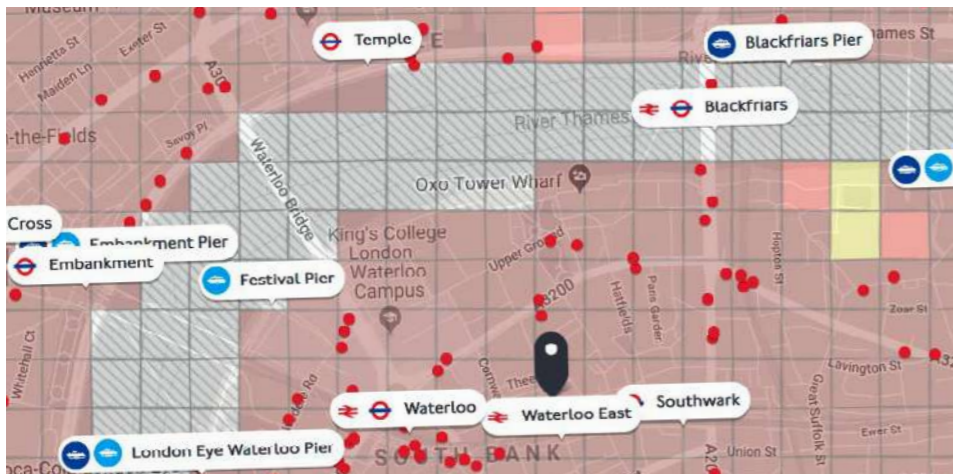
The Site is PTAL 6b and is well connected by roads and public transport.

Waterloo, Waterloo East and Southwark Stations are all close to the site. The new entrance to Southwark and Waterloo East Station will open directly opposite the site on Greet Street.

The National Cycle Network on Upper Ground is less than a kilometre to the north.



FUTURE ENTRANCE TO SOUTHWARK AND WATERLOO EAST STATIONS ON GREET ST.



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## 2.6 AMENITY AND OPEN SPACES

### LOCAL PARKS AND OPEN SPACES

A few local parks and amenity spaces are located within 5 to 12 minutes walk. The Site is within 5 - 10 minutes walk from the amenities along the Thames.



LOCAL PUBLIC OPEN SPACE



WATERLOO MILLENNIUM GREEN (1)



JUBILEE GARDENS (3)



MINT STREET PARK (2)



ARCHBISHOP'S PARK (4)



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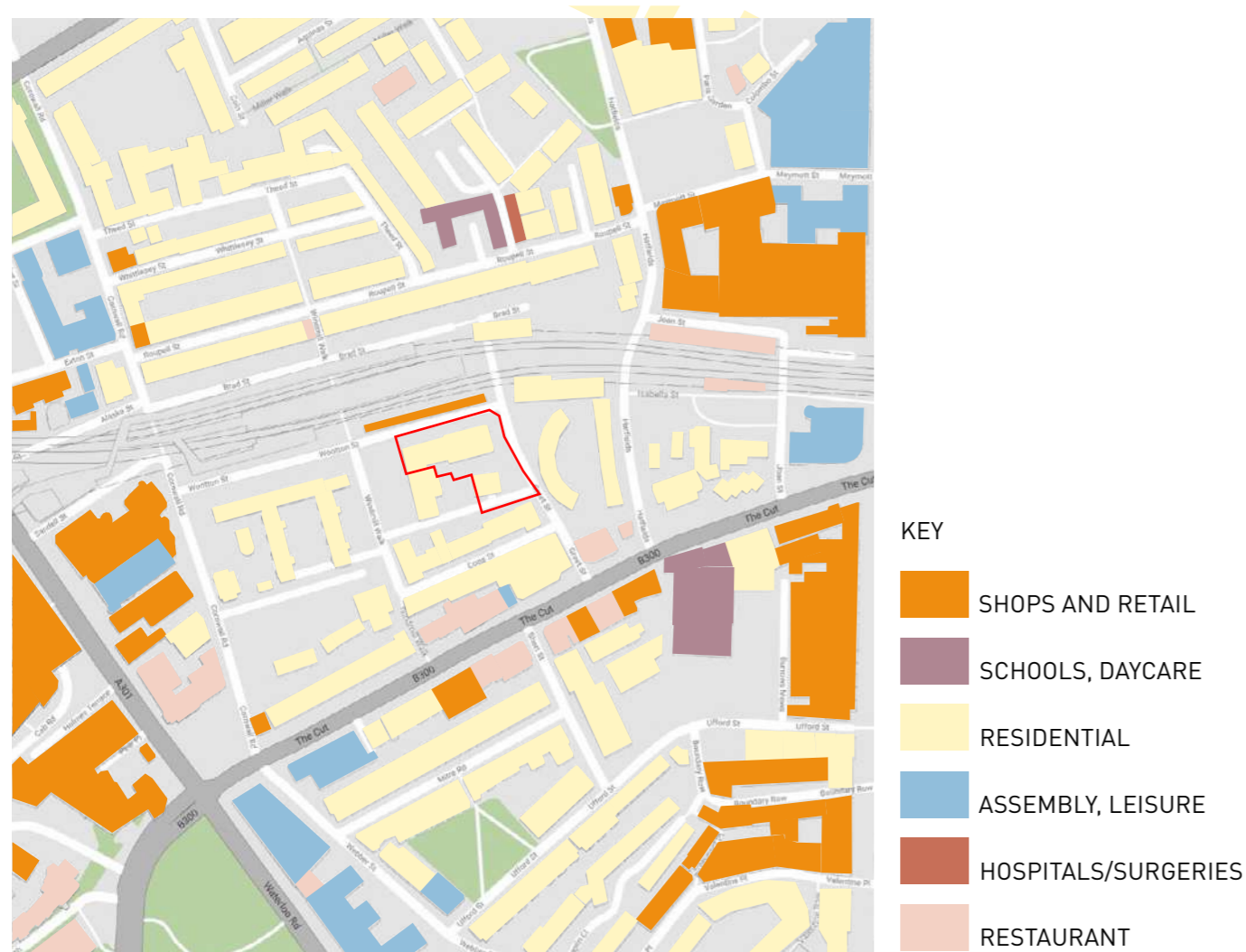
## 2.7 HEIGHT/URBAN GRAIN

### LAND USES

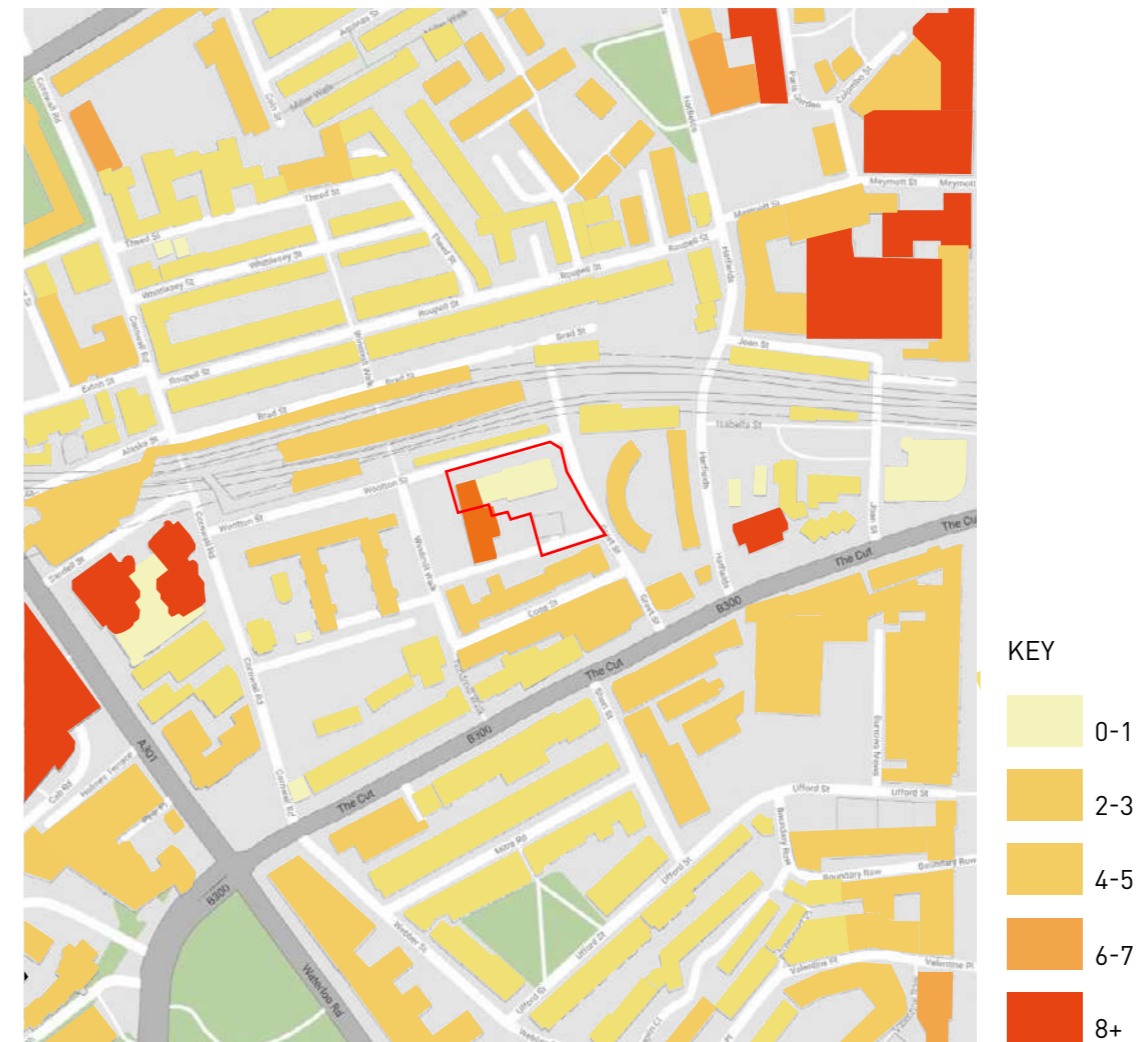
The immediate context surrounding the site is predominantly residential with the exception of the commercial uses located within the railway viaduct on the north side of Wootton street. To the south, The Cut comprises a mixture of retail alongside bars and restaurants which provide a focal point for local night-life. North of the railway viaduct, the Roupell Conservation area comprises a network a Georgian terraced housing with a character at odds with the wider context which is dominated by transport hubs and larger scale retail uses.

### HEIGHTS AND SCALE

Building heights in the locality vary dramatically, ranging from the two storey terraces focussed around Roupell Street to the north to the 25 storey Capital Towers office complex to the west of the site adjacent Waterloo Station. In the immediate context of the site the 'shoulder' height is defined by residential blocks of between 5 and 6 storeys with Windmill House being the exception at 9 storeys. To the west, the recently consented proposals for Ospringle and Croydon House will see the existing 1930's estate replaced with buildings of up to 12 storeys.



LAND USES DIAGRAM



HEIGHT DIAGRAM









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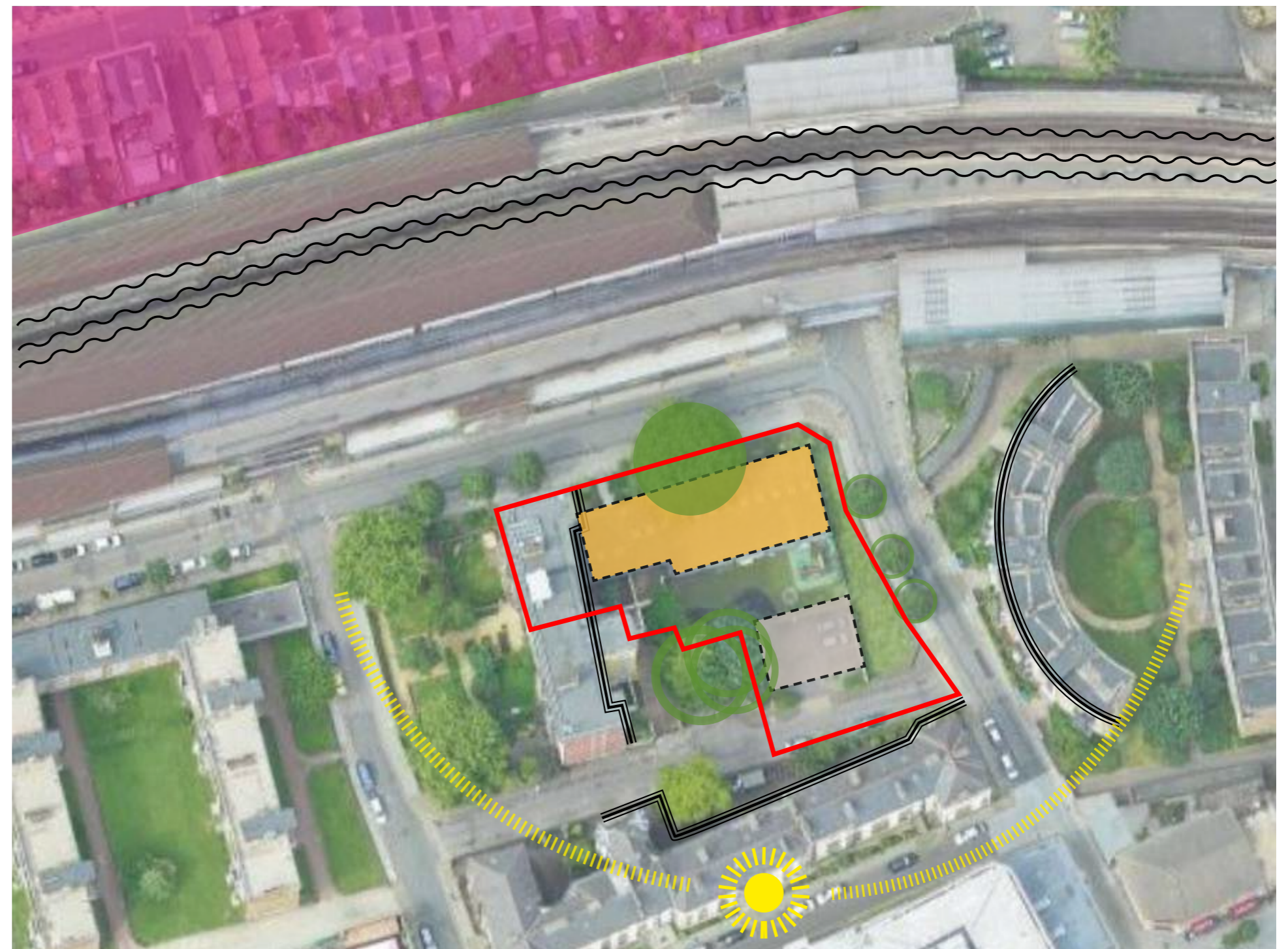
## 2.8 OPPORTUNITIES AND CONSTRAINTS

In developing a scheme careful consideration has been paid to the key constraints and opportunities as detailed below to deliver a scheme which achieves a high-quality, place sensitive form of design:

- The diverse build context
- Visual impact on the Conservation Area
- Impact on the amenity of adjacent buildings
- Existing trees

KEY:

-  PLANNING RED LINE
-  CONSERVATION AREA
-  POSSIBLE DAYLIGHT AND SUNLIGHT IMPACT
-  EXISTING TREES (OUTSIDE THE SITE BOUNDARY)
-  EXISTING TREES (INSIDE THE SITE BOUNDARY)
-  VACANT BUILDING
-  EXISTING PARKING SPACES
-  NOISE FROM RAILWAY



CONSTRAINTS DIAGRAM