



74, Lamberhurst Road, London, Lambeth, SE27 0SE



Site Plan shows area bounded by: 531247.32, 171227.24 531388.75, 171368.66 (at a scale of 1:1250), OSGridRef: TQ31317129. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

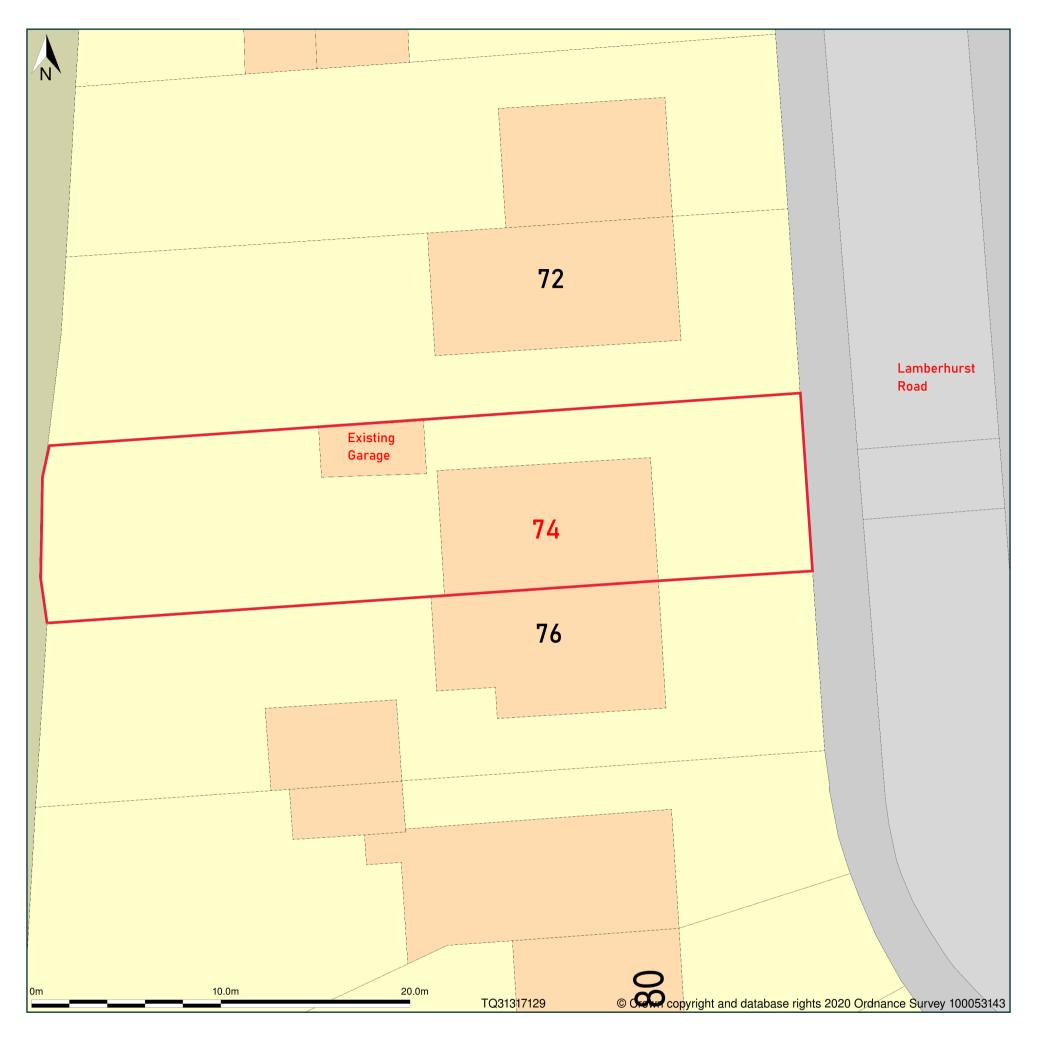
Produced on 22nd Oct 2020 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2020. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: #00569158-D72ACA

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain. Buy A Plan logo, pdf design and the www.buyaplan.co.uk website are Copyright © Pass Inc Ltd 2020



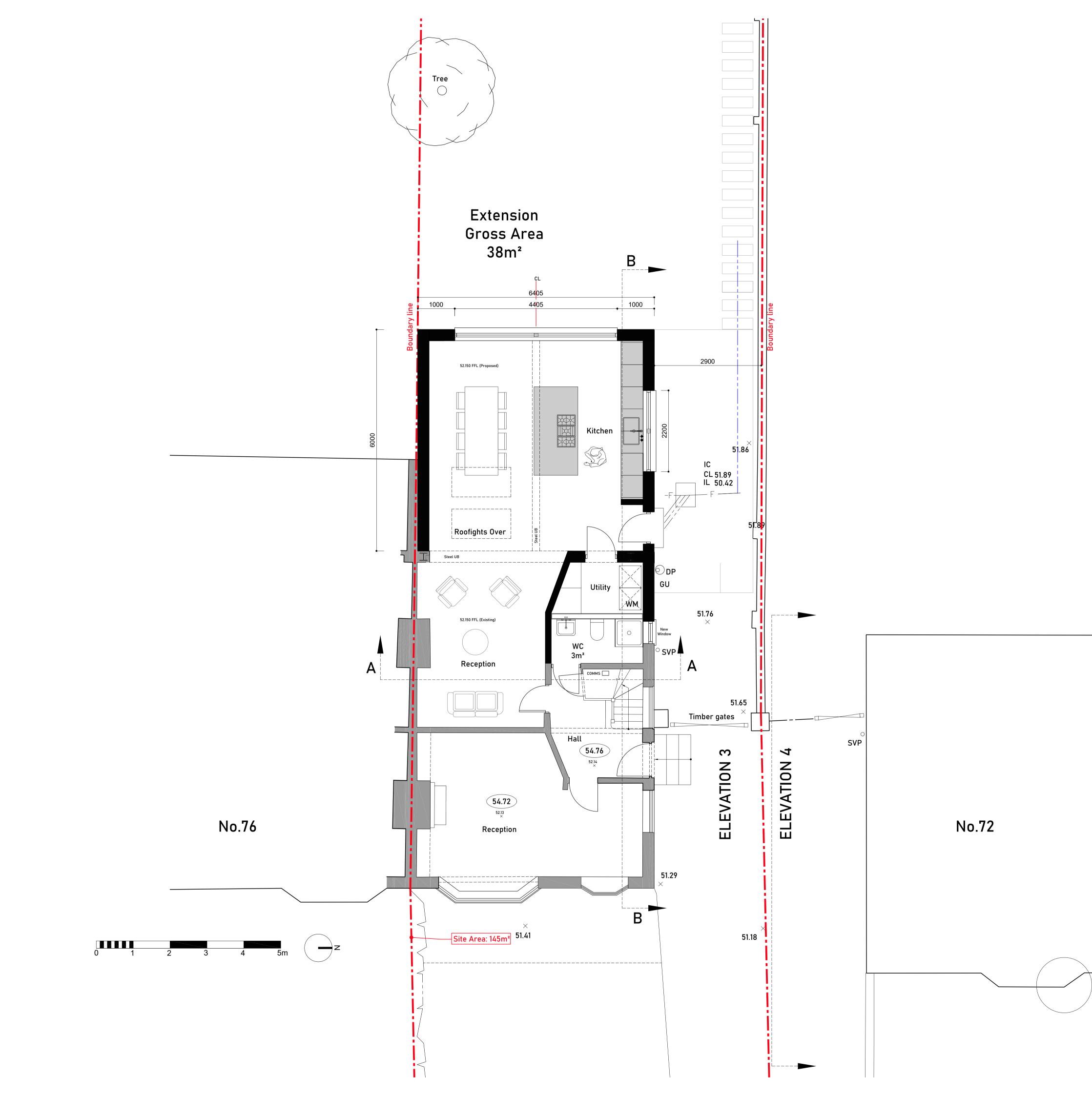


74, Lamberhurst Road, London, Lambeth, SE27 0SE



Produced on 22nd Oct 2020 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2020. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: #00569159-B186F5

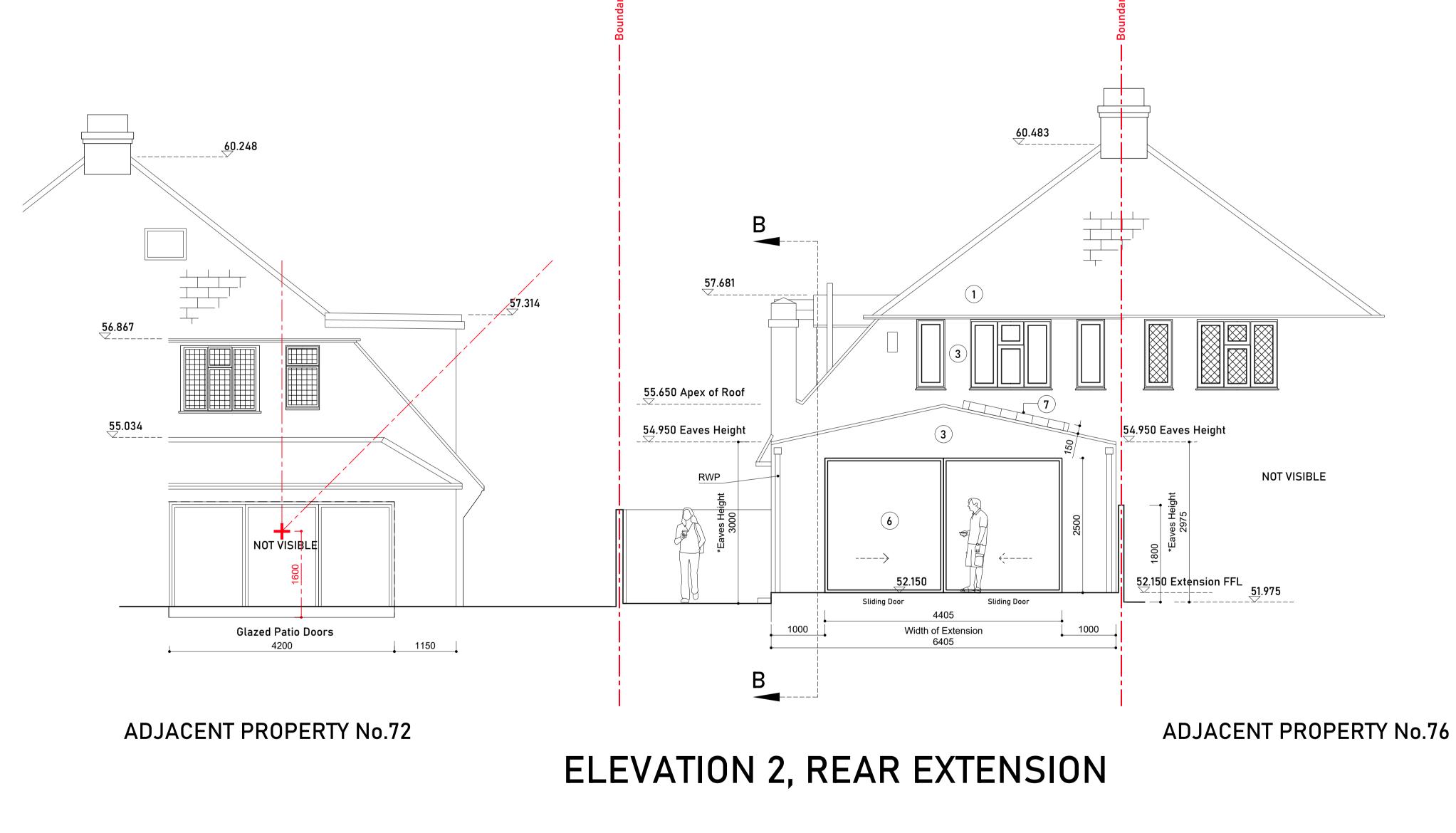
Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain. Buy A Plan logo, pdf design and the www.buyaplan.co.uk website are Copyright © Pass Inc Ltd 2020



Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Building Abbreviations

Builc	ling /	Abbreviatio	ns	
BL BH		Basement Leve Beam Soffit He		
BSL C		Beam Soffit Le Cill Height fron	vel	
DP		Down Pipe		
DPC DH		Damp Proof Co Door Height	ourse	
DHL		Door Head leve		
2100)	Finished Floor		
25.56)	Floor to Ceiling or Ceiling Leve		
CH		Ceiling Height		
HD H		Heating Duct Height		
RWP SL		Rain Water Pip Soffit Level	е	
SVP		Soil and Vent F	Pipe	
VP W		Vent Pipe Window Height	from cill	
/	7	Direction of Flo		Span
C Leve H Leve		Cill Level Window Head I	aval	
H Leve	؛د _	Detail Approx.	Level	
CSU F-H		Ceiling slopes Floor - Windov	-	
		Foul Water Pip		
5		Surface Water	Fihe	
	Τ			
01 04.09.20 Rev Date Sheet Size: A1	Descript			
04.07.20	Descript	ion		
Rev Date Sheet Size: A1	Descript 594 x 841	ion		
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm		
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm U House e +44	4 20 7099 6	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm U House e +44	4 20 7099 6 elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm I House e +44 N frie		Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm I House e +44 N frie		Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm I House e +44 N frie	elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm	elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm L House e +44 N frie rd st Road SE27 OSE	elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm	elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm	elarchitects	Ву С 750
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm I House e +44 N frie rd st Road SE27 OSE tle - Rear Extens por Plan Date	sion	750 s.com
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm I House e +44 N frie rd st Road SE27 OSE tle - Rear Extens por Plan	sion	750 s.com
Rev Date Sheet Size: A1 Unit F, Dragonf London Client Mrs C S Projeo 74 Lam Drawi Propo Grour Projec 105 Drawi	Descript 594 x 841	ion mm House e +44 N frie rd st Road SE27 OSE tle - Rear Extens oor Plan Date 19.01.21	sion Scale 1:50	750 s.com
Rev Date Sheet Size: A1	Descript 594 x 841	ion mm House e +44 N frie rd st Road SE27 OSE tle - Rear Extens oor Plan Date 19.01.21	sion Scale 1:50	750 s.com





KEY TO MATERIALS

- 1. Clay Tiles Roof 2. Clay Tiles Hung 3. Render

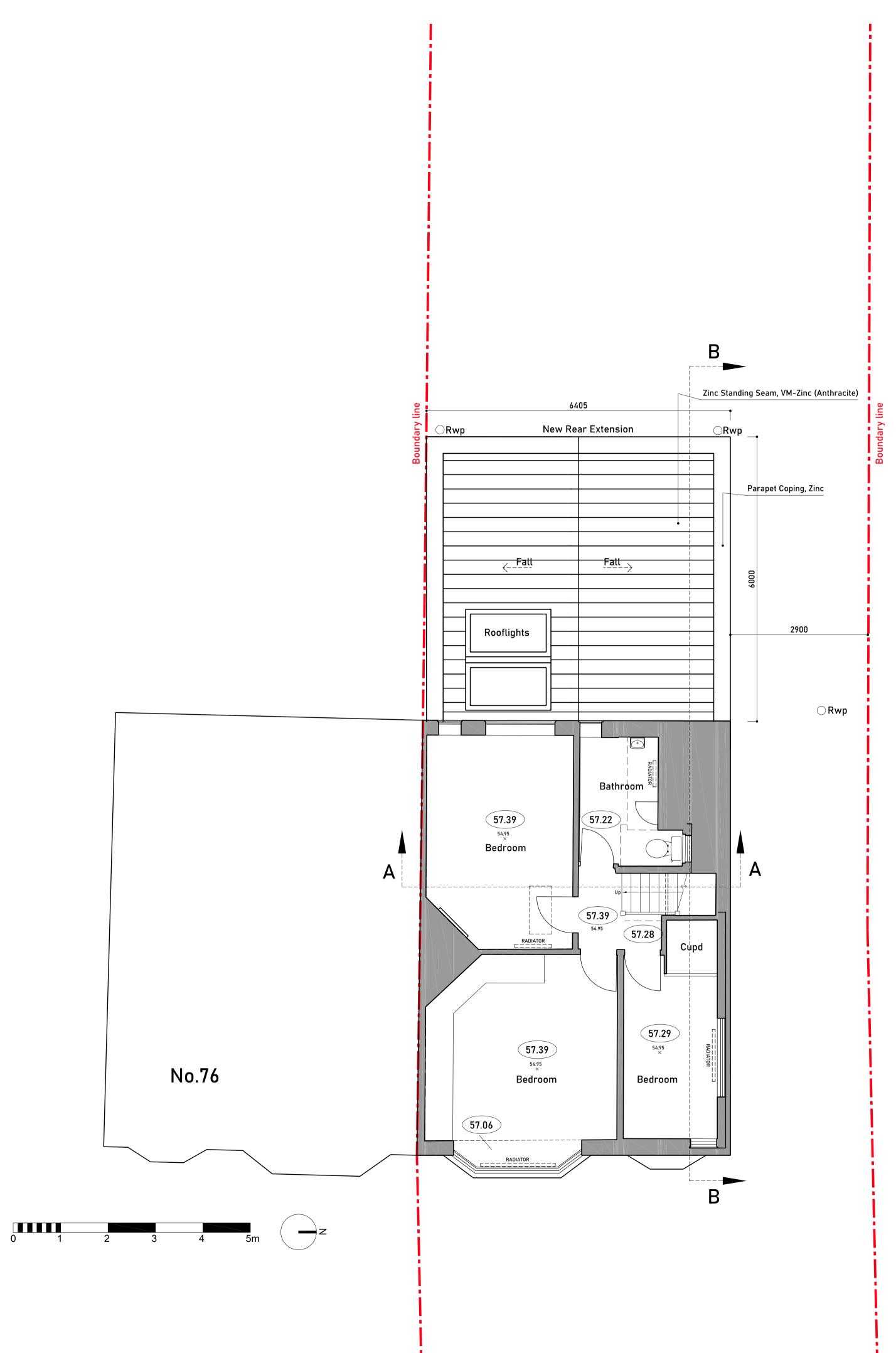
- 4. Flat Roof -Single Ply Membrane (Dark Grey)
- 5. Zinc, Standing Seam (VM-ZINC Anthracite)
- 6. New Glazing Timber Composite windows / powder coated aluminium profile 7. Rooflight

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Duilding Abbrouistic

BL BH BSL C DP DPC DH DHL FFL 2100 25.56 CH HD H RWP SL SVP VP VP VP W C Level H Level H Level F-H F-H	Abbreviation Basement Level Beam Soffit Heig Beam Soffit Lev Cill Height from Down Pipe Damp Proof Cou Door Height Door Head level Finished Floor L Floor to Ceiling or Ceiling Level Floor to Ceiling or Ceiling Height Heating Duct Height Rain Water Pipe Soffit Level Soil and Vent Pi Soil and Vent Pi Window Height Direction of Floo Cill Level Window Head La Detail Approx. Ceiling slopes u Floor - Window Foul Water Pipe Surface Water F	l ght el FFL urse evel Height pe from cill or Joist Span evel
Rev Date Description	on	By Chk
Sheet Size: A1 594 x 841n	nm	
Frie		
Unit F, Damsel Dragonfly Place London SE4 2Fl	e +44	20 7099 6750 architects.com
Client Mrs C Shepher	d	
Project 74 Lamberhurs	st Road SE27 0SE	
Drawing Tit	le	
Proposed Rear Eleva	tion 2	
Project # 105	Date 19.01.21	Scale @ A1 1:50
Drawing #	່ ດ ດວ	Rev.

A-PR-300-03



No.72

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

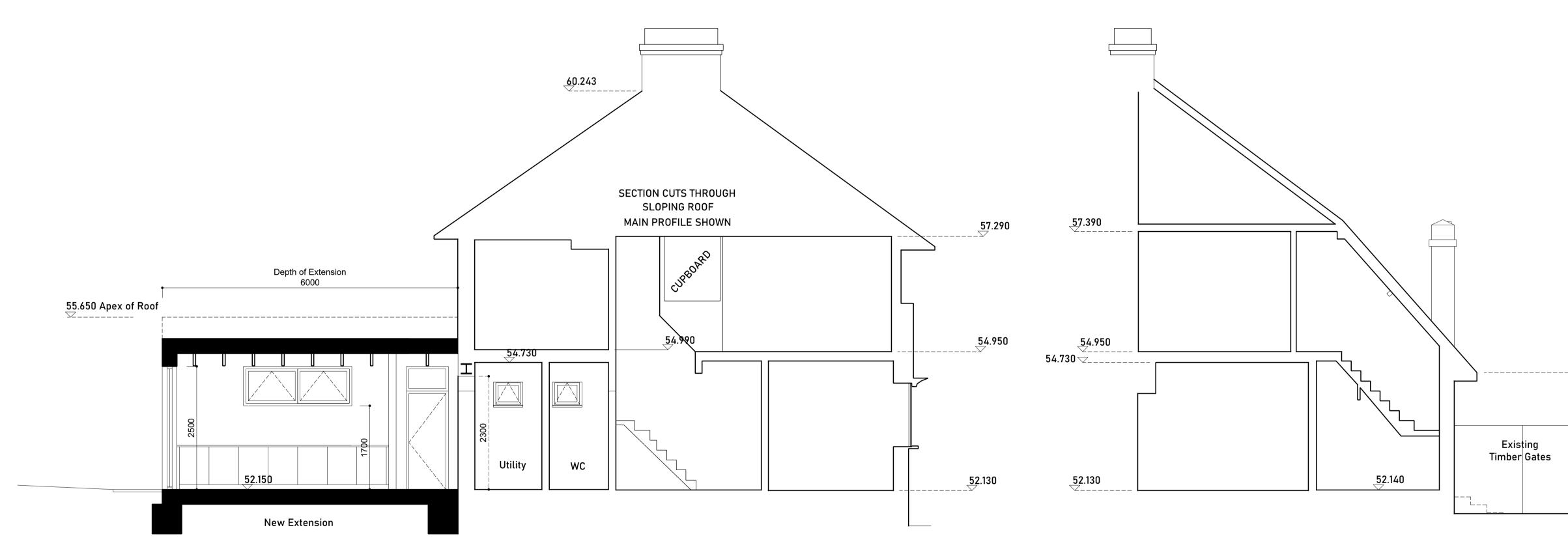
Building Abbreviations

Duii	ding A	Abbreviatio	ns		
BL BH		Basement Leve Beam Soffit Hei	ight		
BSL C		Beam Soffit Lev Cill Height from			
DP DPC		Down Pipe Damp Proof Co	urse		
DH DHL		Door Height Door Head leve	; 		
FFL (2100	n	Finished Floor	Level		
25.5	<	Floor to Ceiling or Ceiling Leve	-		
CH HD		Ceiling Height Heating Duct			
Н		Height			
RWP SL		Rain Water Pipe Soffit Level	e		
SVP VP		Soil and Vent P Vent Pipe	ipe		
W		Window Height Direction of Flo		han	
C Lev	7 el	Cill Level	50150505	Jan	
H Lev	vel	Window Head L Detail Approx.	evel		
◀ CSU F-H		Ceiling slopes u Floor - Window	-		
—— F		Foul Water Pip	e		
8	>	Surface Water	Ріре		
	Descriptic			Бу Ву	Chk
Sheet Size: /		ım		By	Chk
Sheet Size: <i>J</i>	A1 594 x 841m	nm House +44	a 20 7099 67 larchitects.o	50	
Unit F, Dragon Londo	Al 594 x 841m Damsel nfly Place n SE4 2FN	nm House +44 N frie		50	
Sheet Size: / Unit F, Dragon Londo Clien Mrs C Proje	Al 594 x 841m Damsel nfly Place n SE4 2FN nt Shephero	nm House +44 N frie	larchitects.	50	
Sheet Size: / Unit F, Dragon Londo Clien Mrs C Proje 74 Lar	Al 594 x 841m Damsel nfly Place n SE4 2FN nt Shephero	House +44 +44 M frie d	larchitects.	50	
Sheet Size: / Unit F, Dragon Londo Clien Mrs C Proje 74 Lar Draw Prop	Al 594 x 841m Damsel nfly Place n SE4 2FN nt Shephero ect mberhurs ving Tit	House +44 House +44 N frie d t Road SE27 0SE le Rear Extens	larchitects.	50	
Sheet Size: / Unit F, Dragon Londo Clien Mrs C Proje 74 Lar Draw Prop	Al 594 x 841m Damsel nfly Place n SE4 2FN nt Shephero ect mberhurs ving Tit bosed – loor Pl	House +44 House +44 N frie d t Road SE27 0SE le Rear Extens	larchitects.	50 com	

Drawing # A-PR-100-02



SECTION B-B, REAR EXTENSION



SECTION A-A, REAR EXTENSION

DATUM 47.00m

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Building	Abbreviations		
BL BH BSL C DP DPC DH DHL FFL	Basement Level Beam Soffit Height Beam Soffit Level Cill Height from FFL Down Pipe Damp Proof Course Door Height Door Head level Finished Floor Level		
2100 25.56	Floor to Ceiling Height or Ceiling Level		
CH HD H RWP SL SVP VP W C Level H Level F-H S	Ceiling Height Heating Duct Height Rain Water Pipe Soffit Level Soil and Vent Pipe Vent Pipe Window Height from cill Direction of Floor Joist S Cill Level Window Head Level Detail Approx. Ceiling slopes up Floor - Window head Ht Foul Water Pipe Surface Water Pipe	pan	
		+	
Rev Date Desci Sheet Size: A1 594 x 3	ription 841mm	Ву	Chk
Unit F, Dams Dragonfly Pla London SE4	ace +44 20 7099 67		

Client Mrs C Shepherd

Project 74 Lamberhurst Road SE27 0SE

Drawing Title

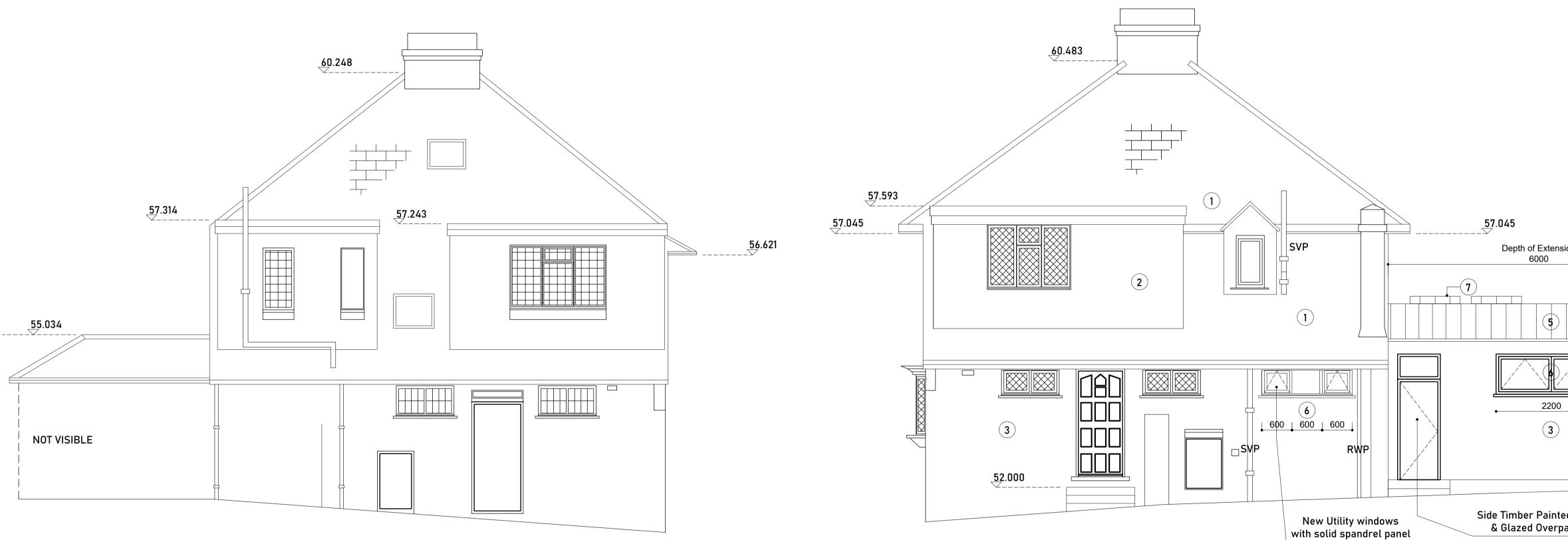
Existing Rear Elevation 2

Project #	Date	Scale @ A1
105	19.01.21	1:50
Drawing #		Rev.
A-PR-200	0-01	-

54.525



ELEVATION 4 – No. 72, REAR EXTENSION



ELEVATION 3, REAR EXTENSION

DATUM 47.00m

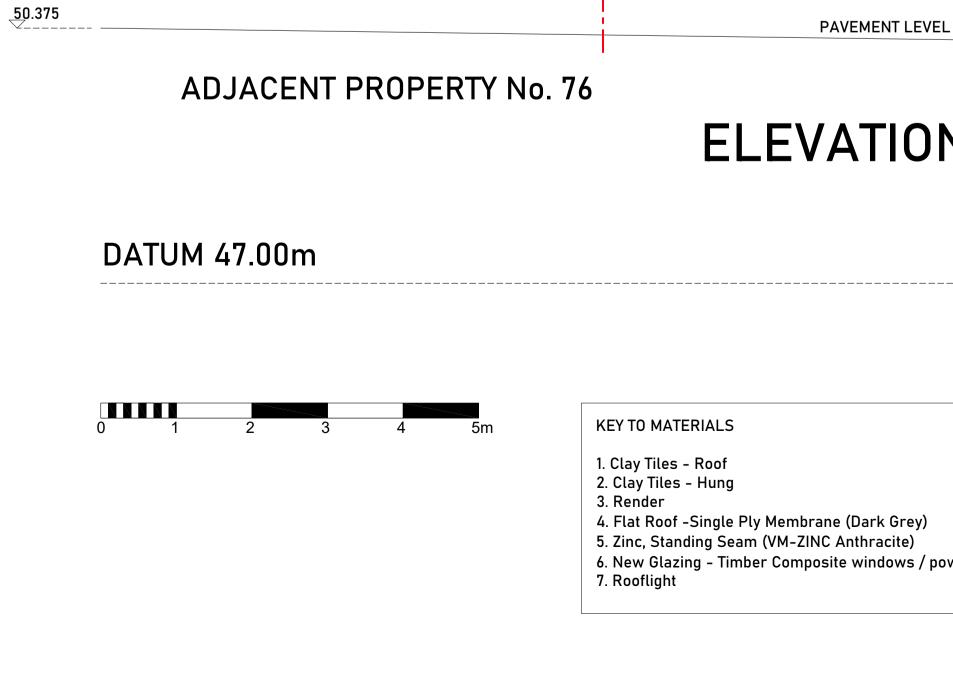
KEY TO MATERIALS

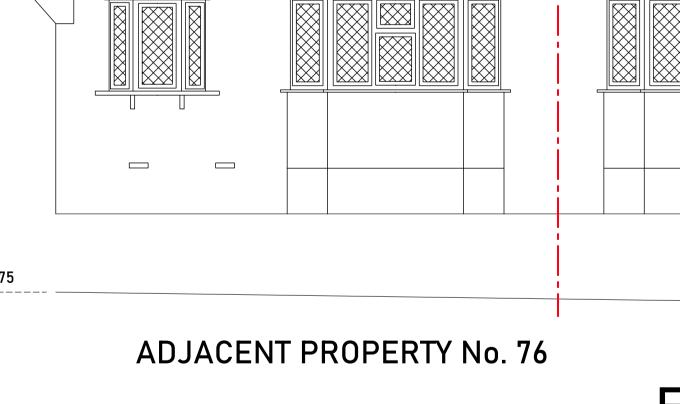
1. Clay Tiles - Roof 2. Clay Tiles - Hung 3. Render

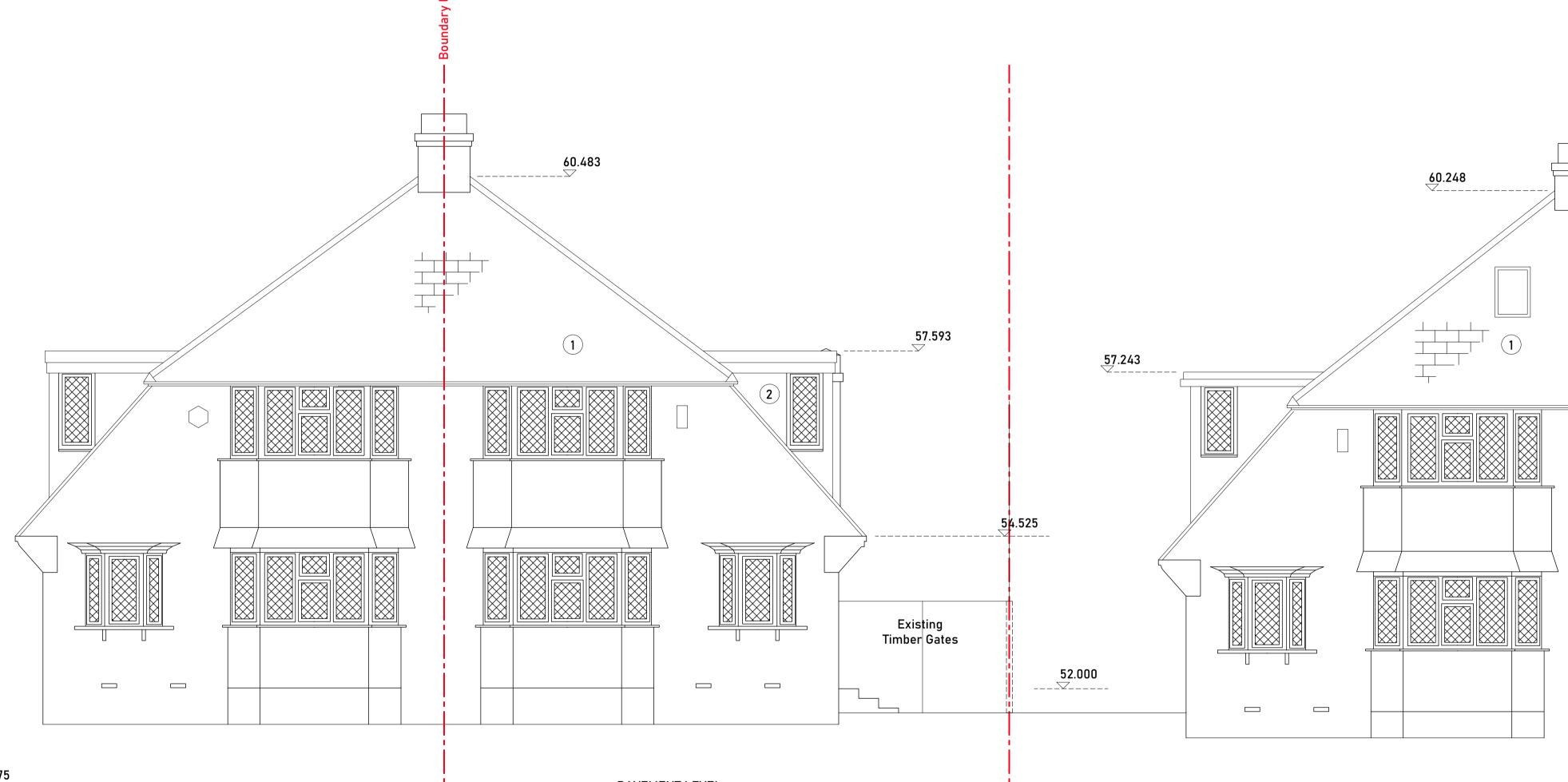
4. Flat Roof -Single Ply Membrane (Dark Grey)
5. Zinc Roof, Standing Seam (VM-ZINC Anthracite)
6. New Glazing - Timber Composite windows / powder

7. Rooflight

	the dimension specification	scale from this drawing. n it is the responsibility of t ally from the architect or by and service elements m	site measurement. The
	discrepancies betweer attention of the contract not otherwise be used	t consultants drawings. h drawing information sho t administrator. This drawin or copied. © Friel Architects Abbreviatior	ould be brought to the ng is copyright and may Limited
		Basement Level Beam Soffit Heig Beam Soffit Lev Cill Height from Down Pipe Damp Proof Cou Door Height Door Head level Finished Floor L Floor to Ceiling or Ceiling Level Floor to Ceiling or Ceiling Level Ceiling Height Heating Duct Height Rain Water Pipe Soffit Level Soil and Vent Pi Vent Pipe Window Height Direction of Floo Cill Level Window Head Le Detail Approx. Ceiling slopes u Floor - Window Foul Water Pipe Surface Water F	ght el FFL Irse evel Height pe from cill or Joist Span evel p head Ht
sion 55.650 Apex of Roof 54.950 Eaves Height 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0			
ed Door			
banel	Rev Date Descripti Sheet Size: A1 594 x 841n		By Chk
	Frie	el.	
	Unit F, Damsel Dragonfly Place London SE4 2Fl	e +44	20 7099 6750 architects.com
	Client Mrs C Shepher	d	
	Project 74 Lamberhurs	st Road SE27 OSE	
	Drawing Tit Proposed Side Elevat		
er coated aluminium profile	Project # 105	Date 19.01.21	Scale @ A1 1:50
	Drawing # A-PR-30	0-02	Rev. –







ELEVATION 1 – REAR EXTENSION

ADJACENT PROPERTY No. 72

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

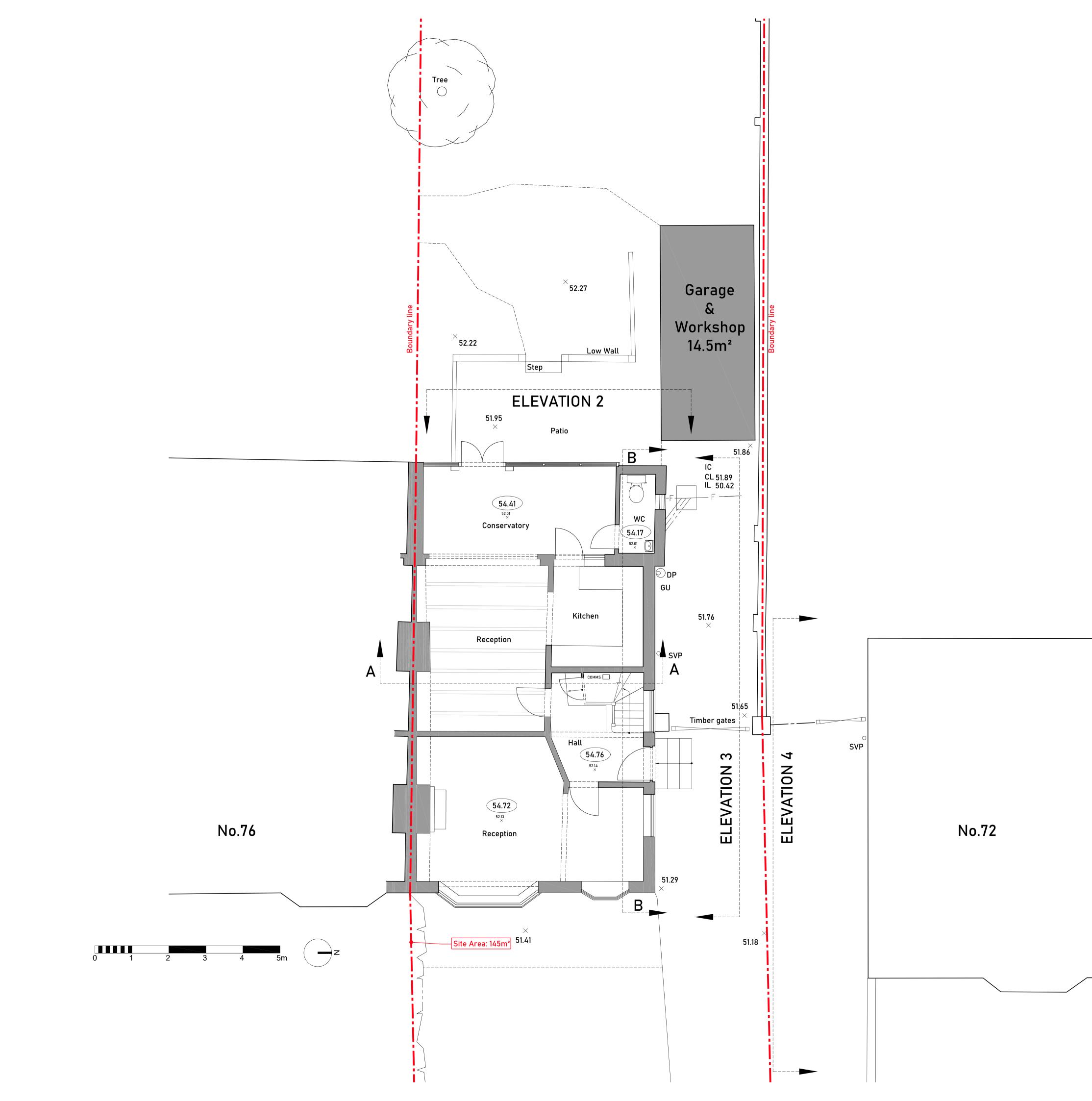
Building /	Abbreviations		
BL BH BSL C DP DPC DH DHL FFL	Basement Level Beam Soffit Height Beam Soffit Level Cill Height from FFL Down Pipe Damp Proof Course Door Height Door Head level Finished Floor Level		
2100 (25.56)	Floor to Ceiling Height or Ceiling Level		
CH HD	Ceiling Height Heating Duct		
H RWP SL	Height Rain Water Pipe Soffit Level		
SVP VP W	Soil and Vent Pipe Vent Pipe Window Height from cill		
C Level H Level	Direction of Floor Joist Sp Cill Level Window Head Level	an	
CSU F-H	Detail Approx. Ceiling slopes up Floor - Window head Ht Foul Water Pipe		
	Surface Water Pipe		
Rev Date Descript	tion	Ву	Chk
Sheet Size: A1 594 x 841			
Fri(el.		
Unit F, Damse Dragonfly Plac London SE4 2F	e +44 20 7099 67!		
Client Mrs C Shepher	rd		
Project 74 Lamberhur	st Road SE27 0SE		
Drawing Ti	tle		

Proposed Front Elevation 1

Project #	Date	Scale @ A1
105	19.01.21	1:50
Drawing #	1	Rev.
A-PR-30	0-01	-

56.621 = ____

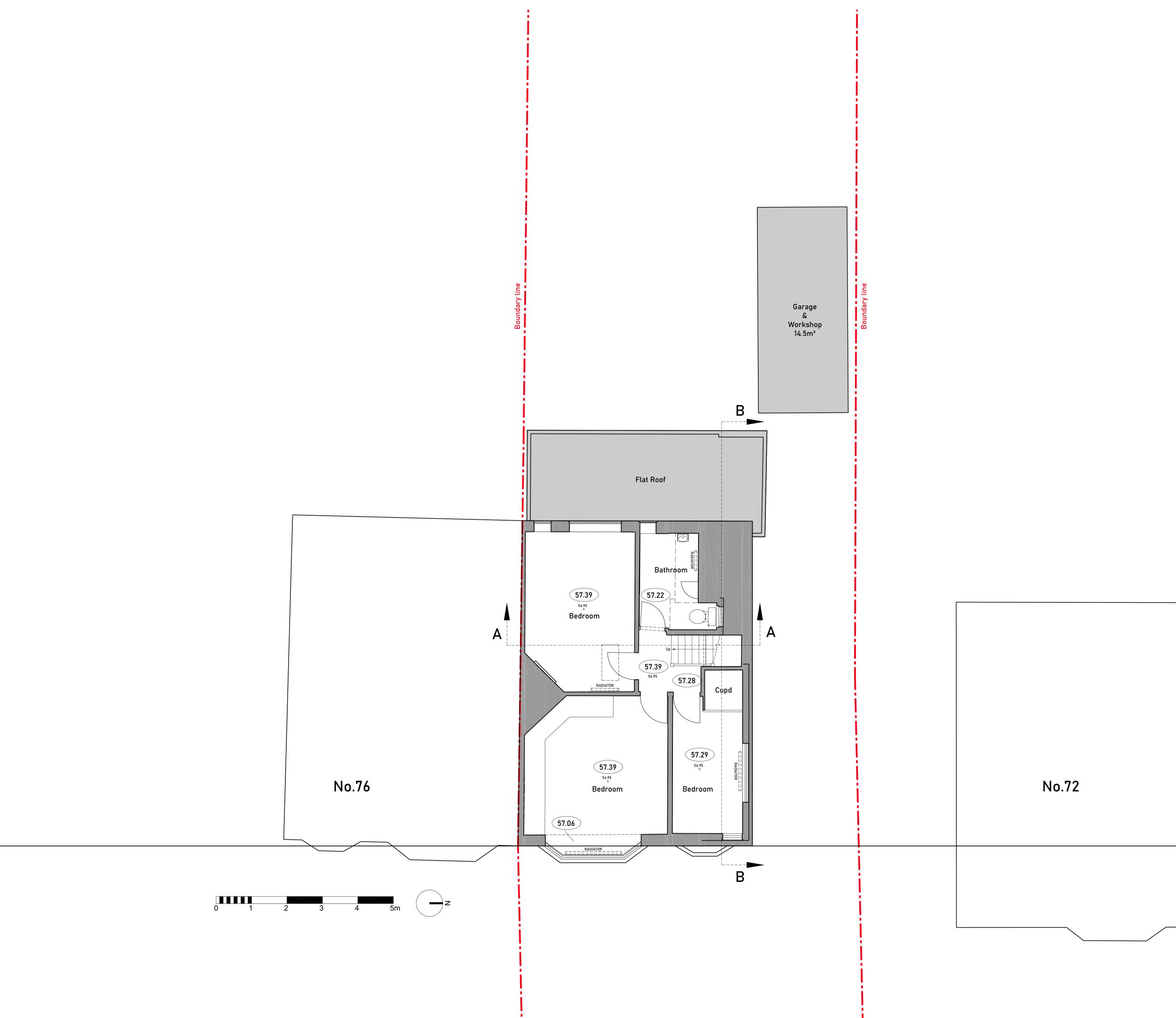
50.036



Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Duilding Abbroviatio

Building A BL BH BSL C DP DPC DH DHL FFL 2100 25.56 CH	Abbreviation Basement Leve Beam Soffit Hei Beam Soffit Lev Cill Height from Down Pipe Damp Proof Con Door Height Door Head leve Finished Floor I Floor to Ceiling or Ceiling Level Ceiling Height	l ght FFL urse I _evel Height
	Heating Duct Height Rain Water Pipe Soffit Level Soil and Vent Pi Vent Pipe Window Height Direction of Flo Cill Level Window Head L Detail Approx. Ceiling slopes u Floor - Window Foul Water Pipe Surface Water I	ipe from cill or Joist Span evel ip head Ht
Rev Date Descripti Sheet Size: A1 594 x 841		By Chk
Fri(
Unit F, Damsel Dragonfly Place London SE4 2F	e +44	20 7099 6750 larchitects.com
Client Mrs C Shepher	-d	
Project 74 Lamberhur	st Road SE27 0SE	
Drawing Til Existing Ground Flo		
Project # 105 Drawing # A-EX-100	Date 19.01.21 D-01	Scale @ A1 1:50 Rev. –

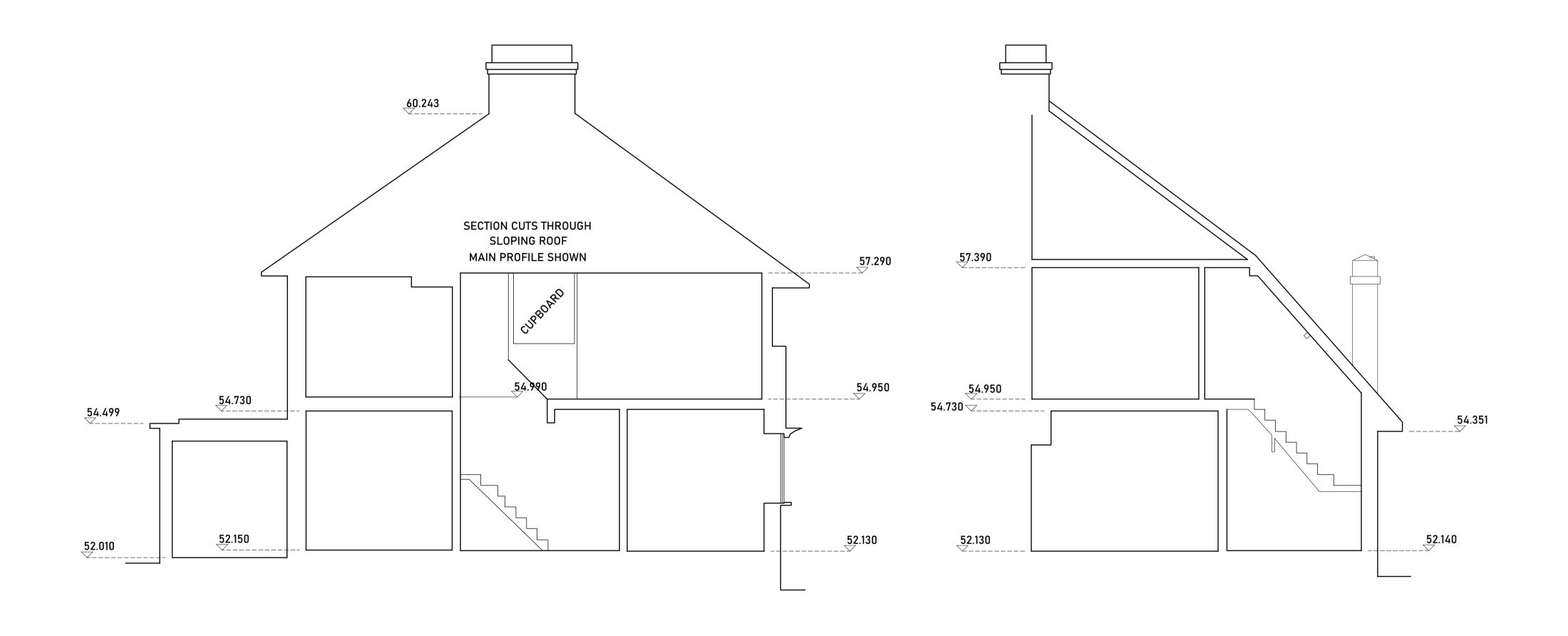


Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

	Building	Abbreviatior	าร
	BL	Basement Leve	
	BH	Beam Soffit Hei	-
	BSL C	Beam Soffit Lev Cill Height from	
	DP	Down Pipe	
	DPC	Damp Proof Cou	ırse
	DH DHL	Door Height Door Head level	
	FFL	Finished Floor L	evel
	2100 (25.56)	Floor to Ceiling or Ceiling Level	-
	CH	Ceiling Height	
	HD	Heating Duct	
	H	Height	
	RWP SL	Rain Water Pipe Soffit Level	2
	SVP	Soil and Vent Pi	pe
	VP	Vent Pipe	
	W	Window Height	
		Direction of Floo	or Joist Span
	C Level	Cill Level	
	H Level	Window Head L Detail Approx.	evel
	CSU	Ceiling slopes u	ip I
	F-H _	Floor - Window	
		Foul Water Pipe Surface Water F	
	0		ipe
	Rev Date Descript Sheet Size: A1 594 x 841		By Chk
	Frl(
	Unit F, Damse Dragonfly Plac		20 7099 6750
	London SE4 2F		architects.com
	Client		
	Mrs C Shephe	rd	
	Project		
	74 Lamberhur	st Road SE27 OSE	
		tlo	
	Drawing Ti	ແບ	
	Existing		
	1st Floor P	lan	
_			
	Project #	Date	Scale @ A1
	105	19.01.21	1:50
	Drawing #		Rev.
	•	0.0	
	A-EX-100]=]]/	



SECTION B-B, EXISTING



SECTION A-A, EXISTING

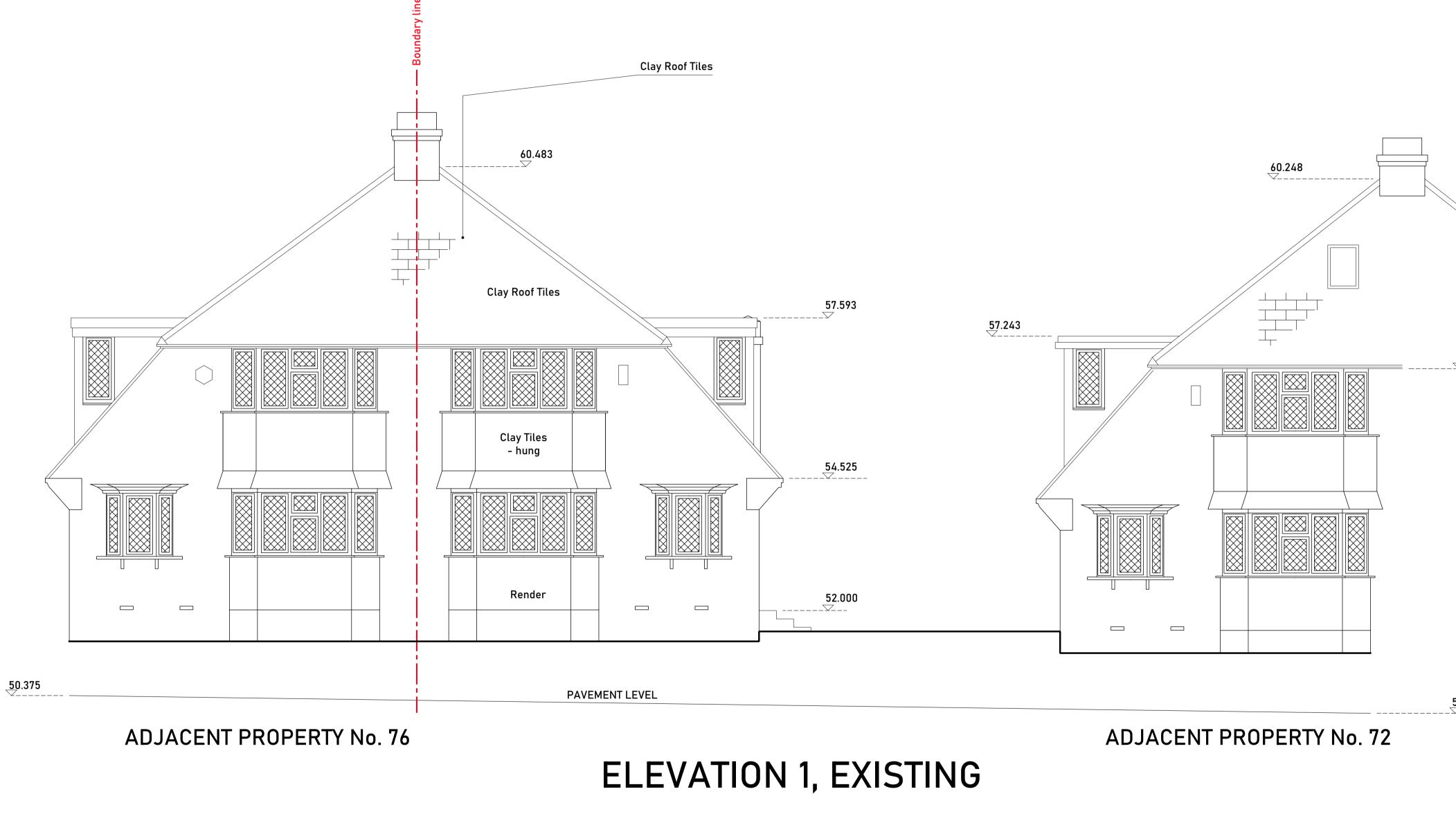
DATUM 47.00m

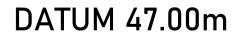
Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Duilding Abbrowistic

BL	iy r	Abbreviatior	าร		
ВН		Basement Level Beam Soffit Hei			
BSL		Beam Soffit Lev	el		
C DP		Cill Height from Down Pipe	FFL		
DPC		Damp Proof Cou	irse		
DH DHL		Door Height Door Head level			
FFL		Finished Floor L	evel		
2100 25.56		Floor to Ceiling or Ceiling Level	Height		
CH		Ceiling Height			
HD H		Heating Duct Height			
RWP		Rain Water Pipe	9		
SL SVP		Soffit Level Soil and Vent Pi	ре		
VP		Vent Pipe			
W 		Window Height Direction of Floo		an	
C Level		Cill Level			
H Level		Window Head L	evel		
⊲ CSU		Detail Approx. Ceiling slopes u	n		
F-H		Floor - Window	head Ht		
		Foul Water Pipe Surface Water F			
Rev Date D Sheet Size: A1 59	lescriptic 4 x 841m			By	Chk
Sheet Size: A1 59	4 x 841m	ım		By	Chk
	4 x 841m	ım		By	Chk
Sheet Size: A1 59	04 x 841m	nm		By	Chk
Sheet Size: A1 59	4 x 841m	nm House +44	20 7099 67! architects.c	50	
Sheet Size: A1 59 Unit F, Da Dragonfly	4 x 841m	nm House +44		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI	4 x 841m	nm House +44 N friel		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project	4 x 841m o msel Place E4 2Ff	nm House +44 N friel		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project	4 x 841m o msel Place E4 2Ff	nm House +44 N friel		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project	4 x 841m amsel Place E4 2Ff	House +44 N friel d		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project 74 Lambe	4 x 841m amsel Place E4 2Ff ephere erhurs g Tit	House +44 House +44 N friel d		50	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project 74 Lambe Drawin Existing	4 x 841m amsel Place E4 2Ff ephero erhurs g Tit g levat	House +44 House +44 N friel d		50 com	
Sheet Size: A1 59 Unit F, Da Dragonfly London SI Client Mrs C She Project 74 Lambe Drawin Existing Rear El	4 x 841m amsel Place E4 2Ff ephero erhurs g Tit g levat	House +44 House +44 N friel d tr Road SE27 OSE le tion 2	architects.c	50 com	

A-EX-200-01







56.621 _____

50.036

Notes. Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Building Abbreviations			
BL BH BSL C DP DPC DH DHL FFL 2100 25.56 CH HD H RWP SL SVP VP VP VP VP VP VP VP VP VP VP VP VP V	Abbreviations Basement Level Beam Soffit Height Beam Soffit Level Cill Height from FFL Down Pipe Damp Proof Course Door Height Door Head level Finished Floor Level Floor to Ceiling Height or Ceiling Level Ceiling Height Heating Duct Height Rain Water Pipe Soffit Level Soil and Vent Pipe Vent Pipe Window Height from cill Direction of Floor Joist Sp Cill Level Window Head Level Detail Approx. Ceiling slopes up Floor - Window head Ht Foul Water Pipe Surface Water Pipe	an	
Rev Date Descripti Sheet Size: A1 594 x 841r		Ву	Chk
Frie	<u>el</u>		
Unit F, Damsel	Unit F, Damsel House		

Unit F, Damsel House Dragonfly Place London SE4 2FN

+44 20 7099 6750 frielarchitects.com

Client Mrs C Shepherd

Project 74 Lamberhurst Road SE27 0SE

Drawing Title

Existing Front Elevation 1

Date Scale @ A1 Project # 19.01.21 1:50 105 Drawing # Rev. A-EX-300-01 -



ELEVATION 4 – No.72, EXISTING

DATUM 47.00m

0 1 2 3 4 5m

60.483 Clay Roof Tiles 57.593 ------57.045 56.621 SVP 日日 Clay Tiles -Hung Clay Roof Tiles וחר Render Render RWP **52.000**

ELEVATION 3, EXISTING

DATUM 47.00m

57.045

54.499

Building	Abbreviatio	ons	
BL BH	Basement Lev Beam Soffit He		
BSL	Beam Soffit Le	evel	
C DP	Cill Height fror Down Pipe	n FFL	
DPC	Damp Proof Co	ourse	
DH DHL	Door Height Door Head leve	el	
FFL	Finished Floor	Level	
2100 (25.56)	Floor to Ceiling or Ceiling Leve		
CH	Ceiling Height		
HD	Heating Duct		
H RWP	Height Rain Water Pip)e	
SL	Soffit Level		
SVP VP	Soil and Vent F Vent Pipe	Pipe	
W	Window Heigh	t from cill	
	Direction of Fl	oor Joist Spa	an
C Level H Level	Cill Level Window Head		
	Detail Approx.	Level	
	Ceiling slopes	-	
F-H —— F ——	Floor - Windov Foul Water Pip		
S	Surface Water	Pipe	
Rev Date Descrip Sheet Size: A1 594 x 84			Ву
	i1mm		By
Sheet Size: A1 594 x 84	el House	4 20 7099 675 elarchitects.co	0
Unit F, Damse Dragonfly Place	el House ce +4 FN frid		0
Sheet Size: A1 594 x 84	el House ce +4 FN frid	elarchitects.co	0
Sheet Size: A1 594 x 84 Unit F, Damse Dragonfly Plac London SE4 2 Client Mrs C Shephe Project	el House ce +4 FN frie erd rst Road SE27 OSE	elarchitects.co	0
Sheet Size: A1 594 x 84	el House ce +4 FN frie erd rst Road SE27 OSE	elarchitects.co	0
Sheet Size: A1 594 x 84	el House ce +4 FN frid erd rst Road SE27 OSE	elarchitects.co	0 om
Sheet Size: A1 594 x 84 Unit F, Damse Dragonfly Plac London SE4 2 Client Mrs C Shephe Project 74 Lamberhu Drawing T Existing Side Eleva Project #	Allmm Allmm All House Ce +4. FN frid All House Ce +4. FN frid All House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House House	E Scale @ 1:50	0 om

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited



ADJACENT PROPERTY No.72

DATUM 47.00m



ADJACENT PROPERTY No.76

REAR ELEVATION 2, EXISTING

Notes. If in doubt ask. Do not scale from this drawing. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the architect or by site measurement. The sizing of all structural and service elements must always be checked against the relevant consultants drawings. Any omissions or discrepancies between drawing information should be brought to the attention of the contract administrator. This drawing is copyright and may not otherwise be used or copied. © Friel Architects Limited

Building Abbreviations					
BL BH BSL C DP DPC DH DHL FFL	Basement Level Beam Soffit Height Beam Soffit Level Cill Height from FFL Down Pipe Damp Proof Course Door Height Door Head level Finished Floor Level				
2100	Floor to Ceiling Height or Ceiling Level				
CH HD H RWP SL SVP VP W C Level H Level H Level F-H F-H	2100Floor to Ceiling Height or Ceiling Level25.56Floor to Ceiling HeightCHCeiling HeightHDHeating DuctHHeightRWPRain Water PipeSLSoffit LevelSVPSoil and Vent PipeVPVent PipeWWindow Height from cillDirection of Floor Joist SpanC LevelCill LevelH LevelWindow Head Level Detail Approx.CSUCeiling slopes up				
Rev Date Description Sheet Size: A1 594 x 841n		Ву	Chk		
Frie	Friel				
Unit F, Damsel House Dragonfly Place +44 20 7099 6750 London SE4 2FN frielarchitects.com					
Client Mrs C Shepher	Client Mrs C Shepherd				
Project 74 Lamberhurst Road SE27 0SE					
Drawing Title					

Existing Rear Elevation 2

Project #	Date	Scale @ A1		
105	19.01.21	1:50		
Drawing #		Rev.		
A-EX-300-03 -				

74 Lamberhurst Road SE27 OSE

Site Photographs



Fig.1 Street Elevation, showing the dormer extension



Fig.2 Interior, looking towards the existing sun lounge.



Fig.3 View to the garden.



Fig.4 View from the garden. The existing garage is set back into the garden.



Fig.5 View of the existing garage/workshop



Fig.6 View of Lamberhurst Road, from the first floor.





Reader application or full version of Adobe Acrobat. Many internet browsers and other applications can display PDF files, but we cannot guarantee their compatibility in regard to these forms. We specifically advise users of Apple devices not to use 'Preview' because of known issues.

Community Infrastructure Levy (CIL) - Form 1: CIL Additional Information

Determining whether a Development may be CIL Liable - For submission with Planning Application

Please note: This version of the form should only be used for submissions relating to planning applications in England. There is a legacy version of the form for use in Wales: Download the legacy version of this form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information.

Please read the associated Guidance Note before you complete the form. This and additional per-question help can be viewed at: https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf

Please complete the form using block capitals and black ink and send to the Collecting Authority.

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief.

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details
Applicant or Agent Name:
FRIEL ARCHITECTS
Planning Portal Reference (if applicable):
Local authority planning application number (if allocated):
Site Address:
74 LAMBERHURST ROAD
LONDON SEZZ OSE
Description of development:
REAR EXTENSION, SINGLE STOREY.

2. Applications to remove of vary conditions on an existing rianning remission				
a) Does the application seek to remove or vary conditions on an existing planning permission (i.e. Is it a Section 73 application)?				
Yes If 'Yes', please complete the rest of this question				
No If 'No', you can skip to Question 3				
b) Please enter the application reference number				
c) Does the application involve a change in the amount or use of new build development, where the total (including that previously granted planning permission) is over 100 square metres gross internal area?				
Yes No				
d) Does the application involve a change in the amount of gross internal area where one or more new dwellings (including residential annexes) are to be created, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?				
Yes No				
If you answered 'Yes' to either c) or d), please go to Question 5				
If you answered 'No' to both c) and d), you can skip to Question 8				
3. Reserved Matters Applications				
a) Does the application relate to details or reserved matters on an existing permission that was granted prior to the introduction of the CIL charge in the relevant local authority area?				
Yes If 'Yes', please complete the rest of this question				
No If 'No', you can skip to Question 4				
b) Please enter the application reference number				
If you answered 'Yes' to a), you can skip to Question 8				
If you answered 'No' to a), please go to Question 4				
4. Liability for CIL				
a) Does the application include new build development (including extensions and replacement) of 100 square metres gross internal area or above?				
Yes No 🔽				
b) Does the application include creation of one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?				
Yes No 🕟				
If you answered 'Yes' to either a) or b), please go to Question 5				
If you answered 'No' to both a) and b), you can skip to Question 8				

J. LACHIPHUH UI NEHEI

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered 'Yes' to either a) or b), please note that you will need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim'. The form must be submitted to the Collecting Authority, and any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019
- A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or - If your CIL Liability Notice was issued prior to 1 September 2019
- The relief previously granted will be rescinded and the full levy charge will be payable.

You will also need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim' if you think you are eligible for discretionary charitable relief, or discretionary social housing relief (if this is available in your area).

If you wish to claim exceptional circumstances relief, and if the charging authority have made exceptional circumstances relief available in their area (please check their website for details), you will need to complete 'CIL Form 11: Exceptional Circumstances Relief Claim'. The form must be submitted to the Collecting Authority, AND any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

All CIL Forms are available from: www.planningportal.co.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered 'Yes' to c), please note that you will need to complete 'CIL Form 7: Self Build Exemption Claim - Part 1'. This form must be submitted to the Collecting Authority, and any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019
- A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or - If your CIL Liability Notice was issued prior to 1 September 2019

The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: www.planningportal.co.uk/cil

d) Do you wish to claim an exemption for a residential annex or extension?

Yes 🗌] No	
-------	------	--

If you have answered 'Yes' to d), please note that you will need to complete either 'CIL Form 8: Residential Annex Exemption Claim' or 'CIL Form 9: Residential Extension Exemption Claim'. The relevant form must be submitted to the Collecting Authority, and any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

In respect of a residential annex, a Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019
- A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or - If your CIL Liability Notice was issued prior to 1 September 2019
- The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: www.planningportal.co.uk/cil

ט. רוטאטשבע ואפא טוטשש ווונכווומו הוכם

a) Does the application involve new residential development (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

Please note, conversion of a single dwelling house into two or more separate dwellings (without extending them) is not liable for CIL. If this is the sole purpose of your development proposal, you should answer 'No' to Question 4b above.

Yes 🗌 🛛 No 🗌

If yes, please complete the table in section 6c below, providing the requested information, including the gross internal area relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does the application involve new non-residential development?

Yes 🗌 🛛 No 🗌

If yes, please complete the table in section 6c below, using the information from your planning application.

c) Proposed gross internal area:

	(I) Existing gross internal	(ii) Gross internal area to be	ancillary buildings) (square	
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential				
Total non-residential				
Grand total				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal area that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in section 7c.

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sqm) to be retained.	Proposed use of retained gross internal area.	Gross internal area (sqm) to be demolished.	of the buik for its lav continuo the 36 pre (excludin	uilding or part ding occupied vful use for 6 us months of vious months g temporary issions)?	
1					Yes 🗌	No 🗌	Date: or Still in use:
2					Yes 🗌	No 🗌	Date: or Still in use:
3					Yes 🗌	No 🗌	Date: or Still in use:
4					Yes 🗌	No 🗌	Date: or Still in use: 🗌
	Total floorspace						

7. EXISTING DUIRINGS (CONTINUED)

c) Does the development proposal include the retention, demolition or partial demolition of any whole buildings which people do not usually go into or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?

Yes 🗌 🛛 No 🗌

If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sqm) to be retained	Proposed use of retained gross internal are	Gross internal area (sqm) to be demolished
1				
2				
3				
4				
inte	tal of which people do not normally go into, only go ermittently to inspect or maintain plant or machinery, which was granted temporary planning permission			
exis	the development proposal involves the conversion of ting building?	f an existing bui	lding, will it be creating a new mezzanine flo	or within the
	es No Description No Research Internal area proposed will be area proposed will be area proposed will be area proposed with a proposed will be area proposed with a proposed will be area proposed with a proposed wit	be created by th	ne mezzanine floor?	
	U	se		Mezzanine gross internal area (sqm)

8. Declaration

I/we-confirm that the details given are correct.

Name:

MAUR	ICE FRIEL	
Date (DD/MM/YYYY). Da	ate cannot be pre-application:	
15.04.2021		
•	son to knowingly or recklessly supply information which is false or misleading in a material respent or response to a requirement under the Community Infrastructure Levy Regulations (2010) as ame	

110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

Application reference:	